

NOTICE OF A PUBLIC MEETING
Dallas Center City Council
Tentative Agenda
June 14, 2022 – 7:00 pm – Memorial Hall
1502 Walnut Street, Dallas Center

The Council meeting will be held in person in Memorial Hall. The meeting also may be accessed by the public electronically by Zoom at the following Internet link:
<https://us02web.zoom.us/j/85399725758>. If a Zoom user has the Zoom app, just enter the meeting ID 853 9972 5758 and the passcode is 394190.

Or a member of the public may connect to the meeting by telephone using any of the following numbers (the Meeting ID is 85399725758#, the passcode is 394190: Dial by your location +1 646 558 8656 +1 301 715 8592 +1 312 626 6799 +1 669 900 9128

Depending on the caller's long-distance calling plan, long distance charges may apply.

PUBLIC HEARING – on the Petition filed by K&A Investments, LLC to Re-Zone certain parcels of property (planned as The Neighborhood Plat 2) from PUD (Planned Unit Development to (a) R-1-55 Flex (Single Family Residential District); (b) R-1-60 Flex (Single Family Residential District); (c) R-1-70 (Single Family Residential District); and (d) R-1-60 Flex (Single-Family Residential District), respectively. Each person will have up to five minutes to comment **on the Petition for Re-Zoning**

1. Pledge of Allegiance
2. Roll call
3. Action to approve agenda
4. Public Comments [Anyone wanting to address the Council should raise your hand and the Mayor will acknowledge you. Please stand, state your name, address and topic. You will have two minutes to address the Mayor and Council]
5. Action to approve consent agenda
 - a. Approve minutes of May 10 and May 26 Council meetings
 - b. May Treasurer's Report, Balance Sheet and Budget Report
 - c. May Law Enforcement, Fire/Rescue, Compliance and Water Reports
 - d. Approve Dallas Center Fall Festival Committee Street Closing Request
 - e. Approve DC Betterment's additional street closing request for the BACoon Ride on June 18, 2022
 - f. Acceptance of Pat Freeland's resignation from the Tree Board effective May 1, 2022, term expires June 30, 2023
 - g. Approve Mayor's appointment of Ron Steilen to the Tree Board to fill Pat Freeland's vacancy, term expires June 30, 2023
 - h. Acceptance of Alexa Riesselman's resignation as the Pool Manager effective May 28, 2022
 - i. Action to promote McKenna Dirks to Pool Manager at \$17.00/hr effective May 31, 2022
 - j. Action to promote Olivia Macumber to Assistant Pool Manager at \$15.00/hr effective June 1, 2022
 - k. Action to hire Alexa Riesselman as a lifeguard at \$13.50/ hour effective June 10, 2022
 - l. Action to change Michele Schaben's HSA contribution amount from single to family coverage
 - m. Action to approve 2022 concession stand agreement with Kyle Dirks
 - n. Approve invoices for payment (review committee Strutt and Coon)
6. Council appointment to the Planning and Zoning Commission to fill Kari Boscaljon's vacancy, term expires October 1, 2022

7. Ruth Hambleton – discussion on traffic and parking in the 1400 block of Walnut and the 500 block of 14th Streets
8. Chad Shearon – Centr3k Nutrition – 1400 Walnut – discussion and possible action on allowing a sign on the “island” in front of the building
9. Parks and Recreation Board – Mary Werch
 - a. Action to approve tree removal at Mound Park and the Burnett Recreation Complex for FY23 in an amount not to exceed \$7,300.00
10. Walnut Street Streetscape Phase 1 –
 - a. Landscape Architect Nathan Gruver’s Report
 - b. Action to approve change Order No. 1 in the amount of \$1,305.00 to install 6” limestone wall block
 - c. Action to approve Pay Estimate No. 1 – Tallgrass Land Stewardship Co. LLC - \$8,298.25
11. Planning and Zoning Commission – Matt Ostanik
 - a. Report
 - b. Action on Resolution 2022-38 – approving HandleBar patio expansion Site Plan
 - c. Action on Resolution 2022-39 – approving Dallas Center-Grimes Community School District middle school playground Site Plan
 - d. Action on Resolution 2022-40 – approving City of Dallas Center Community Swimming Pool Site Plan
 - e. Action on Resolution 2022-41 – approving City of Dallas Center Community Swimming Pool Architectural Plan
 - f. Action on Resolution 2022-48 – approving Plats of Survey submitted by the City of Dallas Center for Parcels 22-22, 22-23, and 22-24 (Private Roadways in Cross Country Estates Plats 1 and 2
12. K&A Investments, LLC (Kirk Mickelson) – planned as The Neighborhood Plat 2
 - a. Action on Ordinance No. 574 – changing the zoning classification of property owned by K&A Investments, LLC from PUD (Planned Unit Development to (a) R-1-55 Flex (Single Family Residential District); (b) R-1-60 Flex (Single Family Residential District); (c) R-1-70 (Single Family Residential District); and (d) R-1-60 Flex (Single-Family Residential District), respectively, first reading
13. Dallas Center Outdoor Community Swimming Pool Construction Project
 - a. Action on Resolution 2022-47 – ordering construction of the Project, and fixing a date for hearing thereon and taking of bids therefor
14. Private Roadways in Cross Country Estates Plats 1 and 2
 - a. Report by City Attorney
 - b. Action on Resolution 2022-42 – approving an Agreement with Ronald and Carolyn Nielsen for the City’s purchase of the Private Roadways in Cross Country Estates Plats 1 and 2 (Parcels 22-22, 22-23, and 22-24) for \$1
15. Public Works
 - a. Director’s Report
 - b. Action to approve Grimes Asphalt proposal for street maintenance and repair in an amount not to exceed \$213,000 for FY23 and authorizing payment of the invoice upon receipt
16. Discussion and possible action – status of street adjacent to townhome development in the proposed Sky View Estates Plat – City Engineer
17. Northeast Area Sanitary Sewer Planning, including future Lift Station – City Engineer
18. City Engineer – other matters
19. Discussion and possible action to set a date (perhaps August) for a workshop to update the Capital Improvements Program last approved March 9, 2021
20. Discussion and possible action on Julie Becker’s written request for a partial disposition/partial sale of the two 16-foot alleys adjacent to her property at 1605 Walnut Street

21. Action on Ordinance No. 570 – changing references in the Code of Ordinances from “vicious dogs” to “high risk dogs” and placing a limitation on the number of high-risk dogs allowed for each residential dwelling to one, third reading
22. Council’s Compensation Committee – recommendations and action on establishing city employee compensation effective June 25th for payroll dated July 13, 2022: Brian Slaughter \$40.45/hr, Brett Kaszinski \$27.20/hr, Joel Hofland \$24.11/hr, Mike Buckalew \$14.21/hr, Cindy Riesselman \$39.23/hr, April Scrivner \$20.00/hr, Rochelle Cory \$21.72/hr, Tina Cantrell \$16.69/hr, Kathy Pantzar \$13.00/hr, Chloe Bennett Bircher \$12.80/hr, Sheila Miller \$12.50/hr
23. Action on Resolution 2022-36 – approving an agreement with Dallas Center Celebrations, Inc. in connection with the City’s donation of \$8,000 to the non-profit organization for Fall Festival activities
24. Action on Resolution 2022-37 – approving the City’s application to become an associate member of Region XII Council of Governments for a membership fee of \$1,500 (services include no-cost grant writing)
25. Action on Corrected and Revised Resolution 2022-4 – corrected to include authority for the City Administrator/Finance Director to transfer LOSST receipts to the appropriate accounts and subaccounts
26. Action to renumber Resolution 2022-32 [Transfer of Funds (Benevolent)] approved May 10, 2022, to Resolution 2022-35
27. Discussion and possible action on Resolution 2022-49 – authorizing ETC Institute of Olathe, Kansas, to conduct a Community Survey in an amount not to exceed \$6,500
28. Action on Resolution 2022-50 – updating policies and procedures for the examination and copying of public records maintained by the City of Dallas Center pursuant to Senate File 2322 effective July 1, 2022
29. Action on Resolution 2022-43 – correcting the addresses of all lots in Lynn Crest Estates Plat 5 from “Fairview Drive” to “Fair View Drive” (to correct an error on the Final Plat)
30. Action on Resolution 2022-44 – correcting the addresses of lots in the Hawbaker Subdivision from “Fairview Drive” to “Fair View Drive” (to correct errors in County records)
31. Action on Resolution 2022-45 – correcting the addresses of five lots in Meadow View Acres Plat One from “Fairview Drive” to “Fair View Drive” (to correct errors in County records)
32. Action on Resolution 2022-46 – correcting the address on one lot in Pioneer Plat 1 from “Fairview Drive” to “Fair View Drive” (to correct an error in County records)
33. Action to authorize and approve payment of final invoices for FY2022 pending review by the June review committee – Strutt and Coon
34. Annexation Discussion/Update
35. Council reports
36. Mayor’s report
37. Adjournment

Michele Schaben, City Clerk

Claims

A King's Throne, Llc	June Serv	\$345.00
Access Systems Leasing	Copier	\$40.97
Access Systems	Copier	\$355.36
Acco	Repairs	\$4,124.40
Ventilation Services Of	Repairs	\$10,531.08
Agsource Cooperative Svcs	Tests	\$1,767.75
Ahlers & Cooney, Pc	May Serv	\$156.00
Baker & Taylor Co.	Books	\$689.35
Bay Bridge Administrators	Insurance	\$100.42
Bomgaars	Supplies	\$111.96
Brown, Fagen & Rouse	June Retainer	\$2,600.00
Busby, Kate	Reimburse	\$100.00

Center Point Large Print	Books	\$281.12
Centurylink	May Serv	\$767.52
Compass Minerals America	Salt	\$4,150.26
Concrete Impressions, Llc	Concrete	\$44,940.00
Core & Main	Repairs	\$633.10
Culligan Water System	June Serv	\$28.86
Curt Strutz	Programming	\$385.00
Dallas County News	Subscription	\$46.80
Dallas County Treasurer	May Serv	\$18,165.06
Dallas County Treasurer	Annual Serv	\$1,200.00
Deaton Truck And Auto Inc	Repairs	\$3,929.77
Delta Dental	Insurance	\$26.64
Delta Dental	Insurance	\$467.00
Digital Stew Services	May Serv	\$467.25
Dirks, Mckenna	Supplies	\$39.46
Ed M Feld Equip. Co., Inc	May Serv	\$1,094.60
Eftps	Taxes	\$3,411.93
Eftps	Taxes	\$3,618.94
Eftps	Taxes	\$4,416.43
Fire Service Training Bureau	Training	\$100.00
Gatehouse- Db Iowa Holdings	Publications	\$663.28
Gatehouse- Db Iowa Holdings	Publications	\$513.37
Gis Benefits	Insurance	\$39.88
Gis Benefits	Insurance	\$24.92
Heartland Co-Op	May Serv	\$1,719.51
Hsa Cory, Rochelle	Hsa	\$100.00
Hsa Hofland, Joel	Hsa	\$50.00
Hsa Riesselman, Cindy	Hsa	\$290.00
Hsa Scrivner, April	Hsa	\$50.00
Hsa Slaughter, Brian	Hsa	\$200.00
Iowa Finance Authority	Bonds	\$54,798.30
Iowa Finance Authority	Bonds	\$103,690.00
Iowa Landscape Supply	Walnut Streetscape	\$2,507.50
Iowa One Call	May Serv	\$53.10
Ipers	Ipers	\$4,885.73
Iron Mountain	May Serv	\$91.90
Jetco Inc	Repairs	\$2,996.22
Karen Mccleary	May Serv	\$675.00
Robert King	Reimburse	\$30.17
Kinman Glass	Repairs	\$528.36
Leaf	Copier	\$159.72
Leaf	Copier	\$159.72
Eddie Leedom	May Serv	\$328.82
Linde Gas & Equipment Inc.	May Serv	\$159.42
Macumber, Olivia	Reimburse	\$21.35

Mc2 Inc.	Reimburse	\$426.00
Menards	Repairs	\$1,237.14
Micromarking Llc	Books	\$269.44
Midamerican Energy	May Serv	\$5,330.71
Midco Diving & Marine Svc, Inc	May Serv	\$2,198.00
Minburn Communications	June Serv	\$54.99
Moss Bros, Inc	Supplies	\$9.25
Municipal Supply Inc	Supplies	\$2,304.00
Nationwide Retirement Sol	Deferred Comp	\$450.00
Odp Business Solutions Llc	Supplies	\$128.26
Dallas Center Post Office	Annual Box Rental	\$62.00
Rhinehart Excavating, Inc	Rock	\$26,270.00
Sail Dc	Insurance	\$1,500.00
Treasurer - State Of Iowa	Taxes	\$2,053.19
Treasurer - State Of Iowa	Taxes	\$1,257.50
Science Center Of Iowa	Programming	\$200.00
Secretary Of State	Notary Public Fee	\$30.00
Sensus Usa Inc.	Software Support	\$1,949.94
Spracher Sewer Service	Drainage District #76	\$350.00
Swank Movie Licensing Usa	Movie License	\$397.00
Swimming Pool Program	Plan Review	\$1,705.00
Tallgrass Land Stewardship	Walnut Streetscape	\$8,298.25
Umb Bank Na	Bonds	\$69,296.00
Umb Bank Na	Bonds	\$180,397.50
Umb Bank Na	Bonds	\$115,058.75
Uhs Premium Billing	Insurance	\$362.62
Uhs Premium Billing	Insurance	\$7,704.48
Unplugged Wireless	Programming	\$238.00
Usa Blue Book	Supplies	\$679.53
Veenstra & Kimm	May Serv	\$11,155.05
Verizon Wireless	May Serv	\$280.07
Treasurer - State Of Iowa	Taxes	\$1,065.00
Waste Management	May Serv	\$21,567.95
Waters Edge Aquatic Design	Pool Design	\$99,630.00
Wells Fargo	Supplies/Postage	\$1,461.54
Westrum Leak Detection	May Serv	\$692.50
Buse & Vrieze Llc	May Serv	\$1,190.00
	Accounts Payable Total	\$851,087.96
	General	\$137,817.87
	Capital Improvement	\$15,762.00
	Rut	\$2,839.73
	T&A(Eb)	\$10,924.17
	Burnett Project	\$13,913.00
	Debt Service	\$304,491.80

Cap Improve Pool	\$101,491.00
Water	\$137,679.30
Sewer	\$115,953.27
Storm District	\$10,215.82
Total Funds	\$851,087.96

Revenues

General Total	\$92,864.40
T&A(Ft) Total	\$3.50
T&A(Sc) Total	\$1.15
Capital Improvement Total	\$48.19
T&A(SI) Total	\$19.41
Rut Total	\$10,962.48
T&A(Eb) Total	\$4,498.58
Local Option Sales Tax Total	\$38,481.96
Tif Total	\$2,029.30
Burnett Project Total	\$132.33
T&A(Burnett Cap Improve) Total	\$51.84
Debt Service Total	\$18,230.03
Cap Improve Pool Total	\$150,000.00
Cap Imprv-Arpa	\$40.21
T&A(B) Total	\$0.86
T&A(Y) Total	\$0.85
Water Total	\$41,748.56
Sewer Total	\$31,989.12
Storm District Total	\$4,880.93
Total Revenue by Fund	\$395,983.70

Mayor Beyer opened a public hearing at 7:00 pm on May 10, 2022, as advertised for the purpose of hearing comments on the Petition filed by Skye View Estates, LLC to Re-Zone certain parcels of property north and east of the Dollar General Store from A-1 (Agricultural District) to (a) R-2 (Low-Density Multi-Family District), (b) R-3 (Multi-Family Residential District), and (c) R-1-55 Flex (Single Family Residential District). There were no written comments. Julie Becker stated she does not support the rezoning. Brad Fox does not feel the city has the infrastructure to support this new development. Meg Dickinson stated she has shared her concerns with the City and is confident that citizen feedback will be taken into consideration when decisions are made. Mayor Beyer closed the public hearing at 7:08 pm.

Mayor Beyer opened a public hearing at 7:08 pm on May 10, 2022, as advertised for the purpose of hearing comments on the Petition filed by Downing Development WP, LLC to Re-Zone a certain parcel of property (east on the south side of Highway 44) from A-1 (Agricultural District) to C-2 (Highway/Auto-Oriented Business District). There were no written comments. Brad Fox inquired if neighbors had been notified and was made aware they had. Mayor Beyer closed the public hearing at 7:09 pm.

Mayor Beyer opened a public hearing at 7:09 pm on May 10, 2022, as advertised for the purpose of hearing comments on a proposal to make a partial disposition of public property for the consideration of \$1 by allowing James and Lynne Pohl to erect a fence across the north and south ends of the 16-foot wide public alley lying between Lots 1 and 2 in Block 4 and between Lots 7 and 8 in Block 4, all in Brenton's Addition to the Town of Dallas Center, which fence would restrict public access to the public alley. There were no written comments. Lynne Pohl thanked those who came and saw the property and hopes the council will consider this request. Julie Becker stated she does not support this resolution. Mary Werch stated she does not support the resolution. Matt Ostanick stated he supports the resolution. Mike Buckalew questioned if others can petition the City with similar requests if this passes. Mayor Beyer closed the public hearing at 7:19 pm.

The Dallas Center City Council met in regular session May 10, 2022, at 7:19 pm. Mayor Beyer called the meeting to order and led the Pledge of Allegiance. Council members present included Ryan Kluss, Amy Strutt, Angie Beaudet and Daniel Willrich. Ryan Coon was not present.

The agenda was amended to state the June 18th Street Closing is by the Dallas Center Betterment Foundation and the liquor license approval is for Sugar Grove Goods and to correct the spelling of Greg Cagle for Library Board reappointment.

Motion by Kluss, 2nd by Willrich to approve the amended agenda. Motion passed 4-0.

Public Comments

Bob Haxton does not support architectural standards or Ordinance 570.

Julie Becker does not support Ordinance 570.

Motion by Kluss, 2nd by Willrich to approve the consent agenda [approve minutes of April 12 meeting; April Treasurer's Report, Balance Sheet and Budget Report; April Law Enforcement, Fire/Rescue, Compliance and Water Reports; acceptance of Kari Boscaljon's resignation from the Planning and Zoning Commission effective April 26, 2022, term expires October 1, 2022; action to approve hiring 1st year lifeguard Ainslea Schmidt at \$12.50/hr. pending background check and lifeguard certification; approve Mayor's reappointment of Greg Cagle to the Library Board of Trustees, term expires June 30, 2025; approve Mayor's reappointment of Hannah Slaughter to the Tree Board, term expires June 30, 2025; approve The Handlebar liquor license renewal effective June 1, 2022 (Class C with outdoor service and Sunday sales); approve cigarette license for Casey's General Store effective July 1, 2022; approve cigarette license for Dollar General Store effective July 1, 2022; action to approve the fall festival fireworks permit application and waive the \$150 permit fee; approve Seasonal Fun Committee Street Closing request for Art in the Park on June 4th (Walnut Street from 13th to 15th Street); approve Sugar Grove Goods outdoor liquor license (pending

dram shop) and beer garden for the BACoon Ride on June 18, 2022; Dallas Center Betterment Foundation street closing for the BACoon Ride on June 18, 2022; approve invoices for payment (review committee Kluss and Willrich)]. Willrich stated the City has received more law enforcement hours than the contract calls for. Motion passed 4-0.

Dallas County Supervisor Mark Hansen discussed some Dallas County history and stated that there will be an open house at the County Building along Hwy. 169 during the Dallas Center Fall Festival. He also discussed Dallas Center native William (Bill) Wagner's artwork including the work at the Dallas County and other Courthouses. He stated there will be an open house at the Dallas County Courthouse on the Saturday of the Adel Sweetcorn Festival and encouraged the public to attend the two events.

Walnut Street Streetscape Phase 1 – Riesselman reported the project is scheduled to start next week and will be approximately two to three weeks in duration.

Minburn Communications

Deb Lucht and David Brown reported on the plans to bore underground installation of fiber through parts of the City to rural Dallas County for anew broadband project. They are in the bidding phase and construction should start in July. The first portion of the project will serve rural residents with service to local residents after this project is completed (in approximately 2-3 years). They will provide detailed information that will be sent out to the community.

Motion by Kluss, 2nd Willrich to authorize the Mayor to sign the City's approval of Minburn Communication's application to install fiber in Highway 44 and 169 rights-of-way in Dallas Center. Motion passed 4-0.

Bob King discussed the Great Places program and the CAT grant opportunity.

Motion by Willrich, 2nd by Strutt to authorize the Healthy Hometown Team to continue to pursue an application for Council consideration for the city to be designated as a "Great Places" program. Motion passed 4-0.

Motion by Willrich, 2nd by Beaudet to authorize the Healthy Hometown Team to pursue an application for Council consideration to seek the Community Attraction and Tourism (CAT) grant. Motion passed 4-0.

Planning and Zoning Commission

Matt Ostanik reported the Commission continues to work with Downing Development, Skye View Estates and The Neighborhood regarding future development and discussed potential design work on a trail along Fair View Drive. There will be an item on the June agenda to discuss the potential trail.

K&A Investments, LLC (Kirk Mickelson) – The Neighborhood Plat 2

The Council received the Application for Re-Zoning and Engineer Veenstra gave an overview of the proposed development.

Motion by Kluss, 2nd by Strutt to refer Application for Re-Zoning to the Planning and Zoning Commission. Motion passed 4-0.

Motion by Kluss, 2nd by Willrich to approve Ordinance No. 571 – changing the zoning classification of property owned by Skye View Estates, LLC from A-1 (Agricultural District) to (a) R-2 (Low-Density Multi-Family District), (b) R-3 (Multi-Family Residential District), and (c) R-1-55 Flex (Single Family Residential District), first reading. Roll call all ayes, motion passed.

Motion by Kluss, 2nd by Strutt waiving the second and third readings of Ordinance 571 making it effective upon publication. Roll call all ayes, motion passed.

Motion by Willrich, 2nd by Strutt to approve Ordinance No. 572 – changing the zoning classification of property owned by Downing Development WP, LLC from A-1 (Agricultural District) to C-2 (Highway/Auto-Oriented Business District), first reading. Roll call all ayes, motion passed.

Motion by Kluss, 2nd by Strutt waiving the second and third readings of Ordinance 572 making it effective upon publication. Roll call all ayes, motion passed.

Council discussed at length the potential concerns and issues of approving Resolution 2022-29. Motion by Kluss, 2nd by Strutt to approve (for discussion purposes only) Resolution 2022-29 – authorizing the partial disposition of public property (by allowing the construction of a fence that would block public access to a 16-foot wide public alley) and approving an Agreement for the construction of a fence in a public alley at 207 Kellogg Avenue. Roll call all nays, motion failed.

Motion by Kluss, 2nd by Willrich to approve Resolution 2022-33 – authorizing Carter Robinson of Korner Kone to place canopies and tables in the City's right-of-way adjacent to 502 14th Street. Roll call all ayes, motion passed.

Public Works

Slaughter reported that street work continues with rock being placed on 230th east of Hwy. 169 and Fair View Drive and dust control will be applied on both of those streets this month. They had three water main breaks in 30 days along Hwy 44; they have repaired a culvert issue in Cross Country Estates along North Point Lane; have had drainage issue along 230th east of 169; and have jetted and cleared the storm water pipe in Country Living Estates. Xtreme Tree has completed tree removal and chipped all the brush at the City shed. It was also reported that Rhinehart Excavating completed the dirt work at the Public Works Facility. Riesselman stated the invoice for the dirt work was received just today and is not included on the claims lists and asked Council for authorization to pay the invoice. Motion by Willrich, 2nd by Kluss to authorize the clerk's office to pay the Rhinehart Excavating invoice in the amount of \$26,270.00. Motion passed 4-0. Slaughter also informed Council that work is completed on the City Hall restroom remodel; they had a row tree that was blown down in a storm; one more load of road salt has been received and tarped; and had an antenna issue between the reservoir and water treatment plant and that has now been resolved.

Motion by Kluss, 2nd by Beaudet to approve the purchase and installation of an electric gate for the water plant from Des Moines Fence in an amount not to exceed \$30,000.00 for FY23. Motion passed 4-0.

Engineer Veenstra discussed the possible extension of storm sewer in the easterly portion of Sugar Grove Avenue and discussed a potential to create two separate TIF districts, using the first part for the storm sewer outlet for Skye View Estates (with the developer paying the upfront costs and being reimbursed by the City) and the second part for a sewer lift station that would serve the north east area.

Engineer Veenstra discussed potential Northeast Area Sanitary Sewer Planning and the Council is generally agreeable to the concept.

Council stated Engineer Veenstra should begin preparing plans for the Walnut Street sidewalk project that will be completed next fiscal year.

Motion by Willrich, 2nd by Strutt to approve Ordinance No. 570 – changing references in the Code of Ordinances from “vicious dogs” to “high risk dogs” and placing a limitation on the number of high-risk dogs allowed for each residential dwelling to one, second reading. Roll call all ayes, motion passed.

Motion by Kluss, 2nd by Beaudet to approve Resolution 2022-32 – transfer of funds (benevolent). Roll call all ayes, motion passed.

Motion by Kluss, 2nd by Strutt to approve Resolution 2022-34 – transfer of funds (pool). Roll call all ayes, motion passed.

Beyer reviewed the information relating to the quote for the community survey. Council did not take action to authorize ETC Institute to perform a community survey in an amount not to exceed \$6,500. This item will be on the June agenda.

Annexation Discussion/Update- Beyer and Coon continue to work on this and meet with landowners.

The meeting adjourned at 9:04 pm.

Cindy Riesselman, City Clerk

Claims

A King's Throne, Llc	May Serv	\$345.00
Access Systems Leasing	Copier	\$355.36
Access Systems	Copier	\$40.97
Ventilation Services of IA	Jet storm	\$1,002.96
Aetna Behavioral Health, Llc	Insurance	\$26.28
Agsources Cooperative Svcs	Tests	\$611.25
Ahlers & Cooney, Pc	Training	\$50.00
Baker & Taylor Co.	Books	\$511.57
Bay Bridge Administrators	Insurance	\$100.42
Bennett Bright	Trees	\$800.00
Blackstrap, Inc.	Salt	\$1,968.59
Bomgaars	Supplies	\$47.95
Book Systems, Inc.	Subscription	\$1,210.00
Brown, Fagen & Rouse	May Serv	\$2,697.00
Centurylink	April Serv	\$779.47
Cj Cooper & Associates	Testing	\$35.00
Occupational Health Centers	Testing	\$105.00
Core & Main	Supplies	\$4,670.00
Creative Store Solutions.Inc.	Display Rack	\$2,659.43
Crossroads Ag, Llc	Supplies	\$108.00
Culligan Water System	May Serv	\$12.56
Allen Jay Winter	Trees	\$2,250.00
Dallas County Treasurer	April Serv	\$18,165.06
Dallas County Treasurer	Maintenance	\$442.26
Delta Dental	Insurance	\$26.64
Delta Dental	Insurance	\$467.00
Digital Stew Services	April Serv	\$197.25
Eftps	Taxes	\$3,391.73
Eftps	Taxes	\$3,429.59
Elite Electric & Utility	Repairs	\$1,265.00
Frontier Technology, Llc	April Serv	\$150.00
Gatehouse- Db Iowa Holdings	Publications	\$588.10
Gcmoa	Dues	\$25.00

Gis Benefits	Insurance	\$39.88
Gis Benefits	Insurance	\$24.92
Grimes Asphalt and Paving Corp	Maintenance	\$1,443.94
Heartland Co-Op	April Serv	\$1,659.61
Hotsy Cleaning Systems	Repairs	\$184.50
Hsa Cory, Rochelle	Hsa	\$100.00
Hsa Hofland, Joel	Hsa	\$50.00
Hsa Riesselman, Cindy	Hsa	\$290.00
Hsa Scrivner, April	Hsa	\$50.00
Hsa Slaughter, Brian	Hsa	\$200.00
Iamu	Dues	\$750.00
Iowa Native Trees Llc	Trees	\$1,216.00
Ipers	Ipers	\$4,874.87
Iron Mountain	April Serv	\$183.80
Joustevolution	Children's Program	\$150.00
Karen Mccleary	April Serv	\$675.00
Eddie Leedom	April Serv	\$378.82
Library Ideas Llc	Books	\$255.33
Linde Gas & Equipment Inc.	April Serv	\$40.10
Menards	Supplies	\$123.62
Menards	Repairs	\$825.64
Merrit Company	Supplies	\$337.70
Midamerican Energy	April Serv	\$6,114.85
Minburn Communications	May Serv	\$54.99
Moss Bros, Inc	Repairs	\$63.75
Municipal Supply Inc	Supplies	\$2,359.63
Napa Auto Parts	Supplies	\$29.38
Nationwide Retirement Sol	Deferred Comp	\$450.00
Office Depot	Supplies	\$258.60
Petty Cash-Pool	Petty Cash	\$50.00
Rhinehart Excavating, Inc	Maintenance	\$1,627.27
Cindy Riesselman	Mileage	\$45.05
Treasurer - State of Iowa	Taxes	\$1,035.51
Treasurer - State of Iowa	Taxes	\$2,085.00
Secretary of State	Notary Fees	\$30.00
Spracher Sewer Service	Maintenance	\$350.00
Storey Kenworthy/Matt Parrott	Supplies	\$232.96
Uhs Premium Billing	Insurance	\$362.62
Uhs Premium Billing	Insurance	\$7,704.48
Usa Blue Book	Tests	\$512.69
Veenstra & Kimm	March Serv	\$9,092.95
Verizon Wireless	April Serv	\$280.07
Treasurer - State of Iowa	Taxes	\$1,077.00
Waste Management	April Serv	\$20,032.60
Wells Fargo	Postage/supplies	\$2,299.23

Buse & Vrieze Llc	Trees	\$14,055.00
	Total Paid	\$132,591.80
	General	\$88,521.24
	Rut	\$7,332.82
	T&A(Eb)	\$10,941.69
	Water	\$12,417.41
	Sewer	\$7,217.32
	Storm District	\$6,161.32
	Total by Fund	\$132,591.80

Revenues

General Total	\$339,715.27
T&A (Pd) Benevolent	\$0.15
T&A(Ft) Total	\$2.69
T&A(Sc) Total	\$1,000.89
Capital Improvement	\$37.05
T&A(SI) Total	\$206.28
Rut Total	\$28,468.79
T&A(Eb) Total	\$60,395.80
Lost	\$32,710.44
Tif Total	\$52,839.66
Burnett Project Total	\$101.80
T&A(Burnett Cap Impr)	\$39.88
Debt Service Total	\$107,234.23
Cap Imprv-Arpa	\$24.51
T&A(B) Total	\$0.66
T&A(Y) Total	\$0.66
Water Total	\$40,420.08
Sewer Total	\$31,295.33
Storm District Total	\$4,757.79
Total Revenue by Fund	\$699,251.96

The Dallas Center City Council met in special session May 26, 2022 at 7:00 am. Mayor Beyer called the meeting to order. Council members present included Amy Strutt, Daniel Willrich and Ryan Kluss. Angie Beaudet was present via Zoom. Ryan Coon was not present.

Motion by Kluss, 2nd by Strutt to approve the agenda. Motion passed 4-0.

Motion by Kluss, 2nd by Willrich to approve hiring Shellie Schaben as a full-time City Clerk at \$57,000/yr with two weeks of vacation upon hire for the first year and \$2,500 being contributed to an HSA for the calendar year 2022 with an effective start date of June 6, 2022, pending background check. Motion passed 4-0.

Motion by Kluss, 2nd by Strutt to approve hiring 3rd year lifeguard Caelen Wineland at \$13.00/hr effective May 26th and 1st year lifeguard Kate Busby at \$12.50/hr effective May 26th (pending lifeguard certification) both pending background checks. Motion passed 4-0.

Motion by Strutt, 2nd by Kluss to approve Mayor's appointment of Jennifer Pandich to the Tree Board, term expires June 30, 2024. Motion passed 4-0.

Motion by Kluss, 2nd by Willrich to approve Mayor's appointment of Mark Rees to the Tree Board, term expires June 30, 2023. Motion passed 4-0.

The meeting adjourned at 7:03 am.

Cindy Riesselman, City Clerk

TREASURER'S REPORT
CALENDAR 5/2022, FISCAL 11/2022

FUND	LAST REPORT ON HAND	REVENUES	EXPENSES	CHANGE IN LIABILITY	ENDING BALANCE
001 GENERAL	738,583.88	92,864.40	112,529.92	.00	718,918.36
011 T&A (PD) BENEVOLENT	787.32	.00	787.32	.00	.00
015 T&A(FT)	369,617.84	3.50	.00	.00	369,621.34
021 T&A(SC)	14,809.92	1.15	.00	.00	14,811.07
029 CAPITAL IMPROVEMENT	201,164.07	48.19	15,762.00	.00	185,450.26
041 T&A(SL)	7,141.88	19.41	.00	.00	7,161.29
110 RUT	189,104.97	10,962.48	6,114.13	.00	193,953.32
112 T&A(EB)	38,270.20	4,498.58	14,438.82	.00	28,329.96
119 EMERGENCY LEVY FUND	.00	.00	.00	.00	.00
121 LOCAL OPTION SALES TAX	1,020,240.38	38,481.96	154,689.00	.00	904,033.34
125 TIF	44,345.78	2,029.30	6,567.92	.00	39,807.16
166 T&A(REC PROGRAM) REV	.00	.00	.00	.00	.00
167 BURNETT PROJECT	627,628.24	132.33	.00	.00	627,760.57
168 T&A(BC)	.00	.00	.00	.00	.00
169 T&A(BURNETT CAP IMPROVE)	316,476.57	51.84	.00	.00	316,528.41
177 T&A(PD)	.00	.00	.00	.00	.00
180 REC TRAIL	.00	.00	.00	.00	.00
200 DEBT SERVICE	356,785.54	18,230.03	249,693.50	.00	125,322.07
301 CAP IMPROVE WASTEWATER	.00	.00	.00	.00	.00
308 CAP IMPROVE - LIBRARY	.00	.00	.00	.00	.00
309 CAP IMPROVE POOL	115,060.00-	150,000.00	.00	.00	34,940.00
310 CAP IMPRV-AMERICAN RESCUE	133,029.39	40.21	.00	.00	133,069.60
501 T&A(B)	15,597.47	.86	.00	.00	15,598.33
502 T&A(Y)	13,567.11	.85	.00	.00	13,567.96
600 WATER	516,087.84	41,748.56	133,529.38	.00	424,307.02
602 WATER CAPITAL OUTLAY	252,743.79	.00	.00	.00	252,743.79
610 SEWER	682,222.07	31,989.12	11,799.49	.00	702,411.70
740 STORM DISTRICT	67,043.70	4,880.93	6,170.84	.00	65,753.79
Report Total	5,490,187.96	395,983.70	712,082.32	.00	5,174,089.34

BALANCE SHEET
CALENDAR 5/2022, FISCAL 11/2022

ACCOUNT NUMBER	ACCOUNT TITLE	MTD BALANCE	YTD BALANCE
001-000-1110	CHECKING-GENERAL	5,609.41-	23,618.46
011-000-1110	CHECKING-T&A(PD) BENEVOLENT	.00	.00
015-000-1110	CHECKING-T&A(FT)	.00	.00
021-000-1110	CHECKING-T&A(SC)	.00	.00
029-000-1110	CHECKING-DEPR POLICE	.00	.00
029-000-1111	CHECKING-DEPR NON RUT EQUIP	.00	.00
029-000-1112	CHECKING-DEPR PARK	.00	.00
029-000-1113	CHECKING-DEPR SWIM POOL	.00	.00
029-000-1114	CHECKING-DEPR P/W BLDG	15,762.00-	15,762.00-
029-000-1115	CHECKING-DEPR FD EQUIP	.00	.00
041-000-1110	CHECKING-T&A(SL)	17.75	222.75
110-000-1110	CHECKING-RUT	4,803.06	4,803.06
110-000-1111	CHECKING-DEPR RUT EQUIP	.00	.00
110-000-1112	CHECKING-SIDEWALK PROJ	.00	.00
112-000-1110	CHECKING-T&A(EB)	9,941.10-	24,744.94
119-000-1110	CHECKING-EMERG LEVY	.00	.00
121-000-1110	CHECKING-LOST	38,384.28	71,012.27
121-000-1111	CHECKING-LOST PROP TAX RELIEF	.00	.00
121-000-1112	CHECKING-LOST SWIM POOL	.00	.00
125-000-1110	CHECKING-TIF	2,020.25	2,020.25
166-000-1110	CHECKING-T&A(REC PROGRAM)	.00	.00
167-000-1110	CHECKING-T&A(BURNETT REC)	.00	.00
167-000-1111	CHECKING-T&A(BURNETT REC/POOL)	.00	.00
168-000-1110	CHECKING-T&A(BURNETT LIBRARY)	.00	.00
169-000-1110	CHECKING-T&A(BURNETT CAP IMP)	.00	.00
177-000-1110	CHECKING-T&A(PD) FORFEITURE	.00	.00
180-000-1110	CHECKING-REC TRAIL	.00	.00
200-000-1110	CHECKING-DEBT SERVICE	54,798.00	54,798.00
305-000-1110	CHECKING-PLAYGROUND EQUIP	.00	.00
307-000-1110	CHECKING-2012 HWY 44 TURN LANE	.00	.00
301-000-1110	CHECKING-CAP IMPROVE SEWER	.00	.00
308-000-1110	CHECKING-CAP IMPROVE - LIBRARY	.00	.00
309-000-1110	CHECKING-CAP IMPROVE POOL	.00	.50-
310-000-1110	CHECKING-CAP IMPRV ARPA	.00	.00
501-000-1110	CHECKING-T&A(B)	.00	.00
502-000-1110	CHECKING-T&A(Y)	.00	.00
600-000-1110	CHECKING-WATER	23,124.95	38,022.70
600-000-1111	CHECKING-WATER SINKING	.00	.00
600-000-1112	CHECKING-T&A(M)	.00	.00
600-000-1113	CHECKING-WATER IMPROVEMENT	.00	.00
600-000-1114	CHECKING-WATER RESERVE	.00	.00
602-000-1110	CHECKING-WATER CAP OUTLAY	.00	.00
610-000-1110	CHECKING-SEWER	20,054.99	36,300.84
610-000-1111	CHECKING-SEWER SINKING	103,690.00	103,690.00
610-000-1112	CHECKING-SEWER RESERVE	.00	.00
610-000-1113	CHECKING-SEWER IMPROVEMENT	.00	.00
740-000-1110	CHECKING-STORM DISTRICT	1,304.70-	3,985.97
	CHECKING TOTAL	214,276.07	347,456.74

BALANCE SHEET
CALENDAR 5/2022, FISCAL 11/2022

ACCOUNT NUMBER	ACCOUNT TITLE	MTD BALANCE	YTD BALANCE
001-000-1120	PETTY CASH	50.00	150.00
	PETTY CASH TOTAL	50.00	150.00
001-000-1160	SAVINGS-GENERAL	14,106.11-	445,149.90
011-000-1160	SAVINGS-T&A(PD) BENEVOLENT	787.32-	.00
015-000-1160	SAVINGS-T&A(FT)	3.50	14,621.34
021-000-1160	SAVINGS-T&A(SC)	1.15	4,811.07
029-000-1160	SAVINGS-DEPR POLICE	.00	.00
029-000-1161	SAVINGS-DEPR NON RUT EQUIP	8.28	34,570.88
029-000-1162	SAVINGS-DEPR PARK	1.56	6,498.44
029-000-1163	SAVINGS-DEPR SWIM POOL	17.39	72,618.50
029-000-1164	SAVINGS-DEPR P/W BLDG	19.34	80,766.64
029-000-1165	SAVINGS-DEPR FIRE	1.62	6,757.80
041-000-1160	SAVINGS-T&A(SL)	1.66	6,938.54
110-000-1160	SAVINGS-RUT	36.00	150,360.35
110-000-1161	SAVINGS-DEPR RUT EQUIP	9.29	38,789.91
110-000-1162	SAVINGS-SIDEWALK PROJ	.00	.00
112-000-1160	SAVINGS-T&A(EB)	.86	3,585.02
119-000-1160	SAVINGS-EMERG LEVY	.00	.00
121-000-1160	SAVINGS-LOST	4,598.85-	376,569.05
121-000-1161	SAVINGS-LOST PROP TAX RELIEF	.00	.00
121-000-1162	SAVINGS-LOST SWIM POOL	149,992.47-	31,452.02
125-000-1160	SAVINGS-TIF	6,558.87-	37,786.91
166-000-1160	SAVINGS-T&A(REC PROGRAM)	.00	.00
167-000-1160	SAVINGS-T&A(BURNETT REC)	50.34	210,276.03
167-000-1161	SAVINGS-T&A(BURNETT REC/POOL)	81.99	342,484.54
168-000-1160	SAVINGS-T&A(BURNETT LIBRARY)	.00	.00
169-000-1160	SAVINGS-T&A(BURNETT CAP IMP)	51.84	216,528.41
177-000-1160	SAVINGS-T&A(PD)FORFEITURE	.00	.00
180-000-1160	SAVINGS-REC TRAIL	.00	.00
200-000-1160	SAVINGS-DEBT SERV	286,261.47-	70,524.07
305-000-1160	SAVINGS-PLAYGROUND EQUIP	.00	.00
307-000-1160	SAVINGS-2012 HWY 44 TURN LANE	.00	.00
301-000-1160	SAVINGS-CAP IMPROVE SEWER	.00	.00
308-000-1160	SAVINGS-CAP IMPROVE - LIBRARY	.00	.00
309-000-1160	SAVINGS-CAP IMPROVE POOL	150,000.00	34,940.50
310-000-1160	SAVINGS-CAP IMPRV ARPA	40.21	133,069.60
501-000-1160	SAVINGS-T&A(B)	.86	3,598.33
502-000-1160	SAVINGS-T&A(Y)	.85	3,567.96
600-000-1160	SAVINGS-WATER	9,838.89-	373,363.53
600-000-1161	SAVINGS-WATER SINKING	105,066.88-	1,620.77-
600-000-1162	SAVINGS-T&A(M)	.00	4,053.88
600-000-1163	SAVINGS-WATER IMPROVEMENT	.00	10,487.68
600-000-1164	SAVINGS-WATER RESERVE	.00	.00
602-000-1160	SAVINGS-WATER CAP OUTLAY	.00	252,743.79
610-000-1160	SAVINGS-SEWER	10,980.36-	544,709.53
610-000-1161	SAVINGS-SEWER SINKING	92,575.00-	4,368.67
610-000-1162	SAVINGS-SEWER RESERVE	.00	.00
610-000-1163	SAVINGS-SEWER IMPROVEMENT	.00	13,342.66

BALANCE SHEET
CALENDAR 5/2022, FISCAL 11/2022

ACCOUNT NUMBER	ACCOUNT TITLE	MTD BALANCE	YTD BALANCE
740-000-1160	SAVINGS-STORM DISTRICT	14.79	61,767.82
	SAVINGS TOTAL	530,424.69-	3,589,482.60
001-000-1170	CD#47719-GENERAL	.00	250,000.00
001-000-1171	CD-GENERAL	.00	.00
015-000-1170	CD#47614-T&A (FT)	.00	200,000.00
015-000-1171	CD#47719-T&A (FT)	.00	155,000.00
021-000-1170	CD#47614-T&A (SC)	.00	10,000.00
029-000-1170	CD-DEPR POLICE	.00	.00
029-000-1171	CD-DEPR NON RUT EQUIP	.00	.00
029-000-1172	CD-DEPR PARK	.00	.00
029-000-1173	CD-DEPR SWIM POOL	.00	.00
029-000-1174	CD-DEPR P/W BLDG	.00	.00
029-000-1175	CD#-DEPR P/W BLDG	.00	.00
029-000-1176	CD-DEPR FIRE	.00	.00
110-000-1170	CD-RUT	.00	.00
110-000-1171	CD-DEPR RUT EQUIP	.00	.00
121-000-1172	CD#47614-LOST SWIM POOL	.00	425,000.00
121-000-1173	CD-LOST SWIM POOL	.00	.00
167-000-1170	CD#47719-T&A(BURNETT REC)	.00	75,000.00
167-000-1171	CD-T&A(BURNETT REC/POOL)	.00	.00
167-000-1172	CD-T&A(BURNETT REC)	.00	.00
168-000-1170	CD-T&A(BURNETT LIBRARY)	.00	.00
169-000-1170	CD-T&A(BURNETT CAP IMPR)	.00	.00
169-000-1171	CD#47614-T&A(BURNETT CAP IMPR)	.00	100,000.00
308-000-1170	CD-CAP IMPROVE LIBRARY	.00	.00
310-000-1170	CD-CAP IMPRV ARPA	.00	.00
501-000-1170	CD#47719-T&A(B)	.00	12,000.00
502-000-1170	CD#47719-T&A(Y)	.00	10,000.00
600-000-1170	CD-WATER	.00	.00
600-000-1171	CD-WATER	.00	.00
610-000-1170	CD-SEWER	.00	.00
	CD'S TOTAL	.00	1,237,000.00
	TOTAL CASH	316,098.62-	5,174,089.34

BUDGET REPORT
CALENDAR 5/2022, FISCAL 11/2022

PCT OF FISCAL YTD 91.6%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT EXPENDED
001-110-6010	POLICE-WAGES	.00	.00	.00	.00
001-110-6181	POLICE-CLOTHING	.00	.00	.00	.00
001-110-6210	POLICE-DUES,M'SHIPS, SPE	.00	.00	.00	.00
001-110-6230	POLICE-TRAINING	.00	.00	.00	.00
001-110-6310	POLICE-OFFICE RENTAL/MAI	.00	.00	.00	.00
001-110-6331	POLICE-VEHICLE OPERATION	.00	.00	.00	.00
001-110-6332	POLICE-VEHICLE/EQUIP REP	.00	.00	.00	.00
001-110-6371	POLICE-UTILITIES	.00	.00	.00	.00
001-110-6373	POLICE-TELEPHONE	.00	.00	.00	.00
001-110-6413	PAYMENTS - OTHER AGENCIE	157,564.00	13,130.33	143,885.38	91.32
001-110-6419	POLICE-TECHNOLOGY SERVIC	.00	.00	.00	.00
001-110-6499	POLICE-RESERVE OFFICERS	.00	.00	.00	.00
001-110-6505	POLICE-PIONEER GRANT	.00	.00	.00	.00
001-110-6506	POLICE-OFFICE SUPPLIES	.00	.00	.00	.00
001-110-6507	POLICE-OPERATING SUPPLIE	.00	.00	.00	.00
001-110-6599	POLICE-PUBLIC RELATIONS	.00	.00	.00	.00
011-110-6599	T&A(PD) BENEVOLENT	787.00	.00	.00	.00
029-110-6799	DEPR-POLICE EXPENSE	.00	.00	.00	.00
112-110-6110	POLICE-FICA	9,770.00	814.16	8,910.26	91.20
112-110-6130	POLICE-IPERS	11,890.00	985.51	10,803.32	90.86
112-110-6150	POLICE-GROUP INSURANCE	36,953.00	3,079.44	33,854.89	91.62
112-110-6155	POLICE-CITY SHARE HSA	.00	.00	.00	.00
112-110-6160	POLICE-WORKER'S COMP	1,078.00	89.82	988.02	91.65
112-110-6170	POLICE-UNEMPLOYMENT	190.00	15.80	171.40	90.21
112-110-6181	POLICE-UNIFORM ALLOWANCE	600.00	50.00	500.00	83.33
177-110-6505	T&A(PD) FORFEITURES EXPE	.00	.00	.00	.00
	POLICE TOTAL	218,832.00	18,165.06	199,113.27	90.99
001-150-6010	FIRE DEPT-SALARIES	15,000.00	.00	3,510.00	23.40
001-150-6150	FIRE DEPT-GROUP INSURANC	750.00	.00	.00	.00
001-150-6210	FIRE DEPT-DUES	300.00	.00	391.00	130.33
001-150-6230	FIRE DEPT-TRAINING	3,000.00	.00	244.60	8.15
001-150-6310	FIRE DEPT-BUILDING MAINT	2,500.00	.00	503.75	20.15
001-150-6331	FIRE DEPT-VEHICLE OPERAT	3,000.00	207.13	1,364.13	45.47
001-150-6332	FIRE DEPT-VEHICLE MAINT/	11,000.00	.00	3,660.89	33.28
001-150-6373	FIRE DEPT-TELEPHONE	1,600.00	139.01	1,510.68	94.42
001-150-6412	FIRE DEPT-HEALTH/FITNESS	1,000.00	.00	.00	.00
001-150-6415	FIRE DEPT-HYDRANT RENT	.00	.00	.00	.00
001-150-6419	FIRE DEPT-TECHNOLOGY SER	4,000.00	188.93	4,468.94	111.72
001-150-6505	FIRE DEPT-PAGERS/REPAIRS	5,000.00	.00	657.52	13.15
001-150-6507	FIRE DEPT-OPERATING SUPP	3,000.00	55.10	812.34	27.08
001-150-6599	FIRE DEPT-REPAIRS/SUPP N	58,000.00	.00	6,473.13	11.16
015-150-6505	T&A(FT)-EXPENSES	.00	.00	.00	.00
029-150-6504	DEPR-FD MINOR EQUIPMENT	55,000.00	.00	53,639.00	97.53
112-150-6110	FIRE-FICA	1,148.00	.00	268.68	23.40
112-150-6130	FIRE-IPERS	559.00	.00	16.72	2.99
112-150-6150	FIRE-GROUP INSURANCE	.00	.00	2,073.00	.00
112-150-6155	FIRE-CITY SHARE HSA	.00	.00	2.37	.00
112-150-6160	FIRE-WORKER'S COMP	6,500.00	.00	4,000.00	61.54
	FIRE TOTAL	171,357.00	590.17	83,596.75	48.79
001-170-6407	BUILDING INSPECTION FEES	50,000.00	6,324.60	24,457.80	48.92
	BUILDING INSPECTIONS TOT	50,000.00	6,324.60	24,457.80	48.92

BUDGET REPORT
CALENDAR 5/2022, FISCAL 11/2022

PCT OF FISCAL YTD 91.6%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT EXPENDED
001-190-6499	ANIMAL IMPOUNDMENT	500.00	.00	.00	.00
	ANIMAL CONTROL TOTAL	500.00	.00	.00	.00
	PUBLIC SAFETY TOTAL	440,689.00	25,079.83	307,167.82	69.70
001-210-6010	STREETS-WAGES	47,376.00	2,203.42	21,729.15	45.87
001-210-6210	PARKS-DUES	.00	.00	.00	.00
001-210-6230	STREETS-EDUCATION/TRAINI	700.00	.00	177.00	25.29
001-210-6332	STREETS-VEHICLE MAINT	.00	.00	.00	.00
001-210-6417	STREETS-PROJECTS	115,670.00	.00	115,670.00	100.00
001-210-6419	STREETS-TECHNOLOGY SERV	1,800.00	30.01	930.11	51.67
001-210-6499	STREETS-CONTRACT LABOR	1,000.00	140.00	546.00	54.60
001-210-6507	STREETS-SUPPLIES R16	.00	.00	.00	.00
001-210-6599	STREETS-MISC SUPPLIES	1,500.00	.00	453.49	30.23
021-210-6417	T&A(SC)-REFUNDS	1,000.00	.00	.00	.00
029-210-6710	DEPR-NON RUT EQUIP	35,000.00	.00	34,033.17	97.24
110-210-6331	RUT-VEHICLE OPERATIONS	3,000.00	413.86	3,094.83	103.16
110-210-6407	RUT-ENGINEERING	.00	.00	.00	.00
110-210-6408	RUT-LIABILITY INSURANCE	.00	.00	.00	.00
110-210-6417	RUT-STREET REPAIRS/MAINT	109,400.00	2,294.78	103,396.36	94.51
110-210-6425	RUT-SIDEWALK IMPROVEMENT	2,000.00	.00	376.00	18.80
110-210-6490	RUT-FAIR VIEW DR SIDEWAL	13,000.00	.00	8,293.40	63.80
110-210-6504	RUT-STREET EQUIP	.00	.00	.00	.00
110-210-6710	RUT-DEPR EQUIP EXPENSES	35,000.00	.00	34,033.18	97.24
112-210-6110	STREETS-FICA - STREETS	3,624.00	168.57	1,692.92	46.71
112-210-6130	STREETS-IPERS	4,472.00	206.91	2,041.32	45.65
112-210-6150	STREETS-GROUP INSURANCE	11,926.00	956.79	10,035.34	84.15
112-210-6155	CITY SHARE- HSA	2,325.00	29.01	1,341.98	57.72
112-210-6160	STREETS-WORKER'S COMP	5,000.00	.00	3,525.00	70.50
112-210-6170	STREETS-UNEMPLOYMENT	.00	.00	.00	.00
112-210-6181	STREETS-UNIFORM ALLOWANC	400.00	.00	400.00	100.00
	ROADS, BRIDGES, SIDEWALK	394,193.00	6,443.35	341,769.25	86.70
110-230-6371	RUT-STREET LIGHTS	22,000.00	1,436.90	15,803.22	71.83
110-230-6509	RUT-STREET SIGNS	2,500.00	.00	1,156.26	46.25
	STREET LIGHTING TOTAL	24,500.00	1,436.90	16,959.48	69.22
110-250-6331	RUT-SNOW REM VEHICLE OPE	3,500.00	.00	1,037.12	29.63
110-250-6332	RUT-SNOW REM VEHICLE REP	4,000.00	.00	86.04	2.15
110-250-6499	RUT-SNOW REM CONTRACT LA	4,000.00	.00	1,920.00	48.00
110-250-6599	RUT-SNOW REM SUPPLIES	10,000.00	1,968.59	9,490.94	94.91
	SNOW REMOVAL TOTAL	21,500.00	1,968.59	12,534.10	58.30
001-290-6010	GARBAGE-WAGES	16,098.00	1,108.06	11,777.78	73.16
001-290-6411	GARBAGE-COURT CLAIMS	2,195.00	.00	2,195.00	100.00
001-290-6418	GARBAGE-SALES TAX	8,000.00	499.12	5,685.75	71.07
001-290-6499	GARBAGE-FEES	246,846.00	20,032.60	219,369.24	88.87
001-290-6506	GARBAGE-OFFICE SUPPLIES	1,200.00	.00	1,276.05	106.34
001-290-6508	GARBAGE-POSTAGE	1,500.00	.00	1,400.00	93.33
112-290-6110	GARBAGE-FICA	1,231.00	84.77	900.90	73.18
112-290-6130	GARBAGE-IPERS	1,520.00	104.61	1,108.42	72.92
112-290-6150	GARBAGE-GROUP INSURANCE	10,552.00	440.56	5,990.01	56.77
112-290-6155	GARBAGE-CITY SHARE HSA	1,850.00	19.92	963.88	52.10

BUDGET REPORT
CALENDAR 5/2022, FISCAL 11/2022

PCT OF FISCAL YTD 91.6%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT EXPENDED
	GARBAGE TOTAL	290,992.00	22,289.64	250,667.03	86.14
001-299-6010	GARAGE-WAGES	29,458.00	2,216.58	25,401.44	86.23
001-299-6310	GARAGE-BUILDING REPAIRS	10,000.00	370.13	10,657.33	106.57
001-299-6331	GARAGE-VEHICLE OPERATION	3,500.00	413.86	3,219.38	91.98
001-299-6332	GARAGE-VEHICLE REPAIRS	26,000.00	29.38	19,093.78	73.44
001-299-6371	GARAGE-UTILITIES	3,500.00	402.68	3,658.56	104.53
001-299-6373	GARAGE-TELEPHONE	.00	.00	.00	.00
001-299-6399	GARAGE-MINOR REPAIRS/MAI	4,500.00	248.25	3,651.89	81.15
001-299-6490	STREET TREES	28,000.00	14,465.00	26,618.00	95.06
001-299-6507	GARAGE-OPERATING SUPPLIE	5,000.00	1,218.69	4,580.27	91.61
029-299-6799	DEPR-P/W BLDG EXPENSE	65,000.00	15,762.00	20,896.40	32.15
112-299-6110	GARAGE-FICA	2,254.00	169.60	1,943.38	86.22
112-299-6130	GARAGE-IPERS	2,781.00	207.88	2,369.73	85.21
112-299-6150	GARAGE-GROUP INSURANCE	7,884.00	597.22	6,285.20	79.72
112-299-6155	GARAGE-CITY SHARE HSA	1,463.00	29.01	1,417.38	96.88
112-299-6160	GARAGE-WORKER'S COMP	1,600.00	.00	1,445.00	90.31
	OTHER PUBLIC WORKS TOTAL	190,940.00	36,130.28	131,237.74	68.73
	PUBLIC WORKS TOTAL	922,125.00	68,268.76	753,167.60	81.68
001-350-6501	MOSQUITO SPRAYING	8,000.00	.00	7,250.00	90.63
	WATER,AIR,MOSQUITO CONTR	8,000.00	.00	7,250.00	90.63
001-399-6590	COVID-19 EXPENSES	.00	.00	.00	.00
	OTHER HEALTH/SOCIAL SERV	.00	.00	.00	.00
	HEALTH & SOCIAL SERVICES	8,000.00	.00	7,250.00	90.63
001-410-6010	LIBRARY-WAGES	89,269.00	6,130.44	69,475.71	77.83
001-410-6230	LIBRARY-TRAINING/EDUCATI	250.00	60.00	60.00	24.00
001-410-6310	LIBRARY-BLDG REPAIR/MAIN	8,000.00	415.00	6,114.33	76.43
001-410-6320	LIBRARY-GROUNDS MAINT	500.00	.00	.00	.00
001-410-6340	LIBRARY-COMPUTER MAINT	6,000.00	1,681.00	2,170.95	36.18
001-410-6371	LIBRARY-UTILITIES	16,000.00	614.03	8,120.21	50.75
001-410-6373	LIBRARY-TELEPHONE	2,500.00	308.71	3,506.27	140.25
001-410-6390	LIBRARY-DALLAS CO FOUND	.00	.00	.00	.00
001-410-6419	LIBRARY-TECHNOLOGY SERV	1,400.00	159.72	1,288.72	92.05
001-410-6502	LIBRARY-BOOKS	16,000.00	844.89	10,484.11	65.53
001-410-6505	LIBRARY-OFFICE FURNITURE	2,000.00	.00	168.57	8.43
001-410-6507	LIBRARY-SUPPLIES/PROG/DU	6,500.00	3,066.03	5,603.70	86.21
001-410-6508	LIBRARY-POSTAGE	1,000.00	.00	96.01	9.60
001-410-6599	LIBRARY-EQUIPMENT	.00	.00	.00	.00
041-410-6502	T&A(SL)-EXPENSES	.00	.00	.00	.00
112-410-6110	LIBRARY-FICA	6,829.00	468.97	5,314.94	77.83
112-410-6130	LIBRARY-IPERS	8,427.00	578.71	6,558.37	77.83
112-410-6150	LIBRARY-GROUP INSURANCE	20,688.00	1,967.59	20,771.31	100.40
112-410-6155	LIBRARY-CITY SHARE HSA	5,000.00	100.00	4,900.00	98.00
112-410-6160	LIBRARY-WORKER'S COMP	250.00	.00	143.00	57.20
121-410-6770	LOST-CAP OUTLAY LIBRARY	.00	.00	.00	.00
168-410-6721	T&A(BURNETT LIBRARY)-EXP	.00	.00	.00	.00

BUDGET REPORT
CALENDAR 5/2022, FISCAL 11/2022

PCT OF FISCAL YTD 91.6%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT EXPENDED
501-410-6502	T&A BOOKS-EXPENSE	.00	.00	.00	.00
	LIBRARY TOTAL	190,613.00	16,395.09	144,776.20	75.95
001-430-6010	PARKS-WAGES	45,721.00	3,808.77	42,781.37	93.57
001-430-6210	PARKS-DUES	.00	.00	.00	.00
001-430-6230	PARKS-EDUCATION/TRAINING	200.00	.00	.00	.00
001-430-6310	PARKS-BLDG MAINT/REPAIR	12,000.00	.00	337.13	2.81
001-430-6320	PARKS-GROUND MAINT/REPAI	17,000.00	1,340.95	11,203.48	65.90
001-430-6331	PARKS-VEHICLE OPERATION	2,000.00	250.00	2,351.02	117.55
001-430-6350	PARKS-EQUIP REPAIRS	1,000.00	.00	950.20	95.02
001-430-6371	PARKS-UTILITIES	2,500.00	118.28	1,631.64	65.27
001-430-6385	PARKS-PRAIRIE MEADOW GRA	.00	.00	.00	.00
001-430-6390	PARKS-DALLAS COUNTY FOUN	5,000.00	.00	.00	.00
001-430-6399	PARKS-PARK EQUIP/MAINT	20,000.00	.00	14,547.24	72.74
001-430-6450	PARKS-TREE MAINT	8,500.00	.00	8,540.00	100.47
001-430-6460	TREES PLEASE GRANT EXPEN	2,000.00	2,016.00	2,016.00	100.80
001-430-6461	TREES FOREVER GRANT EXPE	1,500.00	.00	1,265.50	84.37
001-430-6495	PARKS-ACTIVITIES	200.00	.00	.00	.00
001-430-6505	PARKS-WELLMARK GRANT	25,000.00	.00	.00	.00
001-430-6507	PARKS-MISC OPERATING SUP	2,000.00	1,969.01	2,244.91	112.25
029-430-6720	DEPR-PARK EXPENSES	.00	.00	.00	.00
112-430-6110	PARKS-FICA	3,498.00	291.38	3,272.80	93.56
112-430-6130	PARKS-IPERS	3,523.00	339.74	3,770.56	107.03
112-430-6150	PARKS-GROUP INSURANCE	2,078.00	166.68	1,720.25	82.78
112-430-6155	PARKS-CITY SHARE HSA	413.00	20.01	1,063.80	257.58
112-430-6160	PARKS-WORKER'S COMP	675.00	.00	992.00	146.96
112-430-6181	PARKS-UNIFORM ALLOWANCE	400.00	.00	.00	.00
167-430-6320	T&A(BURNETT REC)-PARK IM	80,000.00	.00	.00	.00
305-430-6505	PLAYGROUND-EXPENSES	.00	.00	.00	.00
	PARKS TOTAL	235,208.00	10,320.82	98,687.90	41.96
001-440-6010	SWIM POOL-WAGES	52,650.00	734.77	24,960.14	47.41
001-440-6230	SWIM POOL-TRAINING	500.00	.00	175.00	35.00
001-440-6310	SWIM POOL-EQUIP/BLDG REP	10,000.00	.00	156.45	1.56
001-440-6350	SWIM POOL-OPER EQUIP REP	1,000.00	.00	.00	.00
001-440-6371	SWIM POOL-UTILITIES	3,500.00	30.86	2,786.66	79.62
001-440-6373	SWIM POOL-TELEPHONE	500.00	29.55	318.37	63.67
001-440-6418	SWIM POOL-SALES TAX	2,500.00	229.74	964.95	38.60
001-440-6501	SWIM POOL-CHEM/INSPEC	6,000.00	.00	881.05	14.68
001-440-6507	SWIM POOL-OPERATING SUPP	3,000.00	127.75	935.09	31.17
029-440-6599	DEPR-POOL DONATION EXPEN	.00	.00	.00	.00
029-440-6710	DEPR-SWIM POOL EXPENSES	.00	.00	.00	.00
112-440-6110	SWIM POOL-FICA	4,028.00	56.23	1,909.51	47.41
112-440-6130	SWIM POOL-IPERS	722.00	59.60	703.92	97.50
112-440-6150	SWIM POOL-GROUP INS	4,015.00	62.31	1,340.26	33.38
112-440-6155	SWIM POOL-CITY SHARE HSA	663.00	4.01	245.57	37.04
112-440-6160	SWIM POOL-WORKER'S COMP	2,000.00	.00	664.00	33.20
166-440-6599	T&A(REC PROGRAM) EXPENSE	.00	.00	.00	.00
167-440-6801	T&A(BURNETT REC) PRINCIP	.00	.00	.00	.00
169-440-6750	T&A(BURNETT CAP IMPR)-PA	55,000.00	.00	.00	.00
180-440-6320	REC TRAIL-EXPENSES	.00	.00	.00	.00
180-440-6380	REC TRAIL-PROJ MAIN ST G	.00	.00	.00	.00
180-440-6407	ENGINEERING	.00	.00	.00	.00

BUDGET REPORT
CALENDAR 5/2022, FISCAL 11/2022

PCT OF FISCAL YTD 91.6%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT EXPENDED
180-440-6499	REC TRAIL-TRAILHEAD ARTW	.00	.00	.00	.00
180-440-6801	REC TRAIL-BURNETT PRINC	.00	.00	.00	.00
180-440-6851	REC TRAIL-BURNETT INT	.00	.00	.00	.00
502-440-6505	T&A YOUTH-EXPENSES	.00	.00	.00	.00
	RECREATION TOTAL	146,078.00	1,334.82	36,040.97	24.67
	CULTURE & RECREATION TOT	571,899.00	28,050.73	279,505.07	48.87
001-520-6210	ECON DEV-DUES	4,500.00	.00	4,057.50	90.17
001-520-6371	ECON DEV-UTILITIES	150.00	.00	162.05	108.03
001-520-6402	ECON DEV-ADVERTISING/SIG	1,000.00	.00	.00	.00
001-520-6407	ECON DEV-ENGINEERING	40,000.00	.00	22,647.48	56.62
001-520-6413	ECON DEV-PAYMENT OTHER A	7,500.00	.00	1,734.00	23.12
001-520-6470	ECON DEV-COMPLIANCE	10,000.00	401.52	4,466.67	44.67
001-520-6490	ECON DEV-MISC EXPENSE	3,000.00	.00	.00	.00
001-520-6495	ECON DEV-ACTIVITIES	.00	.00	7,248.00	.00
001-520-6499	ECON DEV-OTHER PROF SERV	5,000.00	.00	2,407.00	48.14
001-520-6761	ECON DEV-WALNUT ST INTER	100,000.00	.00	.00	.00
125-520-6411	TIF-LEGAL EXPENSES	.00	.00	.00	.00
125-520-6499	TIF-PIONEER REBATE AGREE	.00	.00	.00	.00
125-520-6799	TIF-STREETSCAPE	.00	.00	.00	.00
169-520-6499	T&A(BURNETT CAP IMP)-WAL	25,000.00	.00	.00	.00
	ECONOMIC DEVELOPMENT TOT	196,150.00	401.52	42,722.70	21.78
001-540-6371	P&Z-UTILITIES	.00	.00	.00	.00
001-540-6407	P&Z ENGINEERING	45,000.00	2,487.35	29,853.40	66.34
001-540-6414	P&Z-PUBLICATIONS	100.00	.00	.00	.00
001-540-6490	P&Z-MISC	.00	.00	.00	.00
	PLANNING & ZONING TOTAL	45,100.00	2,487.35	29,853.40	66.19
	COMMUNITY & ECONOMIC DEV	241,250.00	2,888.87	72,576.10	30.08
001-610-6010	MAYOR/COUNCIL-WAGES	9,600.00	400.00	9,200.00	95.83
001-610-6210	MAYOR/COUNCIL-DUES	1,500.00	.00	1,169.00	77.93
001-610-6230	MAYOR/COUNCIL-TRAINING	.00	80.00	300.00	.00
001-610-6401	MAYOR/COUNCIL-AUDITS	10,000.00	.00	.00	.00
001-610-6414	MAYOR/COUNCIL-PUBLICATIO	6,000.00	663.28	6,079.76	101.33
001-610-6419	MAYOR/COUNCIL-TECHNOLOGY	4,000.00	59.94	2,977.27	74.43
001-610-6490	MAYOR/COUNCIL-BONDS/DUES	15,000.00	.00	512.00	3.41
001-610-6599	MAYOR/COUNCIL-MISC EXPEN	14,000.00	1,515.90	5,634.57	40.25
112-610-6110	MAYOR/COUNCIL-FICA	734.00	30.60	435.96	59.40
112-610-6130	MAYOR/COUNCIL-IPERS	725.00	.00	407.80	56.25
112-610-6160	MAYOR/COUNCIL-WORKER'S C	.00	.00	.00	.00
	MAYOR/COUNCIL/CITY MGR T	61,559.00	2,749.72	26,716.36	43.40
001-620-6010	CLERK-WAGES	63,957.00	2,810.74	49,460.23	77.33
001-620-6210	CLERK-DUES	150.00	25.00	75.00	50.00
001-620-6230	CLERK-EDUCATION/TRAINING	2,000.00	85.10	1,641.21	82.06
001-620-6350	CLERK-EQUIPMENT REPAIRS	500.00	.00	.00	.00
001-620-6373	CLERK-TELEPHONE/RADIOS	3,100.00	252.20	2,682.38	86.53
001-620-6419	CLERK-TECHNOLOGY SERVICE	15,000.00	421.80	9,468.52	63.12

BUDGET REPORT
CALENDAR 5/2022, FISCAL 11/2022

PCT OF FISCAL YTD 91.6%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT EXPENDED
001-620-6490	CLERK-CONTRACT LABOR	1,000.00	.00	921.25	92.13
001-620-6505	CLERK-OFFICE EQUIP PURCH	4,000.00	.00	867.51	21.69
001-620-6507	CLERK-MISC OPERATING SUP	4,300.00	340.95	2,739.37	63.71
001-620-6508	CLERK-POSTAGE/BOX RENT	1,500.00	111.12	1,388.16	92.54
112-620-6110	CLERK-FICA	4,893.00	215.01	3,783.66	77.33
112-620-6130	CLERK-IPERS	6,038.00	265.33	4,662.35	77.22
112-620-6150	CLERK-GROUP INSURANCE	26,329.00	1,715.81	20,021.31	76.04
112-620-6155	CLERK-CITY SHARE HSA	5,174.00	47.26	2,879.87	55.66
112-620-6160	CLERK-WORKER'S COMP	375.00	.00	292.00	77.87
	CLERK/TREASURER/ADM TOTA	138,316.00	6,290.32	100,882.82	72.94
001-630-6403	ELECTIONS-EXPENSES	2,000.00	.00	1,092.67	54.63
	ELECTIONS TOTAL	2,000.00	.00	1,092.67	54.63
001-640-6405	ATTORNEY-MISC EXP	3,000.00	97.00	2,481.26	82.71
001-640-6411	ATTORNEY-RETAINER	31,200.00	2,600.00	28,600.00	91.67
	LEGAL SERVICES/ATTORNEY	34,200.00	2,697.00	31,081.26	90.88
001-650-6310	MEMORIAL HALL-BLDG MAINT	5,000.00	455.51	5,859.36	117.19
001-650-6320	MEMORIAL HALL-MISC EXPEN	1,300.00	12.56	1,451.26	111.64
001-650-6371	MEMORIAL HALL-UTILITIES	6,500.00	516.05	5,616.76	86.41
001-650-6373	MEMORIAL HALL-TELEPHONE	600.00	50.00	500.00	83.33
001-650-6399	MEMORIAL HALL-CAPITAL OU	.00	.00	.00	.00
001-650-6409	MEMORIAL HALL-JANITOR SE	4,300.00	260.00	2,860.00	66.51
001-650-6499	MEMORIAL HALL-ELEV MAINT	1,200.00	.00	1,147.24	95.60
	CITY HALL/GENERAL BLDGS	18,900.00	1,294.12	17,434.62	92.25
001-660-6408	GENERAL-LIABILITY INSURA	53,000.00	.00	58,289.00	109.98
	TORT LIABILITY TOTAL	53,000.00	.00	58,289.00	109.98
001-699-6490	MISC UNALLOCATED REIMB	5,000.00	11,525.52	15,207.66	304.15
	OTHER GENERAL GOVERNMENT	5,000.00	11,525.52	15,207.66	304.15
	GENERAL GOVERNMENT TOTAL	312,975.00	24,556.68	250,704.39	80.10
307-210-6407	ENGINEERING	.00	.00	.00	.00
307-210-6499	OTHER CONTRACTUAL SERV	.00	.00	.00	.00
200-210-6801	DS PRINC-2005 STREETS	.00	.00	.00	.00
200-210-6802	DS PRINC-TIF FAIRVIEW	.00	.00	.00	.00
200-210-6803	DS PRINC-2011 STREETS	62,000.00	62,000.00	62,000.00	100.00
200-210-6851	DS INT-2005 STREETS	.00	.00	.00	.00
200-210-6852	DS INT-TIF FAIRVIEW	.00	.00	.00	.00
200-210-6853	DS INT-2011 STREETS	14,592.00	7,296.00	14,592.00	100.00
200-210-6899	DS BOND REGISTRATION FEE	1,100.00	.00	600.00	54.55
	ROADS, BRIDGES, SIDEWALK	77,692.00	69,296.00	77,192.00	99.36
305-430-6385	PLAYGROUND-PRAIRE MDWS G	.00	.00	.00	.00
305-430-6390	PLAYGROUND-DALLAS CNTY G	.00	.00	.00	.00
	PARKS TOTAL	.00	.00	.00	.00
200-440-6804	DS PRINC 2022 POOL	.00	.00	.00	.00
	RECREATION TOTAL	.00	.00	.00	.00
200-815-6801	DS PRINC-2001 EDS	.00	.00	.00	.00
200-815-6802	DS PRINC-2001 SRF	.00	.00	.00	.00
200-815-6803	DS PRINC-2020 SRF	48,000.00	.00	.00	.00
200-815-6851	DS INT-2001 EDS	.00	.00	.00	.00
200-815-6852	DS INT-2001 SRF	.00	.00	.00	.00

BUDGET REPORT
CALENDAR 5/2022, FISCAL 11/2022

PCT OF FISCAL YTD 91.6%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT EXPENDED
200-815-6853	DS INT-2020 SRF	19,128.00	.00	8,422.17	44.03
200-815-6899	DS BOND REGISTRATIONS FE	2,732.00	.00	1,203.17	44.04
	SEWER/SEWAGE DISPOSAL TO	69,860.00	.00	9,625.34	13.78
200-865-6801	DS PRINC-2016 SW STORM	145,000.00	145,000.00	145,000.00	100.00
200-865-6851	DS INT-2016 SW STORM	70,795.00	35,397.50	70,795.00	100.00
200-865-6899	DS BOND REGISTRATION	600.00	.00	250.00	41.67
	STORM DISTRICT TOTAL	216,395.00	180,397.50	216,045.00	99.84
	DEBT SERVICE TOTAL	363,947.00	249,693.50	302,862.34	83.22
308-410-6770	CAP IMPROVEMENT-LIBRARY	.00	.00	.00	.00
	LIBRARY TOTAL	.00	.00	.00	.00
309-440-6407	CAP IMPROVE POOL-ENGINEE	75,000.00	.00	115,060.00	153.41
309-440-6799	CAP IMPROVE POOL-EXPENSE	50,000.00	.00	.00	.00
	RECREATION TOTAL	125,000.00	.00	115,060.00	92.05
310-750-6374	CAP IMPRV ARPA-EXPENSES	132,333.00	.00	.00	.00
	CAPITAL PROJECTS TOTAL	132,333.00	.00	.00	.00
	CAPITAL PROJECTS TOTAL	257,333.00	.00	115,060.00	44.71
600-810-6010	WATER-WAGES	80,856.00	6,349.29	71,158.95	88.01
600-810-6110	WATER-FICA	6,185.00	485.76	5,474.38	88.51
600-810-6130	WATER-IPERS	7,633.00	596.29	6,683.35	87.56
600-810-6150	WATER-GROUP INSURANCE	20,368.00	1,077.92	13,367.28	65.63
600-810-6155	WATER-CITY SHARE HSA	3,763.00	62.43	3,066.21	81.48
600-810-6160	WATER-WORKER'S COMP	2,500.00	.00	1,622.00	64.88
600-810-6181	WATER-UNIFORM ALLOWANCE	400.00	.00	400.00	100.00
600-810-6210	WATER-DUES	1,500.00	750.00	1,304.95	87.00
600-810-6230	WATER-TRAINING	1,500.00	.00	890.00	59.33
600-810-6310	WATER-EQUIP/REPAIRS/MAIN	55,000.00	3,624.63	39,931.27	72.60
600-810-6320	WATER-WELL MAINTENANCE	25,000.00	.00	7,000.00	28.00
600-810-6331	WATER-VEHICLE OPERATIONS	2,000.00	177.37	1,326.37	66.32
600-810-6332	WATER-VEHICLE REPAIRS	500.00	.00	.00	.00
600-810-6340	WATER-OFFICE EQUIP	.00	.00	.00	.00
600-810-6350	WATER-CAPITAL PROJECTS	.00	.00	.00	.00
600-810-6371	WATER-UTILITIES	22,000.00	1,242.89	18,564.29	84.38
600-810-6373	WATER-TELEPHONE	1,000.00	.00	357.13	35.71
600-810-6374	T&A(M)DEPOSIT REFUND	13,000.00	1,428.30	12,387.15	95.29
600-810-6401	WATER-AUDIT	.00	.00	.00	.00
600-810-6407	WATER-ENGINEERING	.00	.00	.00	.00
600-810-6408	WATER-INSURANCE	8,200.00	.00	12,055.00	147.01
600-810-6411	WATER-LEGAL	20,000.00	.00	9,807.91	49.04
600-810-6418	WATER-SALES TAX EXPENSE	32,000.00	2,053.19	26,515.58	82.86
600-810-6419	WATER-TECHNOLOGY SERVICE	7,000.00	48.60	3,451.87	49.31
600-810-6499	WATER-TESTS	10,000.00	556.44	5,128.40	51.28
600-810-6501	WATER-SALT/CHEMICALS	33,000.00	.00	13,796.73	41.81
600-810-6506	WATER-OFFICE SUPPLIES	1,700.00	.00	1,447.50	85.15
600-810-6507	WATER-OPERATING SUPPLIES	3,000.00	.00	161.67	5.39
600-810-6508	WATER-POSTAGE	1,500.00	.00	1,400.00	93.33

BUDGET REPORT
CALENDAR 5/2022, FISCAL 11/2022

PCT OF FISCAL YTD 91.6%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT EXPENDED
600-810-6599	WATER-MISC EXP	4,000.00	17.52	3,081.33	77.03
600-810-6780	WATER-CAPITAL IMPROVEMEN	.00	.00	.00	.00
600-810-6801	WATER DEBT-PRINC 1996	.00	.00	.00	.00
600-810-6802	WATER DEBT PRINC 1999	.00	.00	.00	.00
600-810-6803	WATER DEBT-PRINC 2008 WT	.00	.00	.00	.00
600-810-6854	WATER DEPT-INT 2008 WTR	.00	.00	.00	.00
600-810-6805	WATER DEBT-PRINC 2021	110,000.00	110,000.00	110,000.00	100.00
600-810-6855	WATER DEBT-INT 2021	9,438.00	5,058.75	9,302.48	98.56
600-810-6851	WATER DEBT-INT 1996	.00	.00	.00	.00
600-810-6852	WATER DEBT-INT 1999	.00	.00	.00	.00
600-810-6899	WATER-BOND REGISTRATION	1,063.00	.00	300.00	28.22
602-810-6407	WATER CAP OUTLAY-ENGINEE	59,000.00	.00	27,446.58	46.52
602-810-6780	WATER CAP OUTLAY-UTIL SY	510,000.00	.00	248,542.00	48.73
	WATER TOTAL	1,053,106.00	133,529.38	655,970.38	62.29
610-815-6010	SEWER-WAGES	76,516.00	6,102.22	67,212.71	87.84
610-815-6110	SEWER-FICA	5,853.00	466.71	5,172.16	88.37
610-815-6130	SEWER-IPERS	7,223.00	572.98	6,313.59	87.41
610-815-6150	SEWER-GROUP INSURANCE	21,730.00	1,237.80	15,031.84	69.18
610-815-6155	SEWER-CITY SHARE HSA	4,349.00	88.35	4,318.94	99.31
610-815-6160	SEWER-WORKER'S COMP	2,500.00	.00	1,279.00	51.16
610-815-6181	SEWER-UNIFORM ALLOWANCE	400.00	.00	400.00	100.00
610-815-6210	SEWER-DUES	350.00	.00	.00	.00
610-815-6230	SEWER-EDUCATION/TRAINING	1,000.00	.00	250.00	25.00
610-815-6310	SEWER-BLDG REPAIR/MAINT	500.00	.00	34.89	6.98
610-815-6320	SEWER-GROUND REPAIR/MAIN	2,500.00	.00	.00	.00
610-815-6331	SEWER-VEHICLE OPERATIONS	1,600.00	177.39	1,326.38	82.90
610-815-6332	SEWER-VEHICLE REPAIRS	.00	.00	.00	.00
610-815-6340	SEWER-OFFICE EQUIP	.00	.00	.00	.00
610-815-6350	SEWER-OPERATION/MAINT	10,000.00	.00	2,472.84	24.73
610-815-6371	SEWER-UTILITIES	23,000.00	1,773.16	21,298.85	92.60
610-815-6373	SEWER-TELEPHONE	.00	.00	.00	.00
610-815-6374	SEWER DEPOSITS	2,000.00	.00	1,200.00	60.00
610-815-6407	SEWER-ENGINEERING	3,800.00	281.00	5,352.34	140.85
610-815-6408	SEWER-INSURANCE	12,000.00	.00	16,055.00	133.79
610-815-6411	SEWER-LEGAL	.00	.00	.00	.00
610-815-6418	SEWER-SALES TAX EXPENSE	9,823.00	410.76	6,377.83	64.93
610-815-6419	SEWER-TECHNOLOGY SERVICE	7,000.00	103.58	4,712.65	67.32
610-815-6499	SEWER-TESTS	13,000.00	567.50	11,486.50	88.36
610-815-6506	SEWER-OFFICE SUPPLIES	200.00	.00	1,447.66	723.83
610-815-6507	SEWER-SUPPLIES	500.00	.00	200.00	40.00
610-815-6508	SEWER-POSTAGE	1,500.00	.00	1,400.00	93.33
610-815-6599	SEWER-ADMIN EXPENSES	2,000.00	18.04	316.76	15.84
610-815-6767	SEWER-FAIR VIEW DR SAN S	.00	.00	.00	.00
610-815-6780	SEWER-CAPITAL OUTLAY PRO	72,860.00	.00	72,854.55	99.99
610-815-6801	SEWER DEBT-PRINC-2001 ED	.00	.00	.00	.00
610-815-6802	SEWER DEBT-PRINC 1999	.00	.00	.00	.00
610-815-6803	SEWER DEBT-PRINC WASS	.00	.00	.00	.00
610-815-6804	SEWER DEBT-PRINC 2019 SR	74,000.00	.00	.00	.00
610-815-6851	SEWER DEBT-INT 2001 EDS	.00	.00	.00	.00
610-815-6853	SEWER DEBT-INT WASS	.00	.00	.00	.00
610-815-6852	SEWER DEBT-INT-1999	.00	.00	.00	.00

BUDGET REPORT
CALENDAR 5/2022, FISCAL 11/2022

PCT OF FISCAL YTD 91.6%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT EXPENDED
610-815-6854	SEWER DEBT-INT 2019 SRF	51,958.00	.00	25,978.75	50.00
610-815-6899	SEWER DEBT-REGISTRAR FEE	7,422.00	.00	3,711.25	50.00
	SEWER/SEWAGE DISPOSAL TO	415,584.00	11,799.49	276,204.49	66.46
740-865-6379	STORM DISTRICT-MAINT/REP	25,000.00	6,022.96	23,039.90	92.16
740-865-6407	STORM DISTRICT-ENGINEER	.00	.00	.00	.00
740-865-6411	STORM DISTRICT-LEGAL	.00	.00	.00	.00
740-865-6418	STORM DISTRICT-SALES TAX	1,300.00	117.88	1,309.84	100.76
740-865-6419	STORM DISTRICT-TECH SERV	1,000.00	30.00	930.02	93.00
740-865-6765	STORM DISTRICT-CAPITAL P	.00	.00	.00	.00
740-865-6801	STORM DISTRICT DEBT-PRIN	.00	.00	.00	.00
740-865-6851	STORM DISTRICT DEBT-INTE	.00	.00	.00	.00
740-865-6899	STORM DISTRICT DEBT-REGI	.00	.00	.00	.00
	STORM DISTRICT TOTAL	27,300.00	6,170.84	25,279.76	92.60
	ENTERPRISE FUNDS TOTAL	1,495,990.00	151,499.71	957,454.63	64.00
001-910-6910	GENERAL-TRANSFERS OUT	119,772.00	.00	114,874.01	95.91
011-910-6910	T&A(PD)BENEVOLENT-TRANSF	.00	787.32	787.32	.00
029-910-6910	DEPR-TRANSFER OUT	.00	.00	.00	.00
110-910-6910	RUT-TRANSFERS OUT	.00	.00	.00	.00
112-910-6910	T&A(EB)-TRANSFER OUT	.00	.00	.00	.00
119-910-6910	EMERGENCY-TRANSFER OUT	.00	.00	.00	.00
121-910-6910	LOST-TRANSFER OUT	314,489.00	154,689.00	201,579.00	64.10
125-910-6910	TIF-TRANSFER OUT	141,237.00	6,567.92	117,811.12	83.41
167-910-6910	T&A(BURNETT REC)-TRANSFE	.00	.00	.00	.00
168-910-6910	T&A(BURNETT LIB)-TRANSFE	.00	.00	.00	.00
169-910-6910	T&A(BURNETT CAP IMP) TRA	.00	.00	.00	.00
180-910-6910	REC TRAIL-TRANSFER OUT	.00	.00	.00	.00
200-910-6910	TRANSFER OUT	.00	.00	.00	.00
307-910-6911	TRANSFER OUT - TIF	.00	.00	.00	.00
301-910-6910	CAP IMPR WASTEWTR-TRANSF	.00	.00	.00	.00
308-910-6910	CAP IMPROVE LIBRY-TRANSF	.00	.00	.00	.00
309-910-6910	CAP IMPROV POOL-TRANSFER	.00	.00	.00	.00
310-910-6910	CAP IMPRV ARPA-TRANSFER	.00	.00	.00	.00
600-910-6910	WATER-TRANSFERS OUT	6,000.00	.00	6,000.00	100.00
602-910-6910	WATER CAP OUTLAY-TRANSFE	.00	.00	.00	.00
610-910-6910	SEWER-TRANSFERS OUT	6,000.00	.00	6,000.00	100.00
740-910-6910	STORM DISTRICT-TRANSFER	.00	.00	.00	.00
	TRANSFERS TOTAL	587,498.00	162,044.24	447,051.45	76.09
	TRANSFER OUT TOTAL	587,498.00	162,044.24	447,051.45	76.09
	TOTAL EXPENSES BY FUNCTI	5,201,706.00	712,082.32	3,492,799.40	67.15

MAY 2022 CODE ENFORCEMENT REPORT DALLAS CENTER

CASE #	ADDRESS	VIOLATION	DATE OF VIOLATION	REINSPECT DATE	COMMENTS	COMPLIED
		BEGIN 2017				
		BEGIN 2019				
2019-065	1201 Walnut	Junk & Vehicles	5/29/2019	6/13/2019 8/2/19 9/30/21	Advisory 6/19/19 sent new pictures- 7/17/19 Certified - 9/10/21 Certified	
		BEGIN-2020				
2020-139	804 Fairview	Junk	10/20/2020	10/27/2020 11/18/20 12/18/20 1/4/21 6/17/21 7/8/21	M- 11/2/20 Advisory-12/1/20 Certified- 12/21/20 FINAL 5/26/21 new violations Cert.- 6/22/21 FINAL 8-2-21 Refer to city	
2020-166	1506 Cherry	Junk	12/10/2020	12/15/2020 1/2/21 1/21/21 2/18/21 3/18/21 7/8/21	M- 12/17/20 Advisory- 1/5/21 Certified- 2/2/21 FINAL- 3/1/21 FINAL ii	
		BEGIN 2021				
2021-021	1201 Vine	Junk & Vehicles	2/22/2021	3/4/2021 3/18/21 5/14/21 6/17/21	M- 3/1/21 Advisory- 4/28/21 Certified- 5/26/21 FINAL	

2021-113	1607 Laurel	Vehicle & Parking	8/31/2021	9/16/2021 11/11/21 12/9/21 4/8/22 6/7/22	Advisory- 10/26/21 Certified- 11/23/21 FINAL 5/24/22 F	
2021-135	1229 Maple	Junk	11/23/2021	12/9/2021 1/6/22 5/26/22	Advisory- 12/21/21 Certified new Advisory	
		BEGIN 2022				
2022-011	504-10	Junk	2/16/2021	3/4/2022 4/28/22	Advisory- 4/12/22 Certified-	5/24/2022
2022-030	107-15	Junk & Parking	3/29/2022	4/14/2022	Advisory	5/10/2022
2022-031	805 Percival	Junk & Vehicles	3/29/2022	4/14/2022	Advisory	
2022-032	1005 Sugar Grove	Vehicle	4/12/2022	4/28/2022	Advisory	
2022-033	606 Vine	Parking	4/12/2022	4/28/2022	Advisory- 5/24/22 Certified	
2022-035	302-11	Junk	4/12/2022	4/26/2022	M	5/24/2022
2022-036	1405 Vine	Junk	4/12/2022	4/26/2022	M	5/10/2022
2022-037	400 Percival	Junk	4/12/2022	4/26/2022	M	5/10/2022
2022-040	305-10	Junk	4/26/2022	5/13/2022	Advisory	5/24/2022
2022-041	1600 Linden	Junk	4/26/2022	5/10/2022	M	
2022-042	1706 Sycamore	Junk	4/26/2022	5/10/2022	M	5/10/2022
2022-043	1709 Cherry	Junk	4/26/2022	5/10/2022	M	5/10/2022
2022-044	1711 Cherry	Junk	4/26/2022	5/10/2022	M	
2022-045	307-10	Grass	5/10/2022	5/24/2022	Advisory	5/24/2022
2022-046	906 Ash	Grass	5/10/2022	5/24/2022	Advisory	5/24/2022
2022-047	1000 Walnut	Grass	5/10/2022	5/24/2022	Advisory	5/24/2022
2022-048	707-10	Junk	5/10/2022	5/24/2022	M	5/24/2022
2022-049	1003-8	Junk	5/10/2022	5/24/2022	M	
2022-050	1509 Sycamore	Parking	5/10/2022	5/24/2022	M	
2022-051	1607 Sugar Gr	Parking	5/10/2022	5/24/2022	M	
2022-052	1701 Ash	Grass	5/10/2022	5/24/2022	Advisory	5/24/2022
2022-053	304 Kellogg	Junk	5/10/2022	5/24/2022	M	
2022-054	1101 Walnut	Junk	5/24/2022	6/7/2022	M	

2022-055	1229 Maple	Grass	5/24/2022	5/31/2022	Advisory
2022-056	201-14	Grass	5/24/2022	5/31/2022	Advisory
2022-057	1600 Linden	Grass	5/24/2022	5/31/2022	Advisory
2022-058	1706 Cherry	Junk	5/24/2022	6/7/2022	M
2022-059					

FIRE & EMS REPORT

May 2022

Total calls : 14

FIRE 5 total

1 structure fire

1 Fire Alarm

2 MVC

1 confined space

EMS 9 Total

9 calls for service (7 City/2 Rural)

Monthly Water Report

Date	May-22																			
Water Plant																				
Total Gal.>	4,772,400	Max	212,400	Min	72,000	Avg	141,000	Gpm	259											
Total Hrs.>	282.1	Max	12.2	Min	4.3	Avg	9.1													
Last Month.>	4,205,500	Max	317,700	Min	96,000	Avg	140,200	Gpm	265											
Last Year.>	4,799,900	Max	228,500	Min	104,000	Avg	154,800	Gpm	251											
Lbs.of Chlorine 536 Lbs of Fluoride 42 Gallons of salt brine 7,450																				
Chlorine.Mg/l 0.65 Fluoride.Mg/l 0.6 Hardness. Mg/l 92 Iron. Mg/l 0.01 Nitrate.Mg/l																				
Well																				
Date 5/11/2022																				
	S	R	DD	Gpm	S	R	DD	Gpm	S	R	DD	Gpm	S	R	DD	Gpm	S	R	DD	Gpm
Well # 7	24	12	12	120																
Well # 9	30	16	14	120																
Well # 10	30	10	20	100																
Well # 11	28	8	20	220																
Water Meters																				
	New Installs				Read In															
	Replace Meter				Read Out															
	Replace Radio				Shut off For nonpayment															
	Read																			
	Repair																			
Fire Hydrants																				
	New Install				Flush Hyd				Repair Hyd											
Water Plant																				
	5/4/2022 - Raised antenna for SCADA system.																			
Water Tower																				
Reservoir																				
	5/4/2022 - Installed new antenna for SCADA system.																			
Dist. System																				
Wells																				
	5/11/2022 - Tested Wells 7-9-10-11 no issues.																			
Other																				



May 2022 Dallas Center Calls for Service

Create Date/Time	Call Type	Location
5/2/2022 6:24	INFORMATION	1246 13TH ST, DALLAS CENTER
5/2/2022 20:33	VEHICLE UNLOCK	1005 ASH ST, DALLAS CENTER
5/2/2022 21:21	CIVIL PAPER	1806 LINDEN ST 7, DALLAS CENTER
5/2/2022 23:02	RETURN PHONE CALL	206 RHINEHART AVE, DALLAS CENTER
5/3/2022 0:02	911 HANGUP	203 PERCIVAL AVE, DALLAS CENTER
5/3/2022 0:59	EXTRA PATROL	206 RHINEHART AVE, DALLAS CENTER
5/3/2022 11:15	JUVENILE PROBLEM	1400 VINE ST, DALLAS CENTER
5/3/2022 15:16	ANIMAL CONTROL	KELLOGG AVE / SYCAMORE ST, DALLAS CENTER
5/4/2022 1:22	EXTRA PATROL	203 PERCIVAL AVE, DALLAS CENTER
5/4/2022 7:40	TRAFFIC CONTROL	1205 13TH ST, DALLAS CENTER
5/4/2022 9:31	SUSPICIOUS	3 PRAIRIE LN, DALLAS CENTER
5/4/2022 13:03	MVC-PD	14TH ST / MAPLE ST, DALLAS CENTER
5/4/2022 16:08	HARASSMENT/THREATS	704 ELM CT, DALLAS CENTER
5/4/2022 20:59	911 TRANSFER	240 TH ST / ORDER DR, DALLAS CENTER
5/5/2022 8:58	CIVIL PAPER	1200 ASH ST, DALLAS CENTER
5/5/2022 19:33	TRAFFIC STOP	27000 240TH ST, DALLAS CENTER
5/5/2022 21:47	SUSPICIOUS	595 SUGAR GROVE AVE, DALLAS CENTER
5/6/2022 8:25	HARASSMENT/THREATS	1205 13TH ST, DALLAS CENTER
5/6/2022 13:29	HARASSMENT/THREATS	527 SYCAMORE ST, DALLAS CENTER
5/6/2022 16:57	ILLEGAL DUMPING	LINDEN ST / KELLOGG AVE, DALLAS CENTER
5/7/2022 11:20	911 HANGUP	LAT: 41.6842; LON: -93.9599
5/7/2022 18:55	MVC-PD	1202 SUGAR GROVE AVE, DALLAS CENTER
5/8/2022 13:33	911 HANGUP	1507 CHERRY ST, DALLAS CENTER
5/9/2022 12:07	911 HANGUP	1204 LINDEN ST, DALLAS CENTER
5/9/2022 13:03	CIVIL PAPER	1200 ASH ST, DALLAS CENTER
5/9/2022 17:21	911 HANGUP	SUGAR GROVE AVE / QUINLAN AVE, DALLAS CENTER
5/9/2022 18:13	INFORMATION	1502 WALNUT ST, DALLAS CENTER
5/10/2022 7:30	CIVIL PAPER	904 SUGAR GROVE AVE, DALLAS CENTER
5/10/2022 12:20	911 HANGUP	240 TH ST / ORDER DR, DALLAS CENTER
5/10/2022 12:37	INFORMATION	701 NORTHVIEW DR, DALLAS CENTER
5/10/2022 22:40	SUSPICIOUS	1002 VINE ST, DALLAS CENTER
5/12/2022 11:48	MEDICAL/AMBULANCE TRIP	1105 MAPLE ST, DALLAS CENTER

5/12/2022 13:45	MEDICAL TRANSPORT	507 14TH ST, DALLAS CENTER
5/12/2022 20:11	VEHICLE UNLOCK	1708 LINDEN ST, DALLAS CENTER
5/13/2022 0:22	MEDICAL/AMBULANCE TRIP	607 OAK CT, DALLAS CENTER
5/13/2022 1:19	EXTRA WATCH	203 PERCIVAL AVE, DALLAS CENTER
5/13/2022 14:09	VEHICLE UNLOCK	205 14TH ST, DALLAS CENTER
5/13/2022 14:13	CIVIL PAPER	1800 LINDEN ST 1, DALLAS CENTER
5/13/2022 14:29	CIVIL PAPER	1200 ASH ST, DALLAS CENTER
5/13/2022 21:02	CIVIL PAPER	1200 ASH ST, DALLAS CENTER
5/14/2022 16:37	CIVIL DISPUTE	1704 LAUREL ST, DALLAS CENTER
5/15/2022 4:20	EXTRA WATCH	203 PERCIVAL AVE, DALLAS CENTER
5/15/2022 11:52	VIOLATION OF PROTECTION ORDER	203 PERCIVAL AVE, DALLAS CENTER
5/16/2022 10:20	CIVIL PAPER	1800 LINDEN ST, DALLAS CENTER
5/16/2022 12:10	TRAFFIC STOP	2500 240TH ST, DALLAS CENTER
5/17/2022 7:23	CIVIL PAPER	1800 LINDEN ST, DALLAS CENTER
5/18/2022 4:02	MEDICAL/AMBULANCE TRIP	2306 230TH ST, DALLAS CENTER
5/18/2022 9:44	911 HANGUP	SUGAR GROVE AVE / RHINEHART AVE, DALLAS CENTER
5/18/2022 23:25	MEDICAL/AMBULANCE TRIP	1406 LAUREL ST, DALLAS CENTER
5/19/2022 10:38	RETURN PHONE CALL	1201 VINE ST, DALLAS CENTER
5/19/2022 11:59	INFORMATION	1107 SUGAR GROVE AVE, DALLAS CENTER
5/19/2022 15:25	TRAFFIC COMPLAINT	27000 240TH ST, DALLAS CENTER
5/19/2022 17:16	911 HANGUP	240 TH ST / ORDER DR, DALLAS CENTER
5/19/2022 17:17	911 HANGUP	240 TH ST / ORDER DR, DALLAS CENTER
5/19/2022 17:27	FOLLOW UP INVESTIGATION	506 15TH ST, DALLAS CENTER
5/20/2022 12:55	MEDICAL TRANSPORT	1204 LINDEN ST, DALLAS CENTER
5/21/2022 4:14	MEDICAL/AMBULANCE TRIP	1107 SUGAR GROVE AVE 2, DALLAS CENTER
5/21/2022 10:05	SUSPICIOUS	FAIRVIEW DR / NORTHVIEW DR, DALLAS CENTER
5/21/2022 17:28	OPEN DOOR/WINDOW	700 OAK CT, DALLAS CENTER
5/22/2022 12:32	SUSPICIOUS	595 SUGAR GROVE AVE, DALLAS CENTER
5/22/2022 20:01	INFORMATION	906 VINE ST, DALLAS CENTER
5/23/2022 8:16	MOTORIST ASSIST	2700 240TH ST, DALLAS CENTER
5/23/2022 17:25	911 MISDIAL	14 TH ST / WALNUT ST, DALLAS CENTER
5/24/2022 10:25	911 HANGUP	13 TH ST / VINE ST, DALLAS CENTER
5/24/2022 10:33	DRUG INVESTIGATION	1706 VINE ST, DALLAS CENTER
5/24/2022 15:46	VANDALISM	1801 SUGAR GROVE AVE, DALLAS CENTER
5/24/2022 18:44	MVC-PI	2577 240TH ST, DALLAS CENTER
5/25/2022 6:49	MEDICAL/AMBULANCE TRIP	104 PERCIVAL AVE, DALLAS CENTER
5/26/2022 0:25	DISTURBANCE	595 SUGAR GROVE AVE, DALLAS CENTER
5/26/2022 8:22	MEDICAL/AMBULANCE TRIP	200 KELLOGG AVE, DALLAS CENTER
5/26/2022 8:50	FIRE ALARM	1400 VINE ST, DALLAS CENTER
5/26/2022 18:57	WELFARE CHECK	105 14TH ST, DALLAS CENTER
5/27/2022 0:23	SUSPICIOUS	595 SUGAR GROVE AVE, DALLAS CENTER

5/27/2022 7:56	TRAFFIC HAZARD	2500 240TH ST, DALLAS CENTER
5/27/2022 10:39	WELFARE CHECK	1806 LINDEN ST 5, DALLAS CENTER
5/27/2022 13:54	WELFARE CHECK	1806 LINDEN ST 5, DALLAS CENTER
5/27/2022 17:35	ANIMAL COMPLAINT	1708 LINDEN ST, DALLAS CENTER
5/27/2022 20:27	TRAFFIC STOP	2500 240TH ST, DALLAS CENTER
5/28/2022 2:34	EXTRA WATCH	203 PERCIVAL AVE, DALLAS CENTER
5/28/2022 12:26	MEDICAL/AMBULANCE TRIP	2306 230TH ST, DALLAS CENTER
5/29/2022 0:47	TRAFFIC COMPLAINT	240TH ST / QUINLAN AVE, DALLAS CENTER
5/29/2022 13:13	911 MISDIAL	KELLOGG AVE / VINE ST, DALLAS CENTER
5/29/2022 14:10	TRAFFIC STOP	SUGAR GROVE AVE / FAIRVIEW DR, DALLAS CENTER
5/29/2022 19:58	911 HANGUP	HATTON AVE / SYCAMORE ST, DALLAS CENTER
5/30/2022 16:28	TRAFFIC COMPLAINT	N AVE / 230TH ST, DALLAS CENTER
5/30/2022 19:17	TRAFFIC COMPLAINT	2425 240TH ST, DALLAS CENTER
5/31/2022 12:18	MOTORIST ASSIST	2500 240TH ST, DALLAS CENTER
5/31/2022 13:09	911 HANGUP	1204 LINDEN ST, DALLAS CENTER
Total	Dallas Center 411 hours patrol, 16 hours on calls, 427 hours total, 320 required	88



DALLAS CENTER
(Quietly PROGRESSIVE)

CITY OF DALLAS CENTER STREET CLOSING PERMIT REQUEST

This request must be submitted 30 days prior to the event.

Applicant/Organization: Dallas Center Fall Festival Committee

Address: N/A

Phone: N/A

Contact Person: Diana Hawbaker

Address: [REDACTED]

Phone: [REDACTED]

Date of Event: August 26 & 27, 2022 Time: Friday 4-11PM; Saturday 6:30AM-11PM

Nature of Activities: Fall Festival

Streets/Intersections Requested to Be Blocked Off:

See separate sheet with days, times and locations _____

Diana Hawbaker 5/18/22
Signature of Applicant Date

City Council _____ Approved
_____ Denied

Copies to: PD
FD
PW

Dallas Center Fall Festival 2022
Proposed Street Closings – August 26-27

THURSDAY: Street closings for carnival setup at 11:00 am (yellow line)

1. Walnut Street from 15th to 14th Street
2. 14th Street from first alley north of Walnut to first alley south of Walnut
3. 15th Street from Walnut north to Ash Street
4. Front Street from Walnut to the east entrance of the post office

FRIDAY: Street closings at 12:00 noon (green line)

1. Continue all street closings from Thursday
2. Walnut from 14th Street to the RRVT

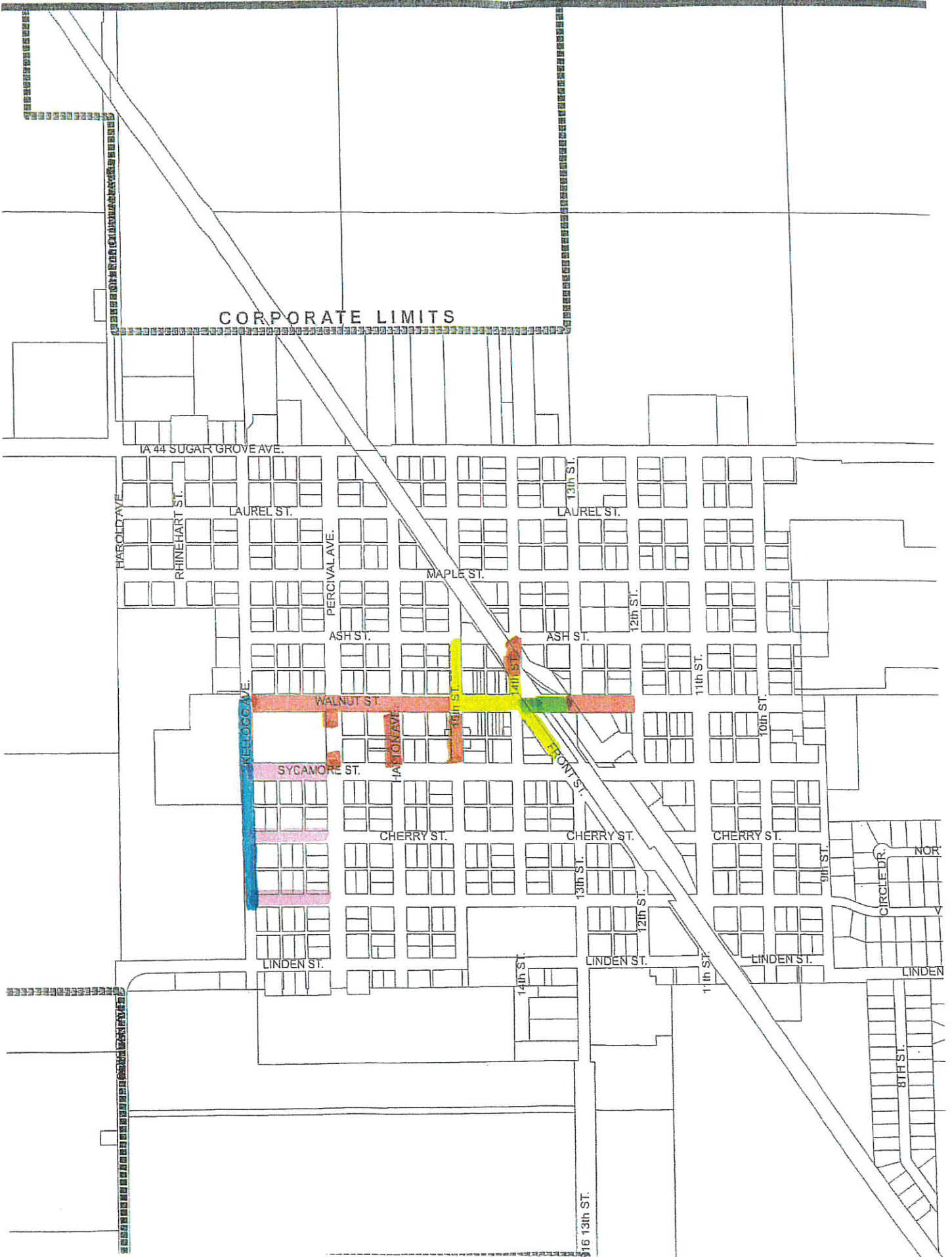
SATURDAY: Street closings at 7:00 am (red line)

1. Continue all street closings from Thursday and Friday
2. Walnut Street closed from Kellogg Ave. east to 12th Street
3. 14th Street closed from Walnut north to Ash Street
4. 15th Street closed from Walnut south to Sycamore (for parade route extension)
5. Hatton Avenue closed from Walnut to Sycamore
6. Both parking lots at Mound Park closed
7. Kellogg Avenue closed from Walnut south to Vine for parade lineup (blue line)*
8. Sycamore, Cherry and Vine Streets closed from Kellogg to Percival for parade lineup (pink line)*

*Streets in blue and pink will reopen immediately following parade

A big THANK YOU once again to the City Council for your contributions to DC Celebrations and for all of the help from the council and city staff. Your continued support helps make our fall festival a success every year. Without your support none of this would be possible!

CORPORATE LIMITS





DALLAS CENTER
(Quietly PROGRESSIVE)

CITY OF DALLAS CENTER STREET CLOSING PERMIT REQUEST

This request must be submitted 30 days prior to the event.

Applicant/Organization: DC Betterment Foundation

Address: 1404 Walnut St.

Phone: [REDACTED]

Contact Person: Meg Dickinson

Address: 1404 Walnut St.

Phone: [REDACTED]

Date of Event: 6/18 Time: 5am to 11am

Nature of Activities: Balloon Ride

Streets/Intersections Requested to Be Blocked Off:

Walnut Street From 14th St. To Heritage
Park - as additional space for current
request/approved Walnut St. 14th through 15th St

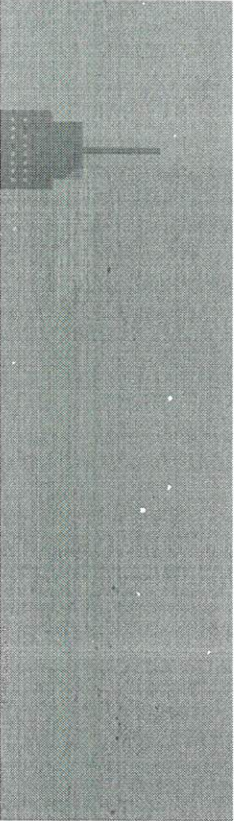
[Signature] 6/8/22
Signature of Applicant Date

City Council Approved
 Denied

Copies to: PD
FD
PW

Google Maps Walnut St

Handwritten notes:
Closed
New Shop



Map data ©2022 Google



CHAPTER 64

TURNING REGULATIONS

64.01 Turning at Intersections

64.02 U-Turns

64.01 TURNING AT INTERSECTIONS. The driver of a vehicle intending to turn at an intersection shall do so as follows:

(Code of Iowa, Sec. 321.311)

1. Both the approach for a right turn and a right turn shall be made as close as practical to the right-hand curb or edge of the roadway.
2. Approach for a left turn shall be made in that portion of the right half of the roadway nearest the centerline thereof and after entering the intersection the left turn shall be made so as to depart from the intersection to the right of the centerline of the roadway being entered.
3. Approach for a left turn from a two-way street into a one-way street shall be made in that portion of the right half of the roadway nearest the centerline thereof and by passing to the right of such centerline where it enters the intersection. A left turn from a one-way street into a two-way street shall be made by passing to the right of the centerline of the street being entered upon leaving the intersection.

The Director of Public Works may cause markers, buttons or signs to be placed within or adjacent to intersections and thereby require and direct, as traffic conditions require, that a different course from that specified above be traveled by vehicles turning at intersections, and when markers, buttons or signs are so placed, no driver of a vehicle shall turn a vehicle at an intersection other than as directed and required by such markers, buttons or signs.

64.02 U-TURNS. It is unlawful for a driver to make a U-turn except at an intersection, however, U-turns are prohibited at intersections where there are automatic traffic signals.

(Code of Iowa, Sec. 321.236[9])

CHAPTER 69

PARKING REGULATIONS

69.01 Park Adjacent to Curb	69.09 Parking Limited to Ten Minutes
69.02 Parking on One-Way Streets	69.10 No Parking Zone During School Days
69.03 Angle Parking	69.11 Truck Parking Limited
69.04 Manner of Angle Parking	69.12 Parking on Walnut Street
69.05 Parking for Certain Purposes Illegal	69.13 Parking on Fourteenth Street
69.06 Parking Prohibited	69.14 Loading Zone
69.07 Persons With Disabilities Parking	69.15 Snow Removal
69.08 No Parking Zones	69.16 Snow Routes

69.01 PARK ADJACENT TO CURB. No person shall stand or park a vehicle in a roadway other than parallel with the edge of the roadway headed in the direction of lawful traffic movement and with the right-hand wheels of the vehicle within 18 inches of the curb or edge of the roadway except as hereinafter provided in the case of angle parking and vehicles parked on the left-hand side of one-way streets.

(Code of Iowa, Sec. 321.361)

69.02 PARKING ON ONE-WAY STREETS. No person shall stand or park a vehicle on the left-hand side of a one-way street other than parallel with the edge of the roadway headed in the direction of lawful traffic movement and with the left-hand wheels of the vehicle within 18 inches of the curb or edge of the roadway except as hereinafter provided in the case of angle parking.

(Code of Iowa, Sec. 321.361)

69.03 ANGLE PARKING. Angle or diagonal parking is permitted only in the following locations:

(Code of Iowa, Sec. 321.361)

1. Walnut Street on both sides from Fourteenth Street to Fifteenth Street;
2. Walnut Street on the south side from Fourteenth Street 100 yards east;
3. Walnut Street on the north side from a point 30 feet east of Fourteenth Street, thence easterly to a point 50 feet west of the railroad tracks;
4. Walnut Street on the south side from Fifteenth Street 100 yards west;
5. Vine Street on the south side from Fifteenth Street to Fourteenth Street;
6. Walnut Street on the south side from Fifteenth Street to Hatton Street;
7. Fourteenth Street on the west side from Walnut Street to Sycamore Street;
8. Fifteenth Street on the east side from Walnut Street 132 feet south.

69.04 MANNER OF ANGLE PARKING. Upon those streets or portions of streets that have been signed or marked for angle parking, no person shall park or stand a vehicle other than at an angle to the curb or edge of the roadway or in the center of the roadway as indicated by such signs and markings. No part of any vehicle or the load thereon, when said vehicle is parked

69.09 PARKING LIMITED TO TEN MINUTES. It is unlawful to park any vehicle for a continuous period of more than ten minutes upon the following designated streets:

1. Fourteenth Street, on the east side, in the sixth and seventh parking spaces south of Walnut Street, which parking spaces are located directly in front of the United States Post Office.
2. Walnut Street, between 15th Street and Hatton Avenue, on the south side, in the second parking space east of the alley, which parking space is located directly in front of City Hall, but only between the hours of 7 a.m. to 4 p.m., Monday through Friday.

69.10 NO PARKING ZONE DURING SCHOOL DAYS. No one shall stop, stand, or park a vehicle other than a bus between the hours of 7:00 a.m. to 9:00 a.m. and 2:30 p.m. to 4:30 p.m., Monday through Friday during those weeks that school is in session at the Dallas Center-Grimes Community School District upon the following designated streets:

1. Fifteenth Street, on the east side, from Linden Street to Vine Street, except for the south 150 feet thereof.

69.11 TRUCK PARKING LIMITED. No person shall park or leave unattended a semi-truck tractor, with or without an attached semi-trailer, on Walnut Street, from Fourteenth Street to Fifteenth Street, or on any streets abutting property zoned R-1, R-2, R-3, or E-1, as defined in Chapter 165 of this Code. The provisions of this section shall not apply to pickup, light delivery or panel delivery trucks, and the provisions of this section do not apply when semi-truck tractors with trailer attached are actually engaged in the delivery or receiving of merchandise or cargo. When actually receiving or delivering merchandise or cargo such vehicles shall be stopped or parked in a manner which will not interfere with other traffic.

(Code of Iowa, Sec. 321.236 [1])

69.12 PARKING ON WALNUT STREET. On Walnut Street, between Fourteenth Street and Fifteenth Street, persons operating motor vehicles in an easterly direction may park only on the south side of Walnut Street; and persons operating motor vehicles in a westerly direction may park only on the north side of Walnut Street. No person operating a motor vehicle on Walnut Street shall cross the centerline of the street between Fourteenth Street and Fifteenth Street, except to turn into the alley.

(Code of Iowa, Sec. 321.236[1])

69.13 PARKING ON FOURTEENTH STREET. On Fourteenth Street, between Walnut Street and Sycamore Street, persons operating motor vehicles in a northerly direction may park only on the east side of Fourteenth Street; and persons operating motor vehicles in a southerly direction may park only on the west side of Fourteenth Street. No person operating a motor vehicle on Fourteenth Street shall cross the centerline of the street between Walnut Street and Sycamore Street, except to turn into the alley or into an off-street parking area.

69.14 LOADING ZONE. It is unlawful to park any vehicle, except for loading or unloading purposes, upon the following designated streets:

1. Fifteenth Street from a point 254 feet south of the centerline of Vine Street south for a distance of 93 feet on the east side.

69.15 SNOW REMOVAL. No person shall park, abandon or leave unattended any vehicle on any public street, alley, or City-owned off-street parking area during snow removal



Twisted
CORN
Level

LOUNGE

DINING

[Blank white chalkboard on a stand]

Date of Issuance: June 14, 2022

Effective Date: June 14, 2022

PROJECT: WALNUT STREET STREETScape PHASE 1	ENGINEER'S PROJECT NUMBER: 21-25229
OWNER: CITY OF DALLAS CENTER	DATE OF CONTRACT:
CONTRACTOR: TALLGRASS LAND STEWARDSHIP CO.	OWNER'S CONTRACT NUMBER:


The Contract Documents are modified as follows upon execution of this Change Order:

Description:

Change Order is for contractor supply and install of compacted rock material, and installation of City supplied limestone benches.

Attachments:

CHANGE IN CONTRACT PRICE:	CHANGE IN CONTRACT TIMES:
Original Contract Price: \$40,755.00	Original Contract Times: <input type="checkbox"/> Working Days <input type="checkbox"/> Calendar Days Substantial Completion (day or dates): September 30, 2022 Ready for Final Payment (day or dates): October 31, 2022
(Increase) (Decrease) from previously approved Change Orders Number to	(Increase) (Decrease) from previously approved Change Orders Number to Substantial completion (day or dates): Ready for Final Payment (day or dates):
Contract Price prior to this Change Order: \$40,755.00	Contract Times prior to this Change Order: Substantial Completion (day or dates): September 30, 2022 Ready for Final Payment (day or dates): October 31, 2022
(Increase) (Decrease) of this Change Order: \$1,305.00	(Increase) (Decrease) of this Change Order: Substantial Completion (day or dates): Ready for Final Payment (day or dates):
Contract Price Incorporating this Change Order: \$42,060.00	Contract Times with all approved Change Orders: Substantial Completion (day or dates): September 30, 2022 Ready for Final Payment (day or dates): October 31, 2022

RECOMMENDED:
I+S GROUP
By: 
Engineer (Authorized Signature)

ACCEPTED:
CITY OF DALLAS CENTER
By:
Owner (Authorized Signature)

ACCEPTED:
TALLGRASS LAND STEWARDSHIP C
By:
Contractor (Authorized Signature)

Date: 06/02/2022

Date:

Date:

ITEM NO.	DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	Amount	
					Increase	Decrease
10	LIMESTONE BENCH INSTALL	EA	8.0	\$150.00	\$1,200.00	
11	COMPACTED STONE	LS	1.0	\$105.00	\$105.00	

TOTALS

NET CHANGE IN CONTRACT PRICE

INCREASE (DECREASE) IN CONTRACT TIME, days

\$1,305.00	\$0.00
\$1,305.00	

Justification For Changes:

Change Order is for contractor supply and install of compacted rock material, and installation of City supplied limestone benches.

Contractor's Application for Payment No.

1

Application Period: Through 5/31/2022		Application Date: 6/14/2022
To (Owner): City of Dallas Center	From (Contractor): Tallgrass Land Stewardship Co.	Via (Engineer): ISG, Inc.
Project: Walnut Street Streetscape Phase 1	Contract: Walnut Street Streetscape Phase 1	
Owner's Contract No.:	Contractor's Project No.:	Engineer's Project No.: 21-25229

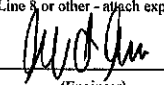
**Application For Payment
Change Order Summary**

Approved Change Orders			1. ORIGINAL CONTRACT PRICE.....	
Number	Additions	Deductions		\$
1	\$1,305.00		2. Net change by Change Orders.....	\$ 1,305.00
			3. Current Contract Price (Line 1 ± 2).....	\$ 42,060.00
			4. TOTAL COMPLETED AND STORED TO DATE (Column F total on Progress Estimates).....	\$ 8,735.00
			5. RETAINAGE:	
			a. 5% X \$8,735.00 Work Completed.....	\$ 436.75
			b. 5% X Stored Material.....	\$
			c. Total Retainage (Line 5.a + Line 5.b).....	\$ 436.75
			6. AMOUNT ELIGIBLE TO DATE (Line 4 - Line 5.c).....	\$ 8,298.25
			7. LESS PREVIOUS PAYMENTS (Line 6 from prior Application).....	\$
			8. AMOUNT DUE THIS APPLICATION.....	\$ 8,298.25
			9. BALANCE TO FINISH, PLUS RETAINAGE (Column G total on Progress Estimates + Line 5.c above).....	\$ 8,298.25
TOTALS	\$1,305.00			
NET CHANGE BY CHANGE ORDERS	\$1,305.00			

Contractor's Certification
The undersigned Contractor certifies, to the best of its knowledge, the following:
(1) All previous progress payments received from Owner on account of Work done under the Contract have been applied on account to discharge Contractor's legitimate obligations incurred in connection with the Work covered by prior Applications for Payment;
(2) Title to all Work, materials and equipment incorporated in said Work, or otherwise listed in or covered by this Application for Payment, will pass to Owner at time of payment free and clear of all Liens, security interests, and encumbrances (except such as are covered by a bond acceptable to Owner indemnifying Owner against any such Liens, security interest, or encumbrances); and
(3) All the Work covered by this Application for Payment is in accordance with the Contract Documents and is not defective.

Contractor Signature
By: _____ Date: _____

Payment of: \$ 8,298.25
(Line 8 or other - attach explanation of the other amount)

is recommended by:  06/02/2022
(Engineer) (Date)

Payment of: \$ 8,298.25
(Line 8 or other - attach explanation of the other amount)

is approved by: _____
(Owner) (Date)

Approved by: _____
Funding or Financing Entity (if applicable) (Date)

Contractor's Application

Progress Estimate - Unit Price Work

For (Contract):		Walnut Street Streetscape Phase 1										Application Number: 1									
Application Period:		Through 5/31/2022										Application Date: 6/14/2022									
A		B					C					D		E		F		G			
Bid Item No.	Item Description	Contract Information			Total Value of Item (\$)	Estimated Quantity Installed	Value of Work Installed to Date	Materials Presently Stored (not in C)	Total Completed and Stored to Date (D + E)	% (F / B)	Balance to Finish (B - F)										
		Item Quantity	Unit Price	Units																	
1	OFF-SITE TOPSOIL	105	CY	\$55.00	\$5,775.00																
2	EXCAVATION, CLASS 10	85	CY	\$40.00	\$3,400.00																
3	SIDEWALK, REMOVAL	191	SY	\$30.00	\$5,730.00	191	\$5,730.00														
4	PLANTS - SHRUBS	10	EA	\$750.00	\$7,500.00																
5	PLANTS - PERENNIALS	185	EA	\$25.00	\$4,625.00																
6	PLANTS - GRASSES	173	EA	\$23.00	\$4,325.00																
7	PLANTS - OVERSTORY TREE	14	EA	\$450.00	\$6,300.00																
8	PLANTS - UNDERSTORY TREE	3	EA	\$450.00	\$1,350.00																
9	MOBILIZATION	1	LS	\$8,500.00	\$8,500.00	0.2	\$1,700.00		\$1,700.00												
10	LMESTONE BENCH INSTALL	8	EA	\$150.00	\$1,200.00	8	\$1,200.00		\$1,200.00												
11	COMPACTED STONE	1	LS	\$105.00	\$105.00	1	\$105.00		\$105.00												
Totals					\$42,060.00		\$8,735.00		\$8,735.00					\$8,735.00							\$33,325.00

P&Z Report – May 24, 2022

The Honorable Danny Beyer
and Members of the City Council
Dallas Center, IA 50063

Dear Mr. Mayor and Members of the Council:

The Dallas Center Planning & Zoning Commission met Tuesday, May 24, 2022 at 6:30 P.M. at Memorial Hall. Commission members Abby Anderson, Linda Licht, Jim Pohl, Thomas Strutt and Matt Ostanik were present. Perry Gruver was not present at the meeting. City Administrator Cindy Riesselman, City Attorney Ralph Brown and City Engineer Bob Veenstra also were present and participated.

Public Communications

Julie Becker stated concerns about new developments and architectural standards.

Public Hearing – on the Petition for Amendment to the Dallas Center Zoning Code filed by K&A Investments

The Commission held a public hearing on K&A Investments' request that certain parcels of real estate (The Neighborhood Plat 2) be rezoned from PUD to R-1-55 Flex, R-1-60 Flex, and R-1-70.

Shane Devick spoke about the request. P&Z members requested revisions to the location of the sidewalk access between Fairview Drive and the development, and Shane agreed to make revisions prior to submitting the preliminary plat.

Julie Becker and Bob Haxton both stated concerns about new developments and lot sizes. No other public comments were received in the public hearing.

After closing the hearing, Abby Anderson moved and Thomas Strutt seconded that the Commission finds the rezoning to be consistent with the comprehensive plan and to recommend that City Council approve the rezoning. The motion passed 5-0.

Handle Bar Patio Expansion

The Commission discussed a request from the Handle Bar to expand their patio.

During the discussion, it was noted that the Handle Bar has never complied with the requirements for completing sidewalks across their property that were a condition of the property's original development. Jeremy Boysen, one of the owners of the Handle Bar, stated that they will install the missing sidewalks at the same time as the patio expansion.

After discussion, Linda Licht moved and Abby Anderson seconded to recommend that City Council approve the patio expansion site plan with the determination that parking requirements be interpreted to only apply to indoor seating and the area under the roof (not the patio) and conditional on the Handle Bar completing installation of the missing Highway 44 sidewalks on their property at the same time as the patio expansion. The motion passed 5-0.

Dallas Center-Grimes Middle School Playground

The Commission discussed a proposal from the Dallas Center-Grimes Community School District for paving the middle school playground. Bob Veenstra recommended that storm water detention requirements be waived for the project.

After discussion, Thomas Strutt moved and Linda Licht seconded to recommend that City Council approve the middle school site plan and waive storm water detention requirements for the project. The motion passed 5-0.

Skye View Estate Preliminary Plat

The Commission discussed the preliminary plat submission for Skye View Estates. Bob Veenstra provided comments on the submission. A number of issues were noted in the discussion:

- Street and right-of-way widths are not listed
- Only one point of access to a park is provided when the Commission had previously requested two points of access
- Another park that was previously discussed is missing from the plan
- Calculations have not been provided showing the total park space and how it compares to the City's requirements, plus the financial proposal if the developer is requesting to not fully meet the parkland requirement

Charles Goodall also requested that street widths throughout the development be narrowed to 26' instead of the City's required 31'. After discussion, no Commission members supported changing this and all Commission members agreed that the requirement should be kept at 31'.

Further discussion was held about the street width in front of the townhomes. Charles Goodall stated that narrowing the townhome street would allow

construction of ranch townhomes, but not narrowing it would allow for two-story units only. No conclusion was reached on this. The Commission requested that Charles or his engineer provide a drawing showing the exact dimensions for lots, setbacks, right-of-way, and ranch vs. two-story floor plans so we can see the details involved with this issue.

Charles also requested that a sewer lift station be constructed by the City immediately due to the elevation issues with some portions of the site. The availability of the lift station will impact the development timeline and the order in which the phases of development occur. This request needs taken to City Council.

After discussion, Linda Licht moved and Abby Anderson seconded to defer action on the preliminary plat pending submission of an updated plat. The motion passed 5-0.

New Dallas Center Swimming Pool

The Commission reviewed and discussed the site and architectural plan for the new pool. Bob Veenstra provided comments on the submission.

After discussion, Linda Licht moved and Jim Pohl seconded to recommend that City Council approve the site and architectural plans subject to the City Engineer's comments, waive storm detention requirements, and waive sidewalk requirements on 12th Street. The motion passed 5-0.

Plats of Survey for Cross Country Estates

The Commission reviewed and discussed plats of survey for the streets in Cross Country Estates. After discussion, Thomas Strutt moved and Jim Pohl seconded to recommend that City Council approve the plats. The motion passed 5-0.

Anti-Cookie Cutter Requirements

The Commission continued discussion about how to avoid "cookie cutter" developments, including the possibility of adding residential architectural standards for new developments. It was noted that any requirements may not apply to existing residences. Jim Pohl also suggested that we consider developing an architectural preference guide that would give suggestions to developers.

No official action was taken, and the Commission will discuss more in a future meeting.

Comprehensive Plan Update

The Commission discussed next steps for the Comprehensive Plan including scheduling a joint meeting with City Council on July 19.

Respectfully submitted,
Matt Ostanik
P&Z Commission Chair

RESOLUTION NO. 2022-38

A RESOLUTION APPROVING THE SITE PLAN FOR THE HANDLEBAR IMPROVEMENTS AT 1607 SUGAR GROVE AVENUE

WHEREAS, RUSPORT Ventures, L.L.C., KINVEST, L.L.C., and DHP, L.L.C. of Des Moines, Iowa, have submitted a Site Plan for an expansion to The HandleBar restaurant patio at 1607 Sugar Grove Avenue pursuant to Chapter 158 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, which plans were reviewed by the Planning and Zoning Commission on May 24, 2022; and

WHEREAS, the City Engineer provided review comments and recommendations dated May 16, 2022, a copy of which is attached hereto, to the Planning and Zoning Commission, which comments and recommendations were reviewed by the Commission; and

WHEREAS, the Commission recommended that for the specific commercial enterprise The HandleBar the term "floor area devoted to patron use within the establishment" to determine the off-street parking requirements of Section 165.43(2)(L) of the Code of Ordinances of the City of Dallas Center, as amended, shall refer to that floor space inside the building and immediately outside the building within the roof and canopies; and

WHEREAS, as required by Resolution No. 2019-3 approved by the Council on February 12, 2019, the Commission recommended that the sidewalk along the north side of Sugar Grove Avenue must be extended easterly to connect with the trail at the same time as the patio concrete work is undertaken; and

WHEREAS, subject to the foregoing, the Commission recommended that the Site Plan be approved; and

WHEREAS, the Council has reviewed the recommendations of the Planning and Zoning Commission, and adopts its recommendations.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DALLAS CENTER, IOWA, that the Council accepts the recommendations of the Planning and Zoning Commission; that the Commission's understanding of the the term "floor area devoted to patron use within the establishment" with respect to The HandleBar is accepted; that the requirement that the sidewalk

along the north side of Sugar Grove Avenue must be extended easterly to connect with the trail at the same time as the patio concrete work is undertaken is accepted; and the Site Plan submitted for the HandleBar is approved, subject to the foregoing provisions.

IT IS FURTHER RESOLVED that notification is hereby given to the applicant that Section 158.13 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, provides that the approval of this Site Plan shall expire and terminate 365 days after Council approval unless a building permit (if required) has been issued for the construction provided for in the Site Plan. The Council may, upon written request of the applicant, extend the time for the issuance of the required building permit for 60 additional days. In the event the building permit for construction provided for in a Site Plan expires or is cancelled, then the Site Plan approval shall thereupon terminate.

IT IS FURTHER RESOLVED that further notification is hereby given to the applicant that Section 158.11 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended provides that when there is any change in the location, size, design, conformity or character of the buildings and other improvements, an amendment to the Site Plan must be submitted to the City and reviewed by the Planning and Zoning Commission and approved by the City Council in the same manner as an original Site Plan.

PASSED, APPROVED, AND ADOPTED by the City Council of the City of Dallas Center, Iowa, on this 14th day of June, 2022.

Daniel Beyer, Mayor

ATTEST:

Michele Schaben, City Clerk



VEENSTRA & KIMM INC.

3000 Westown Parkway
West Des Moines, Iowa 50266

515.225.8000 // 800.241.8000
www.v-k.net

May 2, 2022

Cindy Riesselman
City Clerk
City of Dallas Center
1502 Walnut Street
P.O. Box 396
Dallas Center, Iowa 50063

DALLAS CENTER, IOWA
HANDLEBAR SITE PLAN
REVIEW COMMENTS

Enclosed is a copy of the site plan submitted by the Handlebar on April 29, 2022. The site plan shows the proposed expansion of the outdoor patio area located on the north side of the building. Although the patio area is not dimensioned, it appears from the drawing the area of patio would be approximately 75 feet square.

The patio area encompasses the activity court area shown on the original site plan. At the present time the area of the activity court as well as the area immediately to the west of the activity court are used for seating. Available information indicates at various time from four to eight outside tables are located on and west of the activity court area.

The present issue raised by the site plan is the parking requirement. The parking lot has a total of 57 stalls including handicap stalls. The City's zoning ordinance for restaurants, bars and similar facilities requires one parking space for every 50 square feet of space dedicated to the restaurant or bar use plus one stall for each on site employee. The City's zoning ordinance references the space within the building. The zoning ordinance does not specifically address the use of patio space intended for bar or restaurant type activities.

The interior space of the building is approximately 2,376 square feet. Slightly more than half of the space is used for restaurant or bar related activities. The site plan showed exterior patio space totaling 1,140 square feet along the paved porch area. The original site plan review did not include any of the new patio area in the calculation of the space dedicated to restaurant or bar use.

Cindy Riesselman
May 2, 2022
Page 2

At the time the site plan was reviewed in 2019 it was assumed there would be seven employees, leaving 50 parking spaces available for patron usage. The 50 parking stalls would translate to 2,500 square feet of area allowed for restaurant use. In 2019 the City determined approximately 2,350 square feet of space would be available for seating both inside and outside. The 2,350 square feet of seating area, including the exterior space, was less than the 2,500 square feet of space allowed based on the size of the parking lot. In 2019 it was not required to determine if the outside seating space under the zoning ordinance.

The new patio area would add 2,250 square feet to the total area. If all of the exterior patio space is included in the calculation of the seating area the total seating area would be approximately 4,600 square feet. Under the City's ordinance the parking requirement for 4,600 square feet would be 92 patron parking stalls plus the employee parking stalls, for a requirement of approximately 99 parking stalls.

As indicated earlier the City's ordinance is silent on whether exterior patio areas are included in the calculation of area to determine the required number of parking stalls. In 2019 the City was not required to reach a decision whether the exterior seating area was, or was not, included in the calculation as the parking met the requirement even with the exterior space included.

With the proposed patio expansion, the City will need to reach a determination whether the exterior seating area is counted as area for determining the number of parking stalls. If the City determines the exterior seating area is not to be included in the calculation of the seating area the 57 stall parking lot is more than adequate. If the City determines all of the exterior seating area is to be included in the calculation of seating area, the parking lot is approximately 42 stalls short of the required parking. There is not space on the site to add this number of additional parking stalls.

Given the language of the ordinance these appear to be the two more clear cut interpretations of the ordinance. The City could determine exterior parking stalls are to be factored into the calculation based on a subjective criteria rather than an objective criteria. Although that approach is possible, there is no language in the ordinance that would provide a basis for this approach other than the City's subjective authority to approve or disapprove site plans.

If you have any questions or comments concerning the project, please contact the writer at 515-225-8000, or bveenstra@v-k.net.

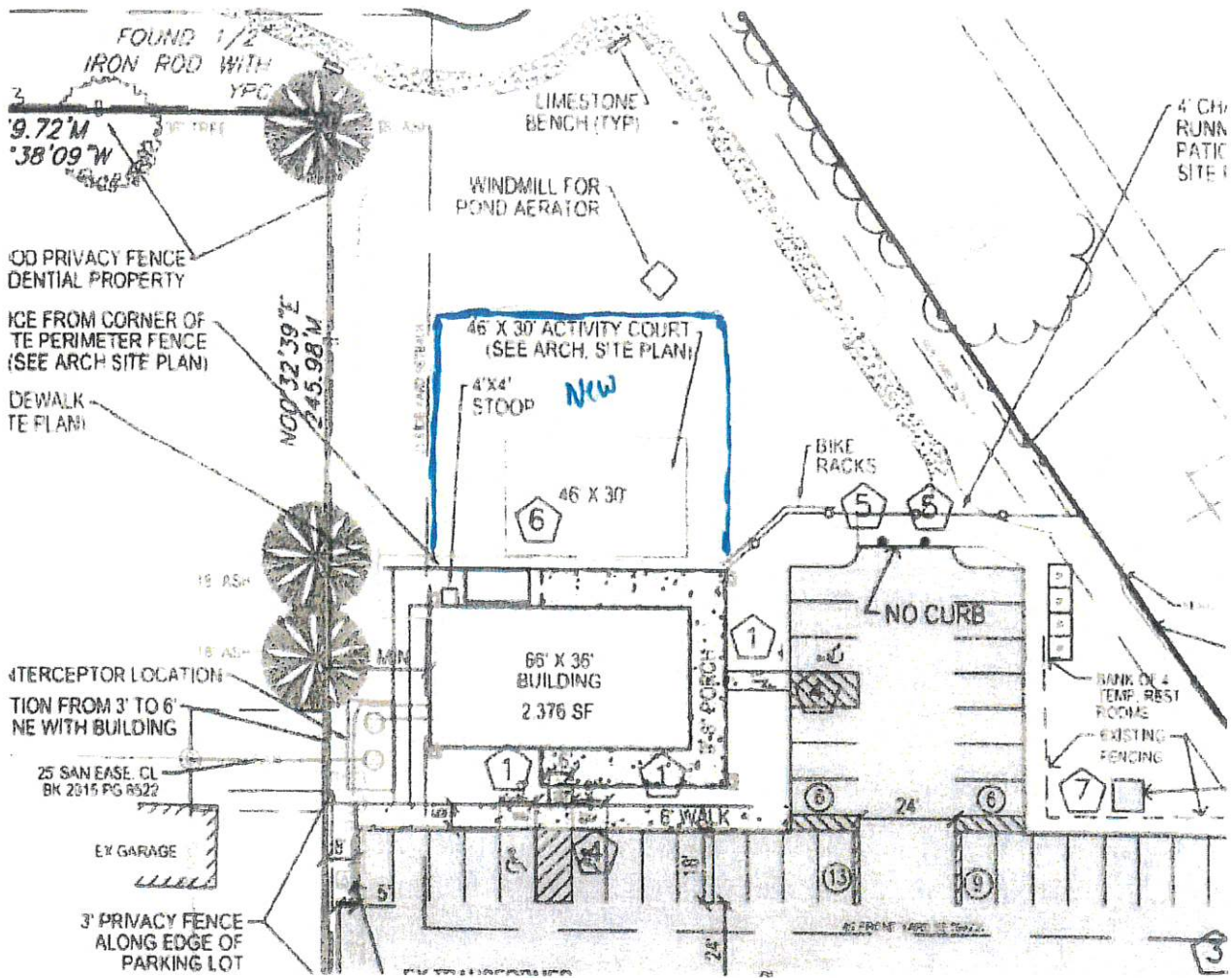
VEENSTRA & KIMM, INC.



H. R. Veenstra Jr.

HRVJr:rdp
212

Cc: Ralph Brown, Brown, Fagen & Rouse



1. Cut down on Mud
2. add Poles for Sun sail shades

Already have seating in these areas .

main goal is to cut down mud and add shade so we can increase.

RESOLUTION NO. 2022-39

A RESOLUTION APPROVING THE SITE PLAN FOR THE DALLAS CENTER-GRIMES MIDDLE SCHOOL PLAYGROUND IMPROVEMENTS

WHEREAS, the Dallas Center-Grimes Community School District has submitted a Site Plan for the Middle School playground improvements pursuant to Chapter 158 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, which plans were reviewed by the Planning and Zoning Commission on May 24, 2022; and

WHEREAS, the City Engineer provided review comments and recommendations dated May 16, 2022, a copy of which is attached hereto, to the Planning and Zoning Commission, which comments and recommendations were accepted by the Commission; and

WHEREAS, the Commission recommended that any requirements for onsite stormwater management be waived, and that the Site Plan be approved; and

WHEREAS, the Council has reviewed the recommendations of the Planning and Zoning Commission, and adopts its recommendation.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DALLAS CENTER, IOWA, that the Council accepts the recommendations of the Planning and Zoning Commission; that any requirements for onsite stormwater management be waived; and the Site Plan submitted by the Dallas Center-Grimes Community School District is approved.

IT IS FURTHER RESOLVED that notification is hereby given to the applicant that Section 158.13 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, provides that the approval of this Site Plan shall expire and terminate 365 days after Council approval unless a building permit (if required) has been issued for the construction provided for in the Site Plan. The Council may, upon written request of the applicant, extend the time for the issuance of the required building permit for 60 additional days. In the event the building permit for construction provided for in a Site Plan expires or is cancelled, then the Site Plan approval shall thereupon terminate.

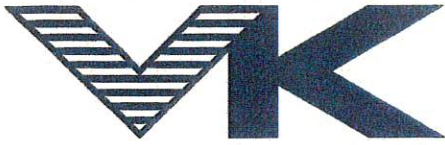
IT IS FURTHER RESOLVED that further notification is hereby given to the applicant that Section 158.11 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended provides that when there is any change in the location, size, design, conformity or character of the buildings and other improvements, an amendment to the Site Plan must be submitted to the City and reviewed by the Planning and Zoning Commission and approved by the City Council in the same manner as an original Site Plan.

PASSED, APPROVED, AND ADOPTED by the City Council of the City of Dallas Center, Iowa, on this 14th day of June, 2022.

Daniel Beyer, Mayor

ATTEST:

Michele Schaben, City Clerk



VEENSTRA & KIMM INC.

3000 Westown Parkway
West Des Moines, Iowa 50266

515.225.8000 // 800.241.8000
www.v-k.net

May 16, 2022

Ralph Brown
Brown, Fagen & Rouse
502 15th Street
P.O. Box 250
Dallas Center, Iowa 50063-0250

DALLAS CENTER, IOWA
DALLAS CENTER – GRIMES CSD
MIDDLE SCHOOL PLAYGROUND
SITE PLAN REVIEW

Enclosed is an email from Paul Nutting of the Dallas Center – Grime Community School District setting forth the proposed improvements to the Middle School Playground. The project involves removing the existing concrete and repaving all of the area identified in the drawing on the second page of the email.

Although the email from Paul Nutting does not provide any dimensions the existing paved areas total approximately 5,100 square feet. The new paved surface has an area of approximately 13,000 square feet. The increase in the paved surface area is approximately 7,900 square feet.

Based on the size and cost of the proposed improvements the additional paving of the playground area is subject to the City of Dallas Center's site plan ordinance. Although the email of May 16, 2022 does not include all of the submittal requirements set forth in the site plan ordinance, the email is sufficient to allow for a review of the site plan.

Based on review of the site plan the following is noted:

1. The playground area does not require any changes to water main or sanitary sewer service to the Middle School.
2. The playground area does not involve any changes to the driveways or parking lot areas of the Middle School.
3. The proposed playground does not generate any additional traffic and would not require an evaluation of the parking requirements at the Middle School.

4. Under the City's current ordinances, the additional paved area would require consideration of stormwater management. Under the City's current stormwater management requirements, the 7,900 square feet of additional impervious area would require stormwater management to reduce the peak runoff rate from the additional impervious area in a 100 year recurrence interval storm event to no greater than the peak runoff rate from a 5 year recurrence interval storm in the current condition as an unpaved area. Although technically the City could require stormwater management for the existing paved area that is being repaved the City has not interpreted its requirements to require the retroactive application of stormwater management to areas that were paved prior to the enactment of the current requirements.
5. The Middle School area is tributary to the City's southwest storm sewer system. The southwest storm sewer is tributary to the City's stormwater detention basin located south of Spurgeon Manor and just west of the former railroad right-of-way. The City's stormwater detention facility was sized to accommodate the Middle School property tributary to the storm sewer system. Because of the restricted outlet from the City's stormwater detention basin the City facility provides a higher level of stormwater detention than would be required under the City's stormwater management requirements for an individual site plan. The City's requirement is to mitigate the peak flow rate. Under the typical stormwater management facility all of the flow from the rainfall event would be released within a relatively short period of time following the rainfall event. Because of the limited release rate from the City's stormwater detention facility all the runoff from the Middle School playground area will effectively be stored in the stormwater detention basin whether additional stormwater detention is provided at the Middle School or if the additional runoff is allowed to be conveyed without stormwater detention. The size of the impervious area and its proximity to the City's storm sewer system is such that the peak flow would pass before the peak flow from the upstream area would reach the Middle School area. Because of the size and design of the City's stormwater detention facility providing additional stormwater detention on the Middle School property provides no meaningful benefit to the overall stormwater management of the City. Under certain circumstances slowing the release rate from the site may be counterproductive.
6. The City has previously determined in areas tributary to the City's stormwater detention facility additional stormwater detention would not be required unless the additional runoff was not contemplated in the City's design of its facilities. In this instance all of the runoff was accounted for and additional stormwater detention would provide no meaningful benefit or improvement to the City's stormwater drainage facilities. As such, the writer would recommend the City waive the requirement for onsite stormwater management.

Ralph Brown
May 16, 2022
Page 3

If you have any questions or comments concerning the project, please contact the writer at 515-225-8000, or bveenstra@v-k.net.

VEENSTRA & KIMM, INC.

A handwritten signature in blue ink, appearing to read "H. R. Veenstra Jr.", with a stylized flourish at the end.

H. R. Veenstra Jr.

HRVJr:rdp

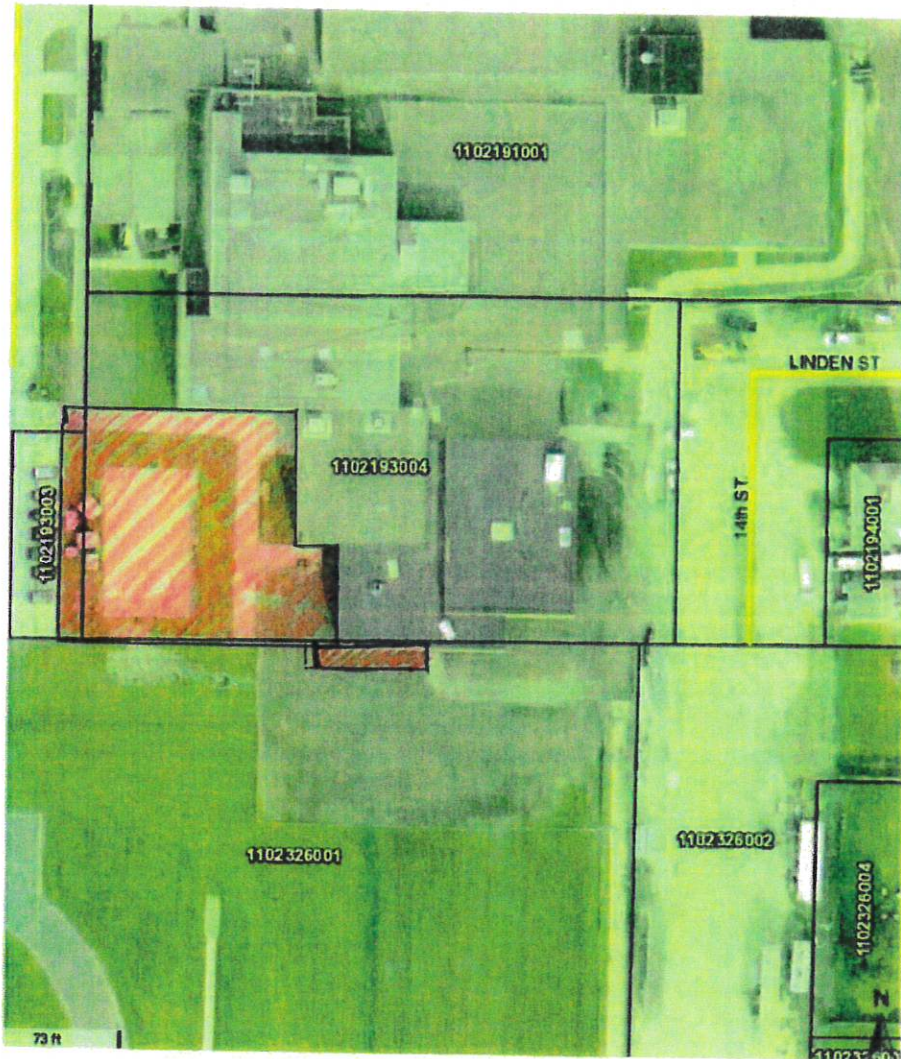
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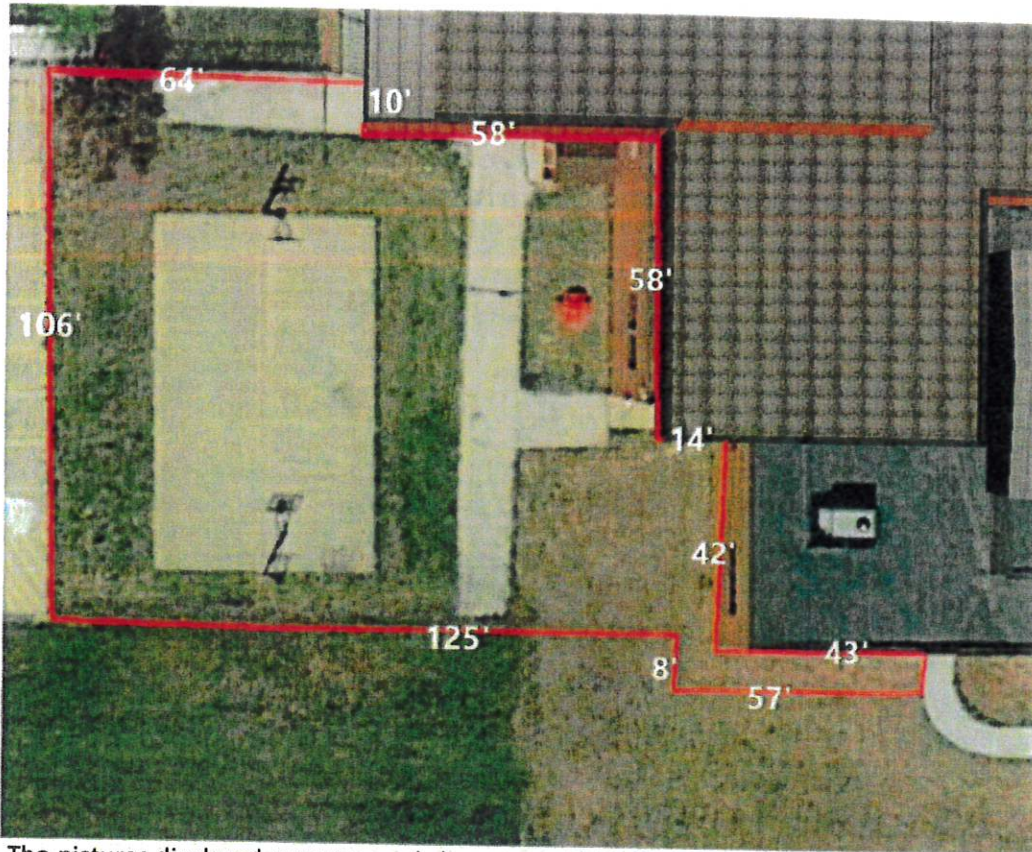
Enclosure

Cc: Cindy Riesselman, City of Dallas Center

Bob Veenstra

From: Paul Nutting p.nutting@cityoflinden.com
Sent: Monday, May 16, 2022 2:26 PM
To: Bob Veenstra
Subject: Middle school Playground





The pictures displayed our proposed changes at 1400 Vine street. The existing concrete will be removed and new concrete will cover the area defined. Grading will not change significantly and water will flow as it has historically .

The proposed project is for the reconstruction of the playground at the Middle School in Dallas Center. Areas of asphalt and concrete will be removed and the entire area southwest of the school will be 5" concrete. Area will be filled and compacted with clay to grade, 2 sanitary manholes will be set with floating structures in the concrete. 2-3" compacted rock sub base, rebar reinforcement throughout the 5" slab. Area will be backfilled and graded ready for seed. We will take out the 2 basketball hoops and reset to the desired locations.

Sidewalk from the play area to the south service door is included

Paul Nutting

~~pnutting@ig.com~~

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Confidentiality Notice: This email and any attachments may be governed by the Electronic Communications Privacy Act (18 U.S.C. §§2510-2521) and may contain privileged and confidential information intended only for the use of the individual or entity named. If you are not the intended recipient, you are hereby notified that you should not review, use, disclose, distribute, copy, or forward this e-mail. If you have received this e-mail in error, please notify the sender immediately and delete/destroy any and all copies of the original message.

RESOLUTION NO. 2022-40

A RESOLUTION APPROVING THE SITE PLAN FOR THE NEW DALLAS CENTER OUTDOOR COMMUNITY SWIMMING POOL

WHEREAS, the City of Dallas Center has submitted a Site Plan for the construction of the new Dallas Center Outdoor Community Swimming Pool at 1108 Vine Street pursuant to Chapter 158 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, which plans were reviewed by the Planning and Zoning Commission on May 24, 2022; and

WHEREAS, the City Engineer provided review comments and recommendations dated May 16, 2022, a copy of which is attached hereto (as well as a supplemental review dated June 3, 2022), to the Planning and Zoning Commission, which comments and recommendations were reviewed by the Commission; and

WHEREAS, the Commission recommended that any requirement for construction of a sidewalk from the parking lot northerly to Vine Street be waived, and that any requirement for stormwater detention be waived; and

WHEREAS, the Site Plan has been revised to the satisfaction of the City Engineer; and

WHEREAS, subject to the foregoing, the Commission recommended that the Site Plan be approved; and

WHEREAS, the Council has reviewed the recommendations of the Planning and Zoning Commission, and adopts its recommendations.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DALLAS CENTER, IOWA, that the Council accepts the recommendations of the Planning and Zoning Commission; and the revised Site Plan submitted by the City is approved, subject to any requirement for construction of a sidewalk from the parking lot northerly to Vine Street is waived and any requirement for stormwater detention be waived.

IT IS FURTHER RESOLVED that notification is hereby given to the applicant that Section 158.13 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, provides that the approval of this Site Plan shall expire and terminate 365 days

after Council approval unless a building permit has been issued for the construction provided for in the Site Plan. The Council may, upon written request of the applicant, extend the time for the issuance of the required building permit for 60 additional days. In the event the building permit for construction provided for in a Site Plan expires or is cancelled, then the Site Plan approval shall thereupon terminate.

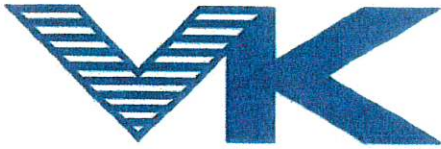
IT IS FURTHER RESOLVED that further notification is hereby given to the applicant that Section 158.11 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended provides that when there is any change in the location, size, design, conformity or character of the buildings and other improvements, an amendment to the Site Plan must be submitted to the City and reviewed by the Planning and Zoning Commission and approved by the City Council in the same manner as an original Site Plan.

PASSED, APPROVED, AND ADOPTED by the City Council of the City of Dallas Center, Iowa, on this 14th day of June, 2022.

Daniel Beyer, Mayor

ATTEST:

Michele Schaben, City Clerk



VEENSTRA & KIMM INC.

3000 Westown Parkway
West Des Moines, Iowa 50266

515.225.8000 // 800.241.8000
www.v-k.net

May 19, 2022

Cindy Riesselman
City Clerk
City of Dallas Center
1502 Walnut Street
P.O. Box 396
Dallas Center, Iowa 50063

DALLAS CENTER, IOWA
OUTDOOR COMMUNITY SWIMMING POOL
SITE PLAN REVIEW

The writer has completed a review of the first submittal of the site plan for the Dallas Center Outdoor Community Swimming Pool. Enclosed are selected pages from the overall submittal package. The enclosed pages provided information on the site plan and architectural standards review.

The Outdoor Community Swimming Pool project is a City of Dallas Center project. Although the project is a City project, the project is subject to the requirements for site plans and architectural standards applicable to all projects in Dallas Center.

Based on review of the site plan the following comments are offered:

1. The site plan should illustrate the edge of all existing street pavement in the proximity of the project. The site plan should better illustrate the east edge of the existing 12th Street. Even though the edge of 12th Street is not well defined in some areas the site plan should illustrate the edge of the pavement.
2. Linden Street along the south side of the site must be labeled.
3. The site plan includes no street improvements.
4. The site plan includes three driveways, including two driveways on Linden Street east of 12th Street and one driveway on 12th Street midway between Linden Street and Vine Street.

5. The separation distance between the west driveway to Linden Street and the intersection with 12th Street is less than the separation distance the City normally considers acceptable for a nonresidential driveway. Linden Street is a dead end street with very limited traffic and traffic has entered and exited Linden Street in this area with minimal issues. Although the separation distance is less than the desired distance, the separation distance is considered satisfactory. Because this item is a discretionary requirement no formal action to waive the separation recommendation is necessary.
6. The site plan shows a minimal number of elevations along the edges of the parking lot and driveways. From the limited information shown on the site plan Drawing SP-C4 it is nearly impossible to tell the intended drainage pattern. The lack of elevation information does not allow for an adequate determination of the elevations for construction. The site plan will need to include additional information showing elevations within the parking lot and driveway area.
7. The site plan includes a bus loading area located along the east side of 12th Street north of Linden Street.
8. The City of Dallas Center requires all site plans to show hydrant coverage circles. The hydrant coverage circles will need to be added for the existing hydrants in the proximity of the project.
9. The existing water service will be intercepted near the center of the parking lot and rerouted to a new meter pit located adjacent to the filter building at the southwest corner of the site. Water service to the bath house area will be provided by an internal water service.
10. The site plan indicates the new water meter pit located outside of the filter building will be installed by the City and is not part of the project.
11. The bath house area will reuse the existing sanitary sewer service that connects to the west side of the new bath house and extends southwesterly to a manhole at 12th Street.
12. A new sanitary sewer service will be constructed from the manhole on the east side of 12th Street near the southern part of the proposed driveway extending southeasterly to the filter building.
13. The site plan shows a new 6-inch storm drain from the existing storm intake on the east side of 12th Street at the driveway. The storm sewer extends southeasterly and connects to the pool drain manhole. The pool drain manhole is a pumped outlet facility.

14. There is an existing curb intake on the storm sewer system located at the proposed driveway to 12th Street. This curb intake may need to be modified to accommodate the configuration of the new driveway.
15. With the exception of the pool drain all of the stormwater drainage is overland. The general direction of flow in this area is southeasterly.
16. The new pool increases the impervious area of the above the impervious area of the existing pool facility. The project would be subject to the City's stormwater management requirements for the additional impervious area. The overland flow from this area travels southerly across the Spurgeon Manor property. The City previously determined that areas that drained to Spurgeon Manor and continues southeasterly and discharge southeasterly and are not tributary to the City's stormwater detention facility do not require stormwater detention. The City should consider waiving the requirement for stormwater detention as that waiver would be consistent with how the City has addressed improvements in the same drainage basin.
17. The site plan should indicate how the surface drainage will flow from the south boundary of the site downstream to the south and east. There have been issues with drainage along and south of Linden Street. The site plan should include sufficient information on the direction of the overland flow to confirm the overland flow will not create drainage issues southerly of the site.

Drawings A-200 and A-201 show the exterior views of both the bath house and the filter building. The wall construction materials consist of 8-inch split face concrete masonry units and 8-inch smooth face scored concrete masonry units. On the enclosed drawings the blue and gray are two colors of split faced concrete masonry units. The white areas are the smooth face concrete masonry units.

The bath house has five glass block window openings each on the east face and west face of the building. The roofing material is asphalt shingles on both buildings. It would appear the split face and smooth face concrete masonry units would be allowed under the City's architectural standards.

Cindy Riesselman
May 19, 2022
Page 4

If you have any questions or comments concerning the project, please contact the writer at 515-225-8000, or bveenstra@v-k.net.

VEENSTRA & KIMM, INC.



H. R. Veenstra Jr.

HRVJr:rdp

212

Enclosures

Cc: Ralph Brown, Brown, Fagen & Rouse
Ken Caton, Waters Edge Aquatic Design



VEENSTRA & KIMM INC.

3000 Westown Parkway
West Des Moines, Iowa 50266

515.225.8000 // 800.241.8000
www.v-k.net

June 9, 2022

Cindy Riesselman
City Clerk
City of Dallas Center
1502 Walnut Street
P.O. Box 396
Dallas Center, Iowa 50063

DALLAS CENTER, IOWA
OUTDOOR COMMUNITY SWIMMING POOL
REVISED SITE PLAN

Enclosed are copies of Drawings SP-C2, SP-C3 and SP-C4 received from Waters Edge Aquatic Design on June 8, 2022. The three drawings show the previously proposed revisions to the drainage plan for the parking lot. The revised drawings show additional elevations for the parking lot pavement.

Under the revised design the drainage from the parking lot will primarily be handled by a storm intake located in the west central portion of the parking lot. From this intake an 8-inch storm sewer will extend northwesterly to connect to the existing intake located under the drive to 12th Street. The existing intake located in the drive will be used for runoff collection from the parking lot. The grading plan shows only a small area in the northern part of the parking lot would be tributary to the intake in the driveway. It appears between 80% and 85% of the parking lot will drain to the intake located in the west central portion of the parking lot. The grading plan would indicate the drainage is in accordance with the plan previously described by Waters Edge Aquatic Design.

The intake located in the parking lot is shown to be located in a designated parking stall. In most instances it is preferable to not locate an intake in a parking stall as the deepest ponding will occur immediately adjacent to the intake and the intake may not be accessible for cleaning during and immediately following a storm event. However, the location in the parking stall is probably more acceptable given the use of the parking lot. It would appear unlikely the parking lot of the swimming pool would be utilized during the type of heavy rainfall event that could cause localized ponding and plugging of the intake.

Cindy Riesselman

June 9, 2022

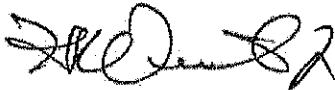
Page 2

The revised plan shows additional elevations along the perimeter of the parking lot. The writer's previous comment indicated the parking lot drawings lacked adequate elevations for the parking lot to be constructed. The revised plan shows elevations along the perimeter of the parking lot and generally indicate the direction and intent of the slope of the parking lot.

The additional elevations shown on the site plan are minimally acceptable. The elevations show the parameters for constructing the parking lot. The contractor that will be constructing the parking lot will need to develop its own elevation plan to construct the parking lot. Most flat work contractors have the capability of developing a plan to construct the parking lot from the elevations provided on the drawing. However, some flat work contractors may require assistance in developing the elevation plan for the parking lot. While it may be preferable to have additional elevations on the plan, the plan meets the minimum requirements of the City

If you have any questions or comments concerning the project, please contact the writer at 515-225-8000, or bveenstra@v-k.net.

VEENSTRA & KIMM, INC.



H. R. Veenstra Jr.

HRVJr:rdp

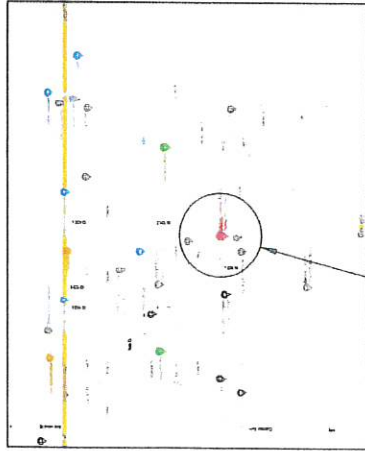
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Cc: Ralph Brown, Brown, Fagen & Rouse

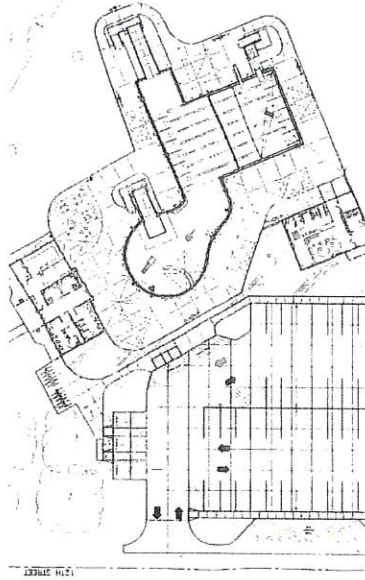
DALLAS CENTER, IOWA

Outdoor Community Swimming Pool

2022



PROJECT LOCATION
1108 Vine Street
Dallas Center, IA 50063



POOL LAYOUT

SHEET INDEX

- COVER SHEET
- AQUATICS - SITE
 - SP-01 EXISTING SITE DEMOLITION PLAN
 - SP-02 EXISTING SITE UTILITY PLAN
 - SP-03 POOL SITE UTILITY PLAN
 - SP-04 POOL SITE GRADING AND SIDEWALK PLAN
 - SP-05 SUBGRADE DETAILS
 - SP-06 POOL SITE DETAILS
 - SP-07 POOL SITE DETAILS
 - SP-08 POOL SITE DETAILS
- AQUATICS - POOL
 - SP-P0 POOL AREA KEYNOTES AND DATA
 - SP-P1 POOL FLOOR PLAN
 - SP-P2 POOL FLOOR PLAN
 - SP-P3 POOL DECK PLAN
 - SP-P4 POOL SECTIONS
 - SP-P5 POOL FLOOR AND WALL DETAILS
 - SP-P6 POOL FLOOR AND WALL DETAILS
 - SP-P7 POOL AREA DETAILS
 - SP-P8 POOL AREA DETAILS
- AQUATICS - POOL MECHANICAL
 - SP-PM1 POOL MECHANICAL PLAN
 - SP-PM2 POOL MECHANICAL DETAILS
- AQUATICS - FILTER AREA
 - SP-F0 FILTER AREA KEYNOTES AND DATA
 - SP-F1 FILTER AREA PLAN AND PLAN SECTION
 - SP-F2 FILTER AREA SECTIONS
 - SP-F3 FILTER AREA DETAILS
 - SP-F4 FILTER AREA DETAILS

- BUILDING ARCHITECTURAL:
 - G002 CODE REVIEW
 - G003 ADA REFERENCE
 - A101 BATHHOUSE FLOOR PLAN
 - A102 BATHHOUSE ROOF PLAN
 - A103 FILTER BUILDING PLAN
 - A200 EXTERIOR ELEVATIONS
 - A300 BUILDING SECTIONS
 - A301 WALL SECTIONS
 - A400 INTERIOR ELEVATIONS
 - A500 DETAILS
 - A600 DOOR SCHEDULE AND TYPES
- BUILDING STRUCTURAL:
 - S000 GENERAL NOTES
 - S101 FOUNDATION PLAN
 - S102 ROOF FRAMING PLAN
 - S201 STRUCTURAL DETAILS
- MECHANICAL-ELECTRICAL-PLUMBING:
 - MPE-1 MPE SYMBOLS LEGEND AND GENERAL NOTES
 - M1 BATHHOUSE MECHANICAL PLAN
 - M2 BATHHOUSE MECHANICAL PLAN
 - P-1 BATHHOUSE PLUMBING PLAN
 - E-1 BATHHOUSE ELECTRICAL PLAN
 - E-2 FILTER BUILDING ELECTRICAL PLAN
 - E-3 ELECTRICAL DETAILS
 - E-4 ELECTRICAL DETAILS
 - E-5 ELECTRICAL SITE PHOTOMETRIC CALCULATION

AQUATICS
Waters Edge Aquatics Design
1108 Vine Street
Dallas Center, IA 50063
Tel: 515.337.2800
www.watersedge.com

waters edge
AQUATIC DESIGN

SVPA ARCHITECTS
1108 Vine Street
Dallas Center, IA 50063
Tel: 515.337.2800

LONG engineering
1108 Vine Street
Dallas Center, IA 50063
Tel: 515.337.2800

MARTIN/MARTIN
1108 Vine Street
Dallas Center, IA 50063
Tel: 515.337.2800

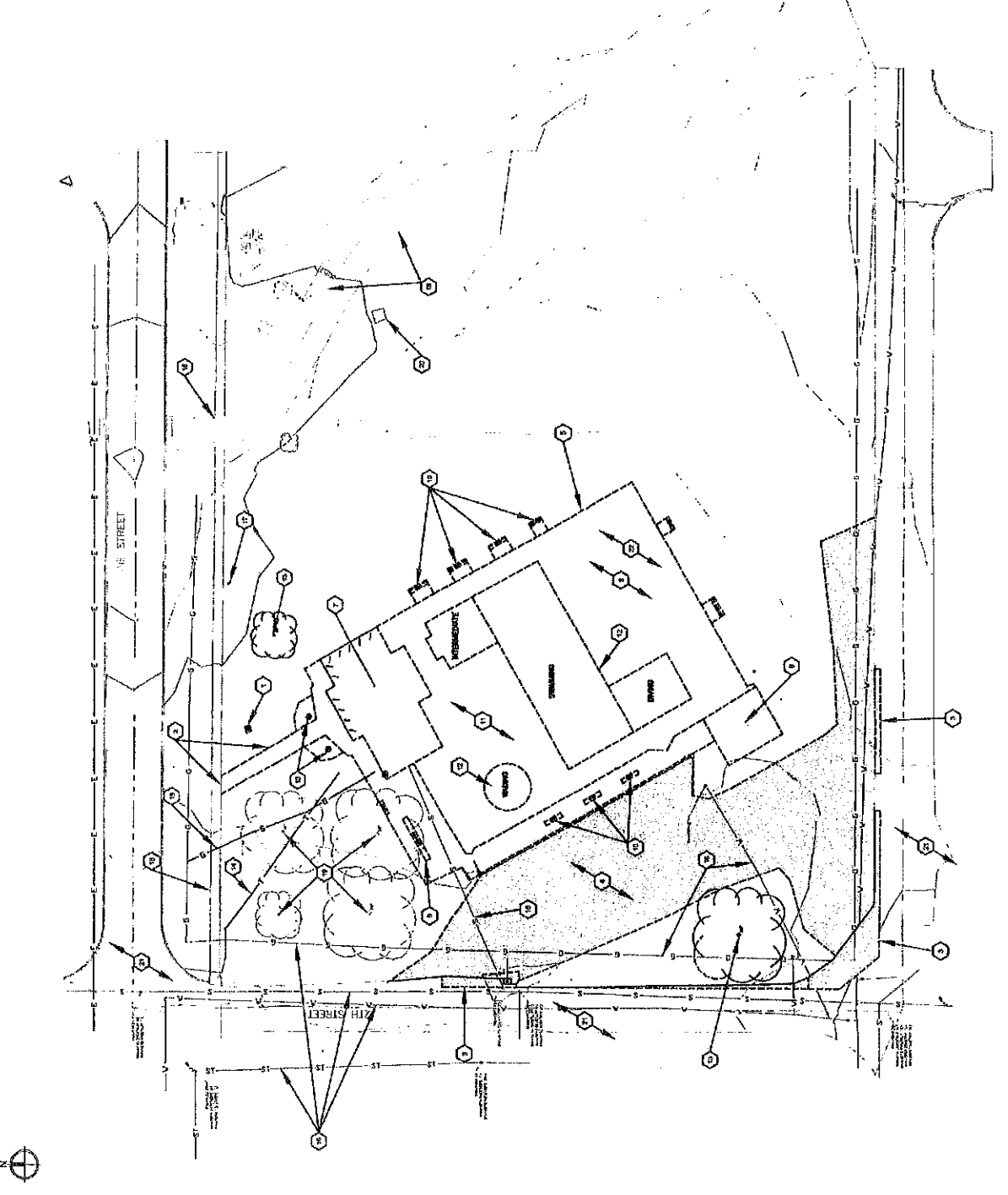
HBS BROWN
1108 Vine Street
Dallas Center, IA 50063
Tel: 515.337.2800

HBS BROWN
1108 Vine Street
Dallas Center, IA 50063
Tel: 515.337.2800

- DEMOLITION KEY NOTES**
- All demolition items shall be removed unless noted otherwise.
1. Remove and discard signage, for replacement, see DEMOLITION KEY INFORMATION.
 2. Remove all and replace concrete sidewalk.
 3. Remove all and replace existing concrete sidewalk.
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EXISTING CONDITIONS

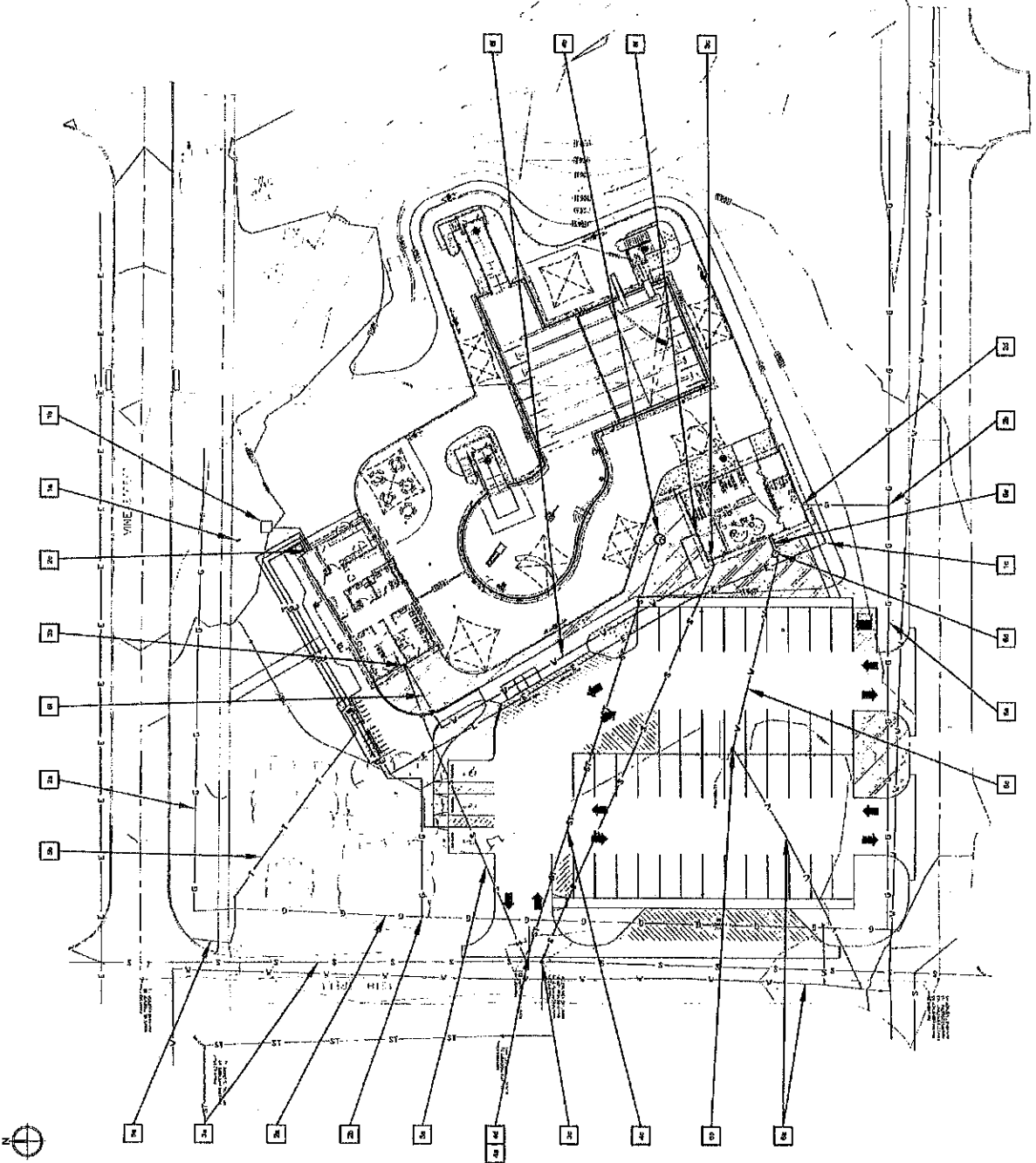
Existing conditions are shown in this drawing. All items to be demolished are shown in dashed lines. All items to be retained are shown in solid lines. All items to be added are shown in solid lines with a dashed outline. All items to be removed are shown in dashed lines with a solid outline. All items to be replaced are shown in solid lines with a dashed outline. All items to be repaired are shown in solid lines with a dashed outline. All items to be upgraded are shown in solid lines with a dashed outline. All items to be replaced are shown in solid lines with a dashed outline. All items to be repaired are shown in solid lines with a dashed outline. All items to be upgraded are shown in solid lines with a dashed outline.



13-001-01 SITE DEMOLITION PLAN

SITE UTILITY KEY NOTES

1 ELECTRIC	<ul style="list-style-type: none"> 1. All electrical service to be provided by the City of Dallas Center. 2. All electrical service to be provided by the City of Dallas Center. 3. All electrical service to be provided by the City of Dallas Center. 4. All electrical service to be provided by the City of Dallas Center. 5. All electrical service to be provided by the City of Dallas Center. 6. All electrical service to be provided by the City of Dallas Center.
2 GAS	<ul style="list-style-type: none"> 1. All gas service to be provided by the City of Dallas Center. 2. All gas service to be provided by the City of Dallas Center. 3. All gas service to be provided by the City of Dallas Center. 4. All gas service to be provided by the City of Dallas Center. 5. All gas service to be provided by the City of Dallas Center. 6. All gas service to be provided by the City of Dallas Center.
3 SANITARY SEWER	<ul style="list-style-type: none"> 1. All sanitary sewer service to be provided by the City of Dallas Center. 2. All sanitary sewer service to be provided by the City of Dallas Center. 3. All sanitary sewer service to be provided by the City of Dallas Center. 4. All sanitary sewer service to be provided by the City of Dallas Center. 5. All sanitary sewer service to be provided by the City of Dallas Center. 6. All sanitary sewer service to be provided by the City of Dallas Center.
4 EXTERIOR SERVICE	<ul style="list-style-type: none"> 1. All exterior service to be provided by the City of Dallas Center. 2. All exterior service to be provided by the City of Dallas Center. 3. All exterior service to be provided by the City of Dallas Center. 4. All exterior service to be provided by the City of Dallas Center. 5. All exterior service to be provided by the City of Dallas Center. 6. All exterior service to be provided by the City of Dallas Center.
5 TELEPHONE	<ul style="list-style-type: none"> 1. All telephone service to be provided by the City of Dallas Center. 2. All telephone service to be provided by the City of Dallas Center. 3. All telephone service to be provided by the City of Dallas Center. 4. All telephone service to be provided by the City of Dallas Center. 5. All telephone service to be provided by the City of Dallas Center. 6. All telephone service to be provided by the City of Dallas Center.
6 WATER	<ul style="list-style-type: none"> 1. All water service to be provided by the City of Dallas Center. 2. All water service to be provided by the City of Dallas Center. 3. All water service to be provided by the City of Dallas Center. 4. All water service to be provided by the City of Dallas Center. 5. All water service to be provided by the City of Dallas Center. 6. All water service to be provided by the City of Dallas Center.



1" = 30' 0"

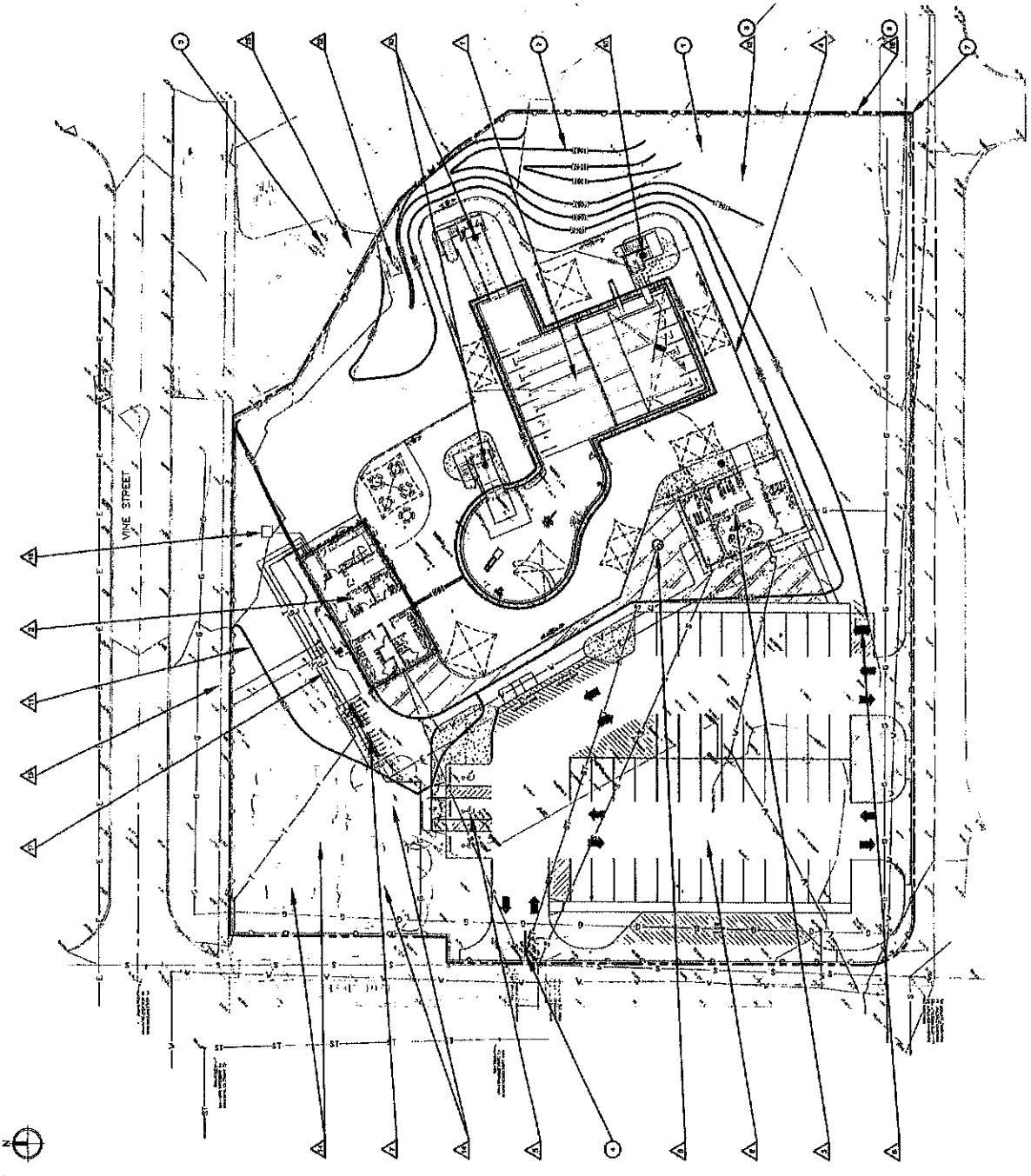
 SITE UTILITY PLAN

GENERAL SITE KEY NOTES

- ▲ Pool - Refer to L08823
- ▲ Decking - Refer to L08823
- ▲ Floor Area - Refer to L08823
- ▲ Chain Fall Block
- ▲ A/CY piling
- ▲ Paving
- ▲ New rocks
- ▲ Drainage pipe
- ▲ Pool deck materials - Typ. to L08823
- ▲ Pool area deck
- ▲ Concrete top coat with coping
- ▲ Existing materials (size) for protection
- ▲ Established areas include pool deck and the outside
- ▲ Existing areas shall be protected
- ▲ Existing sidewalk to be protected
- ▲ Construction Area
- ▲ Utilities - See City Plans
- ▲ Touchdown - See City Plans

GRADING AND STORM WATER POLLUTION PREVENTION KEY NOTES

- Existing grade contours
- Proposed grade contours
- Area to be left undisturbed
- Proposed storm water collection during construction shall be water
- Construction shall be responsible for existing best management practices for existing all storm water runoff, and shall not allow any storm water to be discharged to any water body.
- Erosion control measures shall be installed for all areas of disturbed earth.
- Erosion control measures shall be installed for all areas of disturbed earth.
- Provide erosion control measures for all areas of disturbed earth.
- Maintain minimum slope of 2% except for basins.
- Slope shall be 1% for basins.
- All existing disturbed areas shall be restored to original or better condition.
- All existing disturbed areas shall be restored to original or better condition.
- All existing disturbed areas shall be restored to original or better condition.

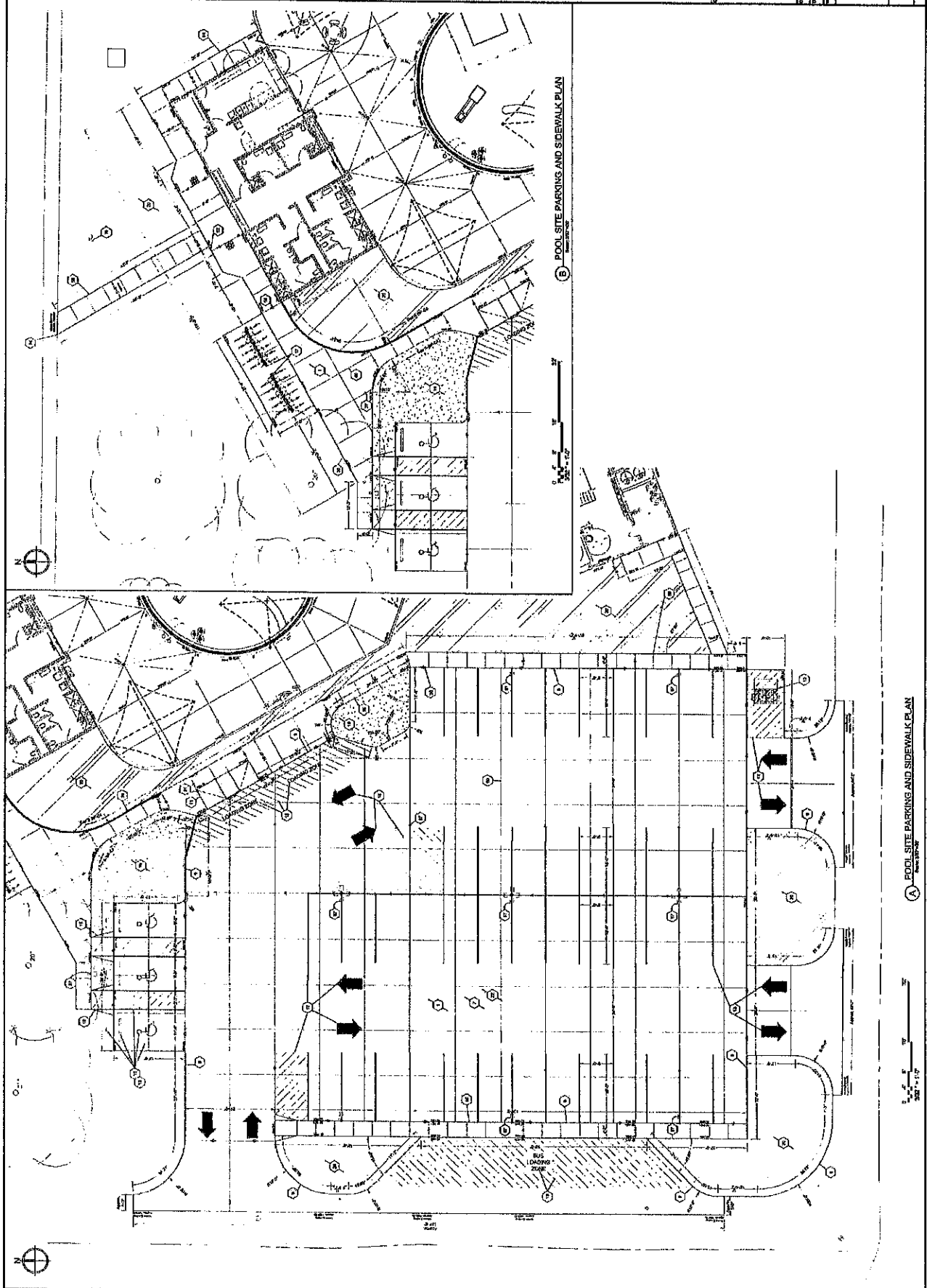


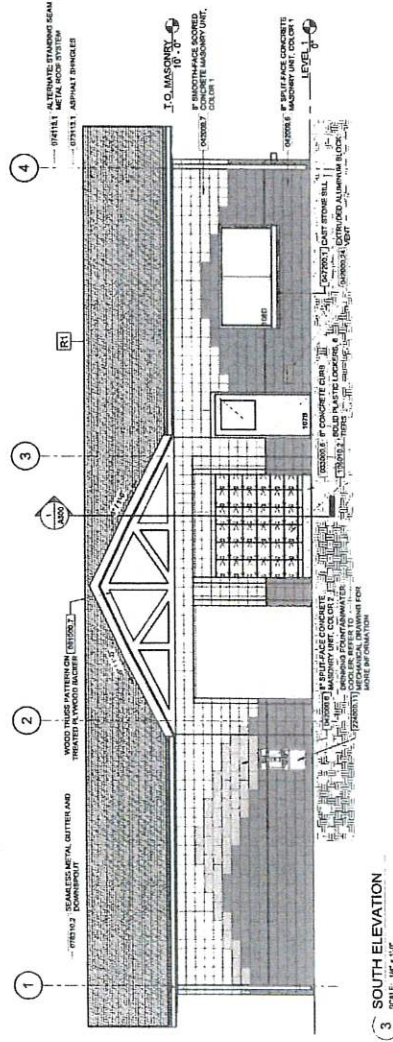
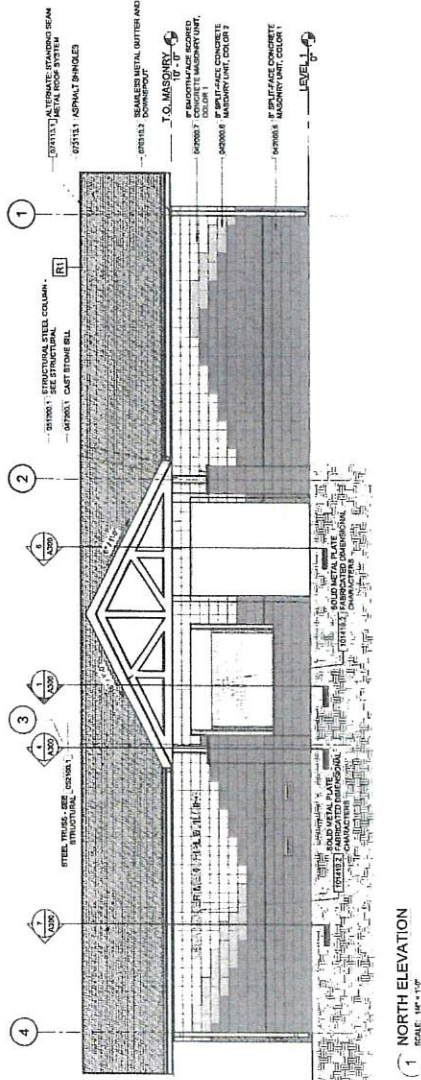
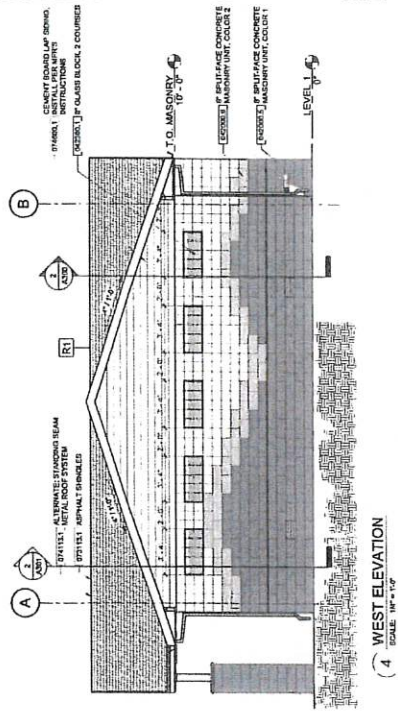
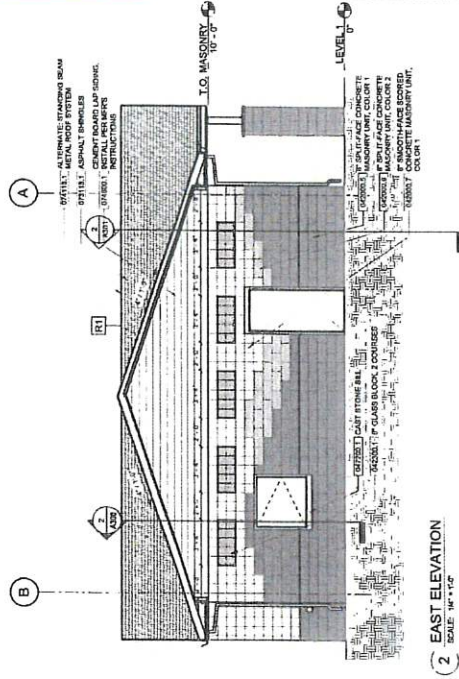
1" = 20'
 POOL SITE GRADING PLAN
 DATE: 11/11/2011

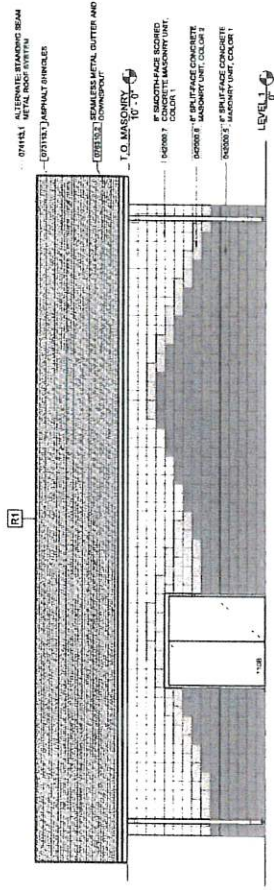
WETZEL BOERS
 ARCHITECTS
 1500 N. W. 10th St.
 Fort Lauderdale, FL 33304
 Tel: 954.576.6000
 www.wetzelboers.com

DALLAS CENTER, IOWA
 Outdoor Community
 Swimming Pool

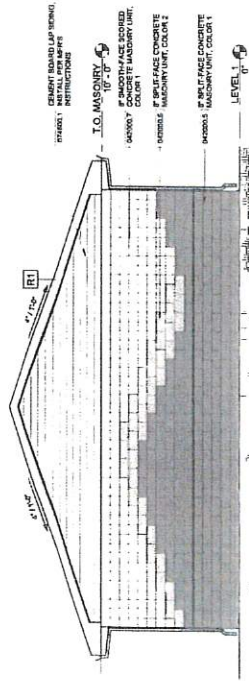
PROJECT INFORMATION	
PROJECT NAME	DALLAS CENTER, IOWA
CLIENT	WETZEL BOERS ARCHITECTS
DATE	06/10/2010
SCALE	AS SHOWN
POOL SITE PARKING AND SIDEWALK PLAN	
SP-C4	



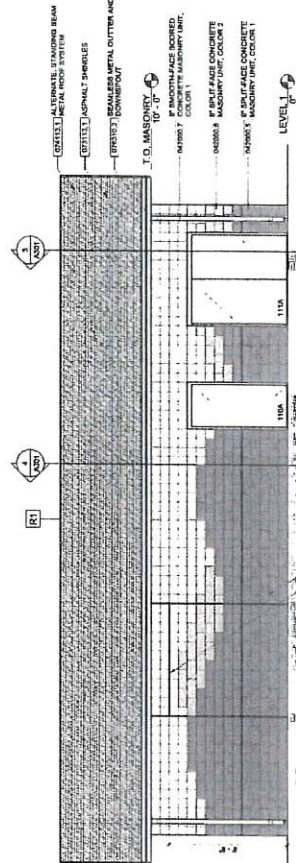




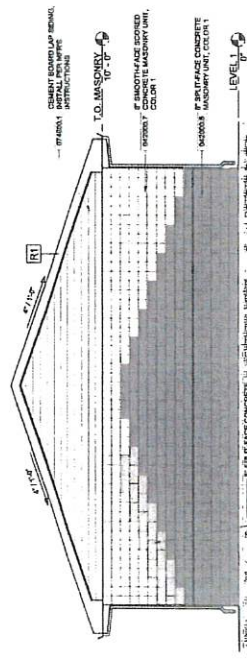
2 FILTER BUILDING EAST ELEVATION
SCALE: 1/4" = 1'-0"



1 FILTER BUILDING NORTH ELEVATION
SCALE: 1/4" = 1'-0"



4 FILTER BUILDING WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 FILTER BUILDING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



VEENSTRA & KIMM INC.

3000 Westown Parkway
West Des Moines, Iowa 50266

515.225.8000 // 800.241.8000
www.v-k.net

June 3, 2022

Cindy Riesselman
City Clerk
City of Dallas Center
1502 Walnut Street
P.O. Box 396
Dallas Center, Iowa 50063

DALLAS CENTER, IOWA
OUTDOOR COMMUNITY SCHOOL PARKING LOT DRAINAGE
SITE PLAN REVIEW

The first submittal of the plans for the Outdoor Community Swimming Pool appeared to indicate the parking lot was being designed to drain southerly toward Linden Street. The writer's comments on the initial site plan review requested Waters Edge Aquatic Design to confirm the southerly drainage from both the parking lot and the swimming pool area would not create any adverse issues for drainage along and south of Linden Street.

On June 2, 2022 Dave Schwartz of Waters Edge Aquatic Design contacted the writer to indicate the design of the parking lot is being changed as it relates to the drainage. Dave Schwarz indicated Waters Edge Aquatic Design is modifying the parking lot design to create two low areas in the parking lot. Intakes would be installed at those two locations and an 8-inch pipe would extend from the two intakes westerly to connect to the 8-inch HDPE storm sewer pipe located along the westerly side of 12th Street. With this modification the majority of the parking lot would be drained westerly to the storm sewer rather than overland to the south toward Linden Street.

As previously discussed this portion of this area of Dallas Center lacks an adequate stormwater drainage system. The only drainage in this area is either overland or a connection to one of the small diameter storm sewer pipes.

The property owners along the southerly side of Linden Street previously complained about the drainage from the north flooding portions of their property. As part of the construction of the Spurgeon Manor driveway connecting to the east end of Linden Street, Spurgeon Manor was required modify the grading to be able to convey the runoff from the southerly side of 12th Street along its driveway. These modifications appear to address the immediate issue relative to the properties on the south side of 12th Street. However, additional overland flow anywhere along Linden Street east of 12th Street raises a concern whether there would be a suitable overland flow outlet, or if the drainage could adversely impact the properties south of Linden Street.

Cindy Riesselman

June 3, 2022

Page 2

Intercepting the runoff in the parking lot and conveying the flow by a storm sewer should address the concern regarding the impact on the property owners immediately south of the swimming pool. That being said, the capacity of the storm sewer along 12th Street is very limited. More than likely that storm sewer does not have sufficient capacity to accommodate the peak flow from the parking lot as well as the flows that are tributary directly to the storm sewer.

The addition of two intakes will likely further overload the existing 8-inch storm sewer. What is likely to occur is the entire system tributary to that storm sewer will experience a slower drain out meaning there could be additional ponding as well as a slower draining of ponding areas.

The storm sewer that would serve the parking lot for the swimming pool will likely be quite shallow. The existing pipe along the west side of 12th Street is only about three feet deep. It is likely that during a heavy rainfall event there will be localized ponding in the parking lot. As long as the small diameter storm sewer on the west side of 12th Street is open and free flowing the ponding should drain after the rainfall intensity abates.

Due to the lack of storm sewer capacity along 12th Street connecting the storm sewer system from the parking lot to the existing 8-inch storm sewer is less than ideal. However, the only options available for drainage in this area are overland flow to the south or a storm sewer connection to the west. Although clearly not ideal it would appear the connection to the storm sewer might be slightly preferable to the overland flow as excess runoff would be captured in the parking lot rather than being allowed to flow overland to the south.

If you have any questions or comments concerning the project, please contact the writer at 515-225-8000, or bveenstra@v-k.net.

VEENSTRA & KIMM, INC.



H. R. Veenstra Jr.

HRVJr:rdp

212

Cc: Ralph Brown, Brown, Fagen & Rouse

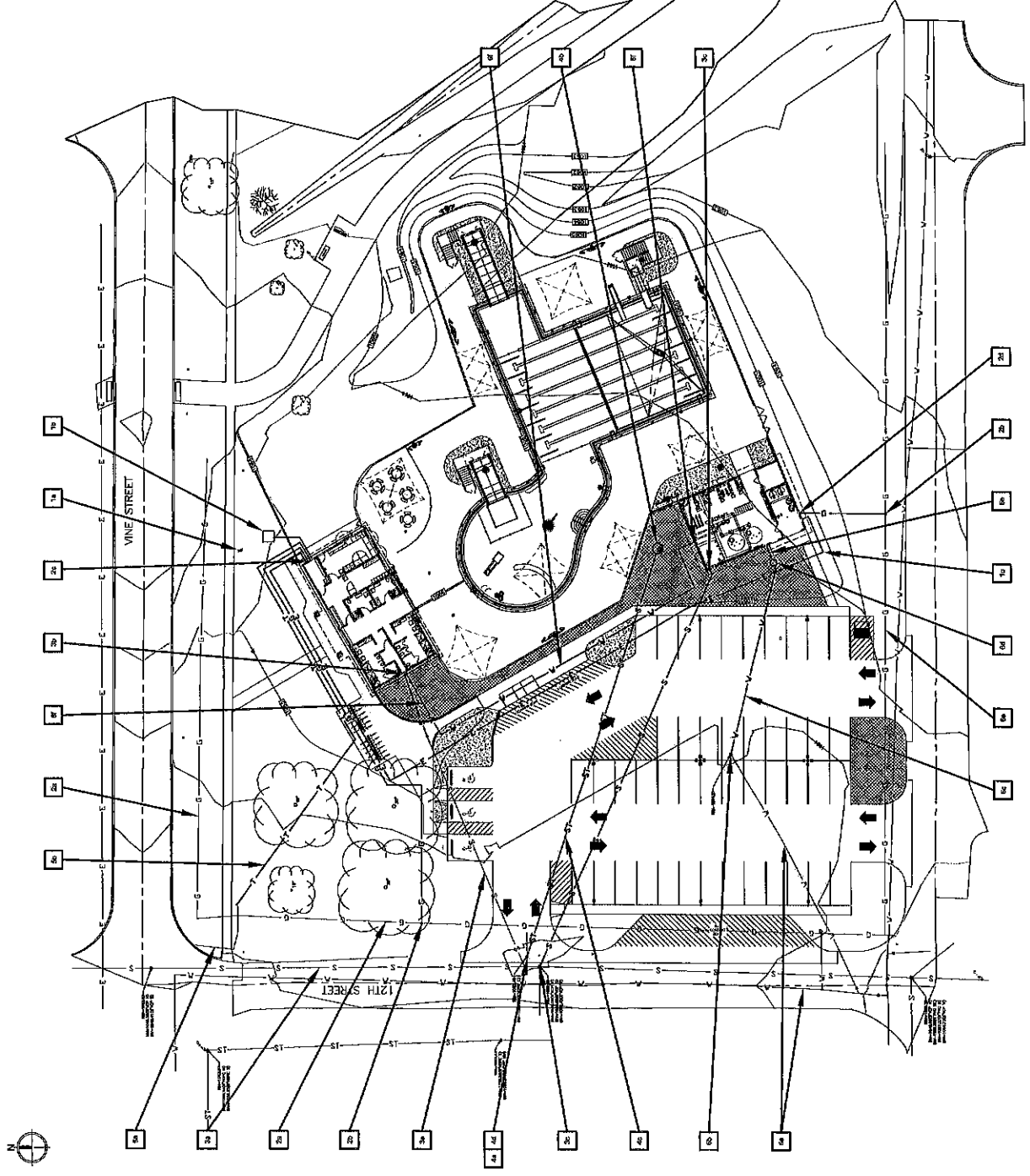
Revised Site Plan

Outdoor Community Swimming Pool

June 9, 2022

SITE UTILITY KEY NOTES

1. ELECTRIC	<ul style="list-style-type: none"> 1. All electrical work shall be in accordance with the National Electrical Code (NEC) and the Iowa Electrical Code. 2. All electrical work shall be done in accordance with the applicable local codes and ordinances. 3. All electrical work shall be done in accordance with the applicable local codes and ordinances. 4. All electrical work shall be done in accordance with the applicable local codes and ordinances.
2. GAS	<ul style="list-style-type: none"> 1. All gas work shall be in accordance with the National Fuel Gas Code (NFPA 54) and the Iowa Fuel Gas Code. 2. All gas work shall be done in accordance with the applicable local codes and ordinances. 3. All gas work shall be done in accordance with the applicable local codes and ordinances. 4. All gas work shall be done in accordance with the applicable local codes and ordinances.
3. SANITARY SEWER	<ul style="list-style-type: none"> 1. All sanitary sewer work shall be in accordance with the Iowa Sanitary Sewer Code. 2. All sanitary sewer work shall be done in accordance with the applicable local codes and ordinances. 3. All sanitary sewer work shall be done in accordance with the applicable local codes and ordinances. 4. All sanitary sewer work shall be done in accordance with the applicable local codes and ordinances.
4. STORM SEWER	<ul style="list-style-type: none"> 1. All storm sewer work shall be in accordance with the Iowa Storm Sewer Code. 2. All storm sewer work shall be done in accordance with the applicable local codes and ordinances. 3. All storm sewer work shall be done in accordance with the applicable local codes and ordinances. 4. All storm sewer work shall be done in accordance with the applicable local codes and ordinances.
5. TELEPHONE	<ul style="list-style-type: none"> 1. All telephone work shall be in accordance with the applicable local codes and ordinances. 2. All telephone work shall be done in accordance with the applicable local codes and ordinances. 3. All telephone work shall be done in accordance with the applicable local codes and ordinances. 4. All telephone work shall be done in accordance with the applicable local codes and ordinances.
6. WATER	<ul style="list-style-type: none"> 1. All water work shall be in accordance with the applicable local codes and ordinances. 2. All water work shall be done in accordance with the applicable local codes and ordinances. 3. All water work shall be done in accordance with the applicable local codes and ordinances. 4. All water work shall be done in accordance with the applicable local codes and ordinances.



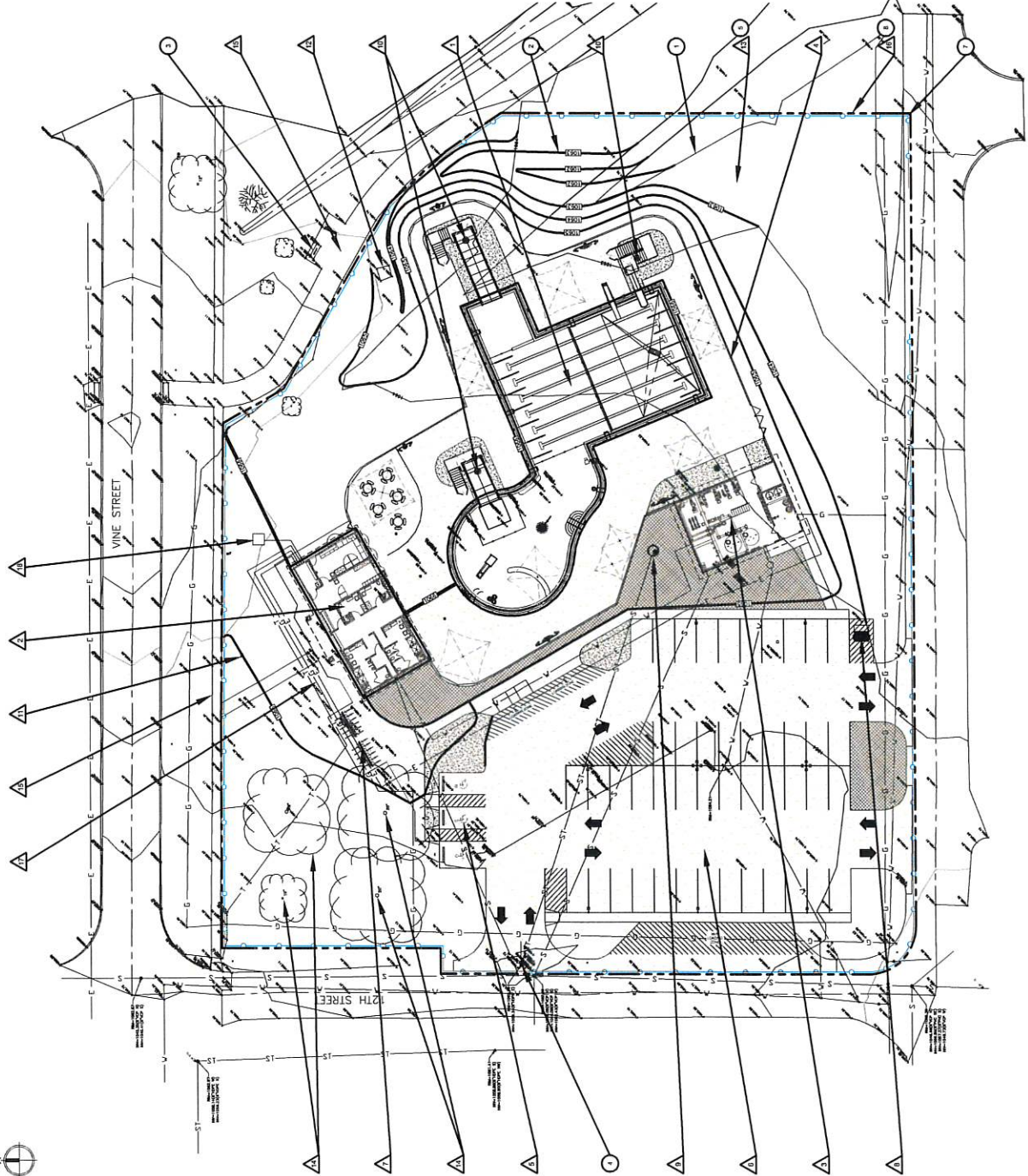
1" = 20'-0"
 SITE UTILITY PLAN
 SP-C2

GENERAL SITE KEY NOTES

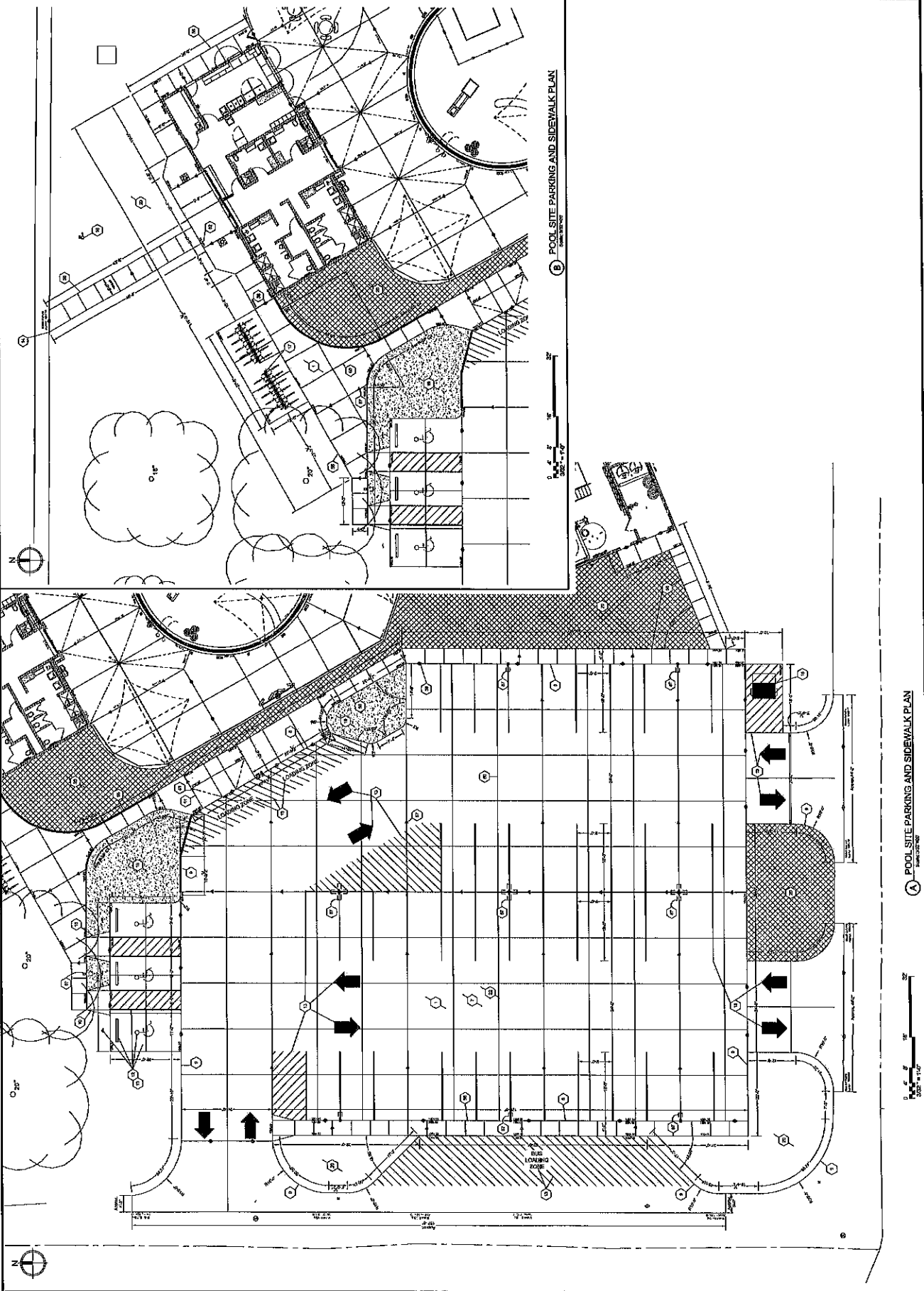
- Pool - Water EL. 1064.00
- Restrooms - Floor EL. 1065.00
- Floor Area - Floor EL. 1065.50
- Chair Lift - None
- ADA parking
- Parking
- Blk. racks
- Demolition area
- Pool chain materials - Top EL. 1065.50
- Rock area drain
- Rebarbed flag pole with lighting
- Existing structure shall be preserved
- Disturbed areas outside pool fence shall be seeded
- Existing trees shall be preserved
- Existing sidewalk shall be preserved
- Construction walls
- Utility - See Civil Sheets
- Transformer - See Civil Sheets

**GRADING AND STORM WATER
POLLUTION PREVENTION KEY NOTES**

- Existing grade contours
- Proposed grade contours
- Area to be left undisturbed
- Protect all storm basins from the migration of silt
- Grass areas outside pool fence disturbed during construction shall be seeded
- Contractor shall be responsible for utilizing best management practices for washing all trucks and all on site, and to take measures to minimize erosion and keep from migrating off site.
- Sloped location for sediment fence shall be located at all down hill slopes of disturbed areas.
 - a. Fence shall be cleaned when the effectiveness has been diminished to 50% of its capacity.
 - b. Provide a silt trap and check daily through out construction.
 - c. Multiple sediments - slope of 3:1 except for other grade requirements.
- Construction limits area 2.12 acres
Disturbed area 1.74 acres
 - a. Qualified personnel shall inspect disturbed areas every 24 hours of the end of a storm event (10:00 A.M. - 5:00 P.M.).
 - b. All sediment control devices shall be removed from the site.
 - c. DCP site vehicle tracks of sediment systems shall be maintained and cleaned up within a 24-hour period.



POOL SITE GRADING PLAN
Scale: 1/2" = 1'-0"



RESOLUTION NO. 2022-41

A RESOLUTION APPROVING THE ARCHITECTURAL PLAN FOR THE BATH HOUSE AND THE FILTER BUILDING AT THE NEW DALLAS CENTER COMMUNITY SWIMMING POOL

WHEREAS, the City of Dallas Center has submitted an Architectural Plan for the Bath House and the Filter Building at the new Dallas Center Community Swimming Pool project pursuant to Chapter 158 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, which plans were reviewed by the Planning and Zoning Commission on May 24, 2022; and

WHEREAS, the Plan as submitted indicates the wall construction materials of both buildings consist of 8-inch split face concrete masonry units and 8-inch smooth face scored concrete masonry units. The Bath House has five glass block window openings each on the east face and west face of the building. The materials are in compliance of Section 158.10 (1) of the Code of Ordinances of the City of Dallas Center, Iowa, as amended; and

WHEREAS, the Planning and Zoning Commission recommended approval of the Architectural Plan.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DALLAS CENTER, IOWA, that the Council accepts the recommendations of the Planning and Zoning Commission; and the Architectural Plan submitted by the City of Dallas Center for the Bath House and Filter Building is approved.

PASSED, APPROVED, AND ADOPTED by the City Council of the City of Dallas Center, Iowa, on this 14th day of June, 2022.

Daniel Beyer, Mayor

ATTEST:

Michele Schaben, City Clerk

Prepared by and

Return to: Ralph R. Brown, P.O. Box 250, Dallas Center, Iowa 50063 (515) 992-3728

RESOLUTION NO. 2022-48

A RESOLUTION APPROVING THE PLATS OF SURVEY OF PARCELS 22-22, 22-23, AND 22-24 IN CROSS COUNTY ESTATES PLATS 1 AND 2, OFFICIAL PLATS, IN AND FORMING A PART OF THE CITY OF DALLAS CENTER, DALLAS COUNTY, IOWA

WHEREAS, the City of Dallas Center has caused to be prepared Plats of Survey of Parcels 22-22, 22-23, and 22-24 in Cross Country Estates Plats 1 and 2, Official Plats, in and forming a part of the City of Dallas Center, Dallas County, Iowa; and

WHEREAS, the real estate included within said Plats of Survey constitute the Private Roadways in Cross County Estates Plats 1 and 2, and the City has caused said Plats of Survey to be prepared in anticipation of the City acquiring ownership of the Private Roadways from the current owners; and

WHEREAS, the Planning and Zoning Commission reviewed the Plats of Survey at its meeting on May 24, 2022, and recommended their approval by the City Council, and that the City's subdivision requirements be waived.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Dallas Center, Iowa, that said Plats of Survey are hereby approved, and the City's subdivision requirements be waived.

PASSED, APPROVED AND ADOPTED by the City Council of the City of Dallas Center, Iowa, on the 14th day of June, 2022.

Daniel Beyer, Mayor

ATTEST:

Michele Schaben, City Clerk

CERTIFICATE OF MAYOR AND CLERK

We, the undersigned Mayor and Clerk of the City of Dallas Center, Iowa, hereby certify that at a regular meeting of the City Council of the City of Dallas Center, Iowa, and with a quorum of said City Council being present, the foregoing and attached Resolution No. 2022-48 was presented and by a motion duly made and seconded, was duly adopted by the Council.

Dated at Granger, Iowa, the 14th day of June, 2022.

Daniel Beyer, Mayor

SEAL

Michele Schaben, City Clerk

PLAT OF SURVEY

FOR PARCEL 22-22 IN CROSS COUNTRY ESTATES PLAT NO. 1
DALLAS CENTER, IOWA

Index Legend	
City:	Dallas Center, Iowa
County:	Dallas
Parcel ID:	0731278008
Description:	Lots "A", "B" and "C" in Cross Country Estates Plat No. 1
Proprietor:	Ronald E. Nielsen and Carolyn M. Nielsen
Surveyor:	Eric M. Green
Company:	Veenstra & Kimm, Inc.
Return to:	3000 Westown Parkway West Des Moines, IA 50268 (515) 225-8000

LEGAL DESCRIPTION PARCEL 22-22:

A TRACT OF LAND LOCATED IN PORTIONS OF LOTS "A" AND "C" AND ALL OF LOT "B" IN CROSS COUNTRY ESTATES PLAT NO. 1, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF DALLAS CENTER, DALLAS COUNTY, IOWA, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID STREET LOT "B"; THENCE NORTH 89°06'48" WEST ALONG THE SOUTH LINE OF SAID LOT "B" AND LOT "C", 279.00 FEET; THENCE NORTH 00°49'56" EAST, 70.00 FEET TO THE NORTH LINE OF SAID LOT "C"; THENCE SOUTH 89°06'48" EAST ALONG SAID NORTH LINE, 171.56 FEET; THENCE NORTHEAST, 55.58 FEET ALONG SAID NORTH LINE AND ALONG A 35.00 FOOT RADIUS CURVE CONCAVE TO THE NORTHWEST AND HAVING A CHORD WHICH BEARS NORTH 45°01'00" EAST, 49.98 FEET TO THE WEST LINE OF SAID LOT "B"; THENCE NORTH 00°33'40" WEST ALONG SAID WEST LINE, 613.45 FEET; THENCE NORTHWEST, 63.40 FEET ALONG SAID WEST LINE AND ALONG A 35.00 FOOT RADIUS CURVE CONCAVE TO THE SOUTHWEST AND HAVING A CHORD WHICH BEARS NORTH 52°20'00" WEST, 55.08 FEET TO THE SOUTH LINE OF SAID LOT "A"; THENCE SOUTHWEST, 23.84 FEET ALONG SAID SOUTH LINE AND ALONG A 240.00 FOOT RADIUS CURVE CONCAVE TO THE SOUTH AND HAVING A CHORD WHICH BEARS SOUTH 73°23'05" WEST, 23.83 FEET; THENCE NORTH 20°01'10" WEST, 68.64 FEET TO THE NORTH LINE OF SAID LOT "A"; THENCE NORTHEAST, 108.52 FEET ALONG SAID NORTH LINE AND ALONG A 310.00 FOOT RADIUS CURVE CONCAVE TO THE SOUTH AND HAVING A CHORD WHICH BEARS NORTH 79°59'15" EAST, 107.96 FEET; THENCE SOUTH 89°51'50" EAST ALONG SAID NORTH LINE, 52.81 FEET; THENCE SOUTH 89°54'33" EAST ALONG SAID NORTH LINE, 729.51 FEET; THENCE NORTHEAST, 55.78 FEET ALONG SAID NORTH LINE AND ALONG A 35.00 FOOT RADIUS CURVE CONCAVE TO THE NORTHWEST AND HAVING A CHORD WHICH BEARS NORTH 44°12'35" EAST, 50.06 FEET TO THE EAST LINE OF SAID LOT "A"; THENCE SOUTH 01°32'16" EAST ALONG SAID EAST LINE, 105.98 FEET TO THE SOUTHEAST CORNER OF SAID LOT "A"; THENCE NORTH 88°54'33" WEST ALONG THE SOUTH LINE OF SAID LOT "A", 772.80 FEET TO THE NORTHEAST CORNER OF SAID LOT "B"; THENCE SOUTHWEST, 55.43 FEET ALONG THE EAST LINE OF SAID LOT "B" AND ALONG A 35.00 FOOT RADIUS CURVE CONCAVE TO THE SOUTHWEST AND HAVING A CHORD WHICH BEARS SOUTH 44°54'05" WEST, 49.82 FEET; THENCE SOUTH 00°33'40" EAST ALONG SAID EAST LINE, 726.03 FEET TO THE POINT OF BEGINNING.

CONTAINING 133,119 SQUARE FEET OR 3.06 ACRES, MORE OR LESS, SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

FOR THE PURPOSE OF THIS DESCRIPTION, ALL BEARING AND DISTANCES ARE REFERENCED TO NAD83(2011) IA SPC SOUTH ZONE, US SURVEY FOOT.

LEGEND

- ▲ FOUND SECTION CORNER MONUMENT
- FOUND 5/8" REBAR (UNLESS NOTED)
- FOUND 5/8" REBAR W/ YELLOW CAP #606
- FOUND 5/8" REBAR W/ YELLOW CAP #1582
- FOUND 1/2" REBAR W/ YELLOW CAP #1756
- SET 5/8" REBAR W/ YELLOW CAP #1756 (UNLESS NOTED)
- (M) MEASURED BEARING OR DIMENSION
- (R) RECORDED BEARING OR DIMENSION
- SECTION LINE
- PROPERTY LINE
- ▭ PARCEL 22-22 = 133,119 SQ. FT. OR 3.06 ACRES

SURVEY NOTE
THE INTENT OF THIS SURVEY IS TO ALLOW THE CITY OF DALLAS CENTER TO PURCHASE A PORTION OF THE PRIVATE STREET IN CROSS COUNTRY ESTATES PLAT NO. 1.



I hereby certify that this land surveying document was prepared and the related surveying work was performed by me or under my direct personal supervision and that I am a duly licensed land surveyor in the State of Iowa.

Signature: *Eric M. Green* Date: 2/11/2023

Eric M. Green, P.L.S.
Iowa License No. 17758
My license renewal date is December 31, 2023
Drawings covered by this seal: Sheets 1 and 2

STREET LOT ACQUISITION FOR THE CITY OF DALLAS CENTER	
PLAT OF SURVEY	PARCEL 22-22
IN CROSS COUNTRY ESTATES PLAT NO. 1	
V&K	
VEENSTRA & KIMM, INC.	
3000 Westown Parkway • West Des Moines, Iowa 50268-1820 515-225-8000 • 515-225-8463 FAX • 800-271-8800 TOLL FREE	
DATE	REVISIONS
DRAWN	DATE
CHECKED	DATE
APPROVED	DATE
DATE	DATE
BY	BY
DATE	DATE
SHEET 1 OF 2	
PROJECT: 2108	

PLAT OF SURVEY

FOR PARCEL 22-23 IN CROSS COUNTRY ESTATES PLAT NO. 1
DALLAS CENTER, IOWA

Index Legend	
City:	Dallas Center, Iowa
County:	Dallas
Parcel ID:	0731278008
Description:	Lot 'A' in Cross Country Estates Plat No. 1
Proprietor:	Ronald E. Nielsen and Carolyn M. Nielsen
Surveyor:	Eric M. Green
Company:	Veenstra & Kimm, Inc.
	3000 Westown Parkway
Return to:	West Des Moines, IA 50266 (615) 225-8000

LEGAL DESCRIPTION PARCEL 22-23:

A TRACT OF LAND LOCATED IN PART OF LOT 'A' IN CROSS COUNTRY ESTATES PLAT NO. 1, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF DALLAS CENTER, DALLAS COUNTY, IOWA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID CROSS COUNTRY ESTATES PLAT NO. 1; THENCE NORTH 00°12'27" WEST ALONG THE WEST LINE OF SAID CROSS COUNTRY ESTATES PLAT NO. 1, 261.71 FEET TO THE SOUTHWEST CORNER OF SAID LOT 'A'; SAID POINT BEING THE POINT OF BEGINNING; THENCE CONTINUING NORTH 00°12'27" WEST ALONG SAID WEST LINE, 69.85 FEET TO THE NORTHWEST CORNER OF SAID LOT 'A'; THENCE SOUTH 89°24'49" EAST ALONG THE NORTH LINE OF SAID LOT 'A', 138.07 FEET; THENCE NORTH-EAST, 135.12 FEET ALONG SAID NORTH LINE AND ALONG A 240.00 FOOT RADIUS CURVE CONCAVE TO THE NORTHWEST AND HAVING A CHORD WHICH BEARS NORTH 74°29'00" EAST, 133.24 FEET; THENCE NORTH-EAST, 534.02 FEET ALONG SAID NORTH LINE AND ALONG A 4828.55 FOOT RADIUS CURVE CONCAVE TO THE SOUTHEAST AND HAVING A CHORD WHICH BEARS NORTH 61°33'17" EAST, 533.74 FEET; THENCE NORTH 67°21'00" EAST, 447.33 FEET; THENCE SOUTH 20°01'10" EAST, 69.64 FEET TO THE SOUTH LINE OF SAID LOT 'A'; THENCE SOUTHWEST, 933.00 FEET ALONG SAID NORTH LINE AND ALONG A 4753.55 FOOT RADIUS CURVE CONCAVE TO THE SOUTHEAST AND HAVING A CHORD WHICH BEARS SOUTH 64°56'13" WEST ALONG SAID SOUTH LINE, 129.57 FEET; THENCE SOUTHWEST, 78.72 FEET ALONG SAID SOUTH LINE AND ALONG A 310.00 FOOT RADIUS CURVE CONCAVE TO THE NORTHWEST AND HAVING A CHORD WHICH BEARS SOUTH 83°20'40" WEST, 78.51 FEET; THENCE NORTH 89°20'40" WEST ALONG SAID SOUTH LINE, 136.99 FEET TO THE POINT OF BEGINNING.

CONTAINING 87,966 SQUARE FEET OR 2.02 ACRES, MORE OR LESS, SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

FOR THE PURPOSE OF THIS DESCRIPTION, ALL BEARING AND DISTANCES ARE REFERENCED TO NAD83(2011) IA SPC SOUTH ZONE, US SURVEY FOOT.

LEGEND

- ▲ FOUND SECTION CORNER MONUMENT
- FOUND 5/8" REBAR (UNLESS NOTED)
- FOUND 3/8" REBAR W/YELLOW CAP#11582
- FOUND 1/2" REBAR W/YELLOW CAP#11582
- SET 5/8" REBAR W/YELLOW CAP#17758 (UNLESS NOTED)
- (M) MEASURED BEARING OR DIMENSION
- (R) RECORDED BEARING OR DIMENSION
- SECTION LINE
- ▭ PROPERTY LINE

SURVEY NOTE
THE INTENT OF THIS SURVEY IS TO ALLOW THE CITY OF DALLAS CENTER TO PURCHASE A PORTION OF THE PRIVATE STREET IN CROSS COUNTRY ESTATES PLAT NO. 1.



I hereby certify that this land surveying document was prepared and the return of this document supervised and that I am a duly licensed Land Surveyor under the laws of the State of Iowa.
Eric M. Green, P.L.S.
Iowa License No. 17758
My license renewal date is December 31, 2023
Drawings covered by this seal: Sheets 1 and 2

PARCEL 22-23 = 87,966 SQ. FT. OR 2.02 ACRES

REVISIONS

NO.	DATE	BY	REVISIONS



PLAT OF SURVEY
PARCEL 22-23
IN CROSS COUNTRY ESTATES PLAT NO. 1

STREET LOT ACQUISITION FOR THE CITY OF DALLAS CENTER
DIMS. NO.

PS-2
SHEET 1 OF 2

1/15/2022

3000 Westown Parkway
West Des Moines, IA 50266
515-225-8000

Veenstra & Kimm, Inc.

3000 Westown Parkway
West Des Moines, IA 50266
515-225-8000

1/15/2022

PS-2

SHEET 1 OF 2

1/15/2022

3000 Westown Parkway
West Des Moines, IA 50266
515-225-8000

Veenstra & Kimm, Inc.

3000 Westown Parkway
West Des Moines, IA 50266
515-225-8000

1/15/2022

PS-2

SHEET 1 OF 2

1/15/2022

3000 Westown Parkway
West Des Moines, IA 50266
515-225-8000

Veenstra & Kimm, Inc.

3000 Westown Parkway
West Des Moines, IA 50266
515-225-8000

1/15/2022

PS-2

SHEET 1 OF 2

1/15/2022

3000 Westown Parkway
West Des Moines, IA 50266
515-225-8000

Veenstra & Kimm, Inc.

3000 Westown Parkway
West Des Moines, IA 50266
515-225-8000

1/15/2022

PS-2

SHEET 1 OF 2

1/15/2022

PLAT OF SURVEY

FOR PARCEL 22-23 IN CROSS COUNTRY ESTATES PLAT NO. 1
DALLAS CENTER, ICWA

NW CORNER
CROSS COUNTRY ESTATES PLAT NO. 1
SE 1/4 NE 1/4 SEC 31-80-27
1/2" REBAR

CURVE TABLE - MEASURED			
CURVE	LENGTH	RADIUS	CHD. BRG. CHORD
C1	135.12'	240.00'	N74°29'00"E 133.34'
C2	78.72'	310.00'	S83°20'40"W 78.51'
C3	108.52'	310.00'	N79°59'15"E 107.98'

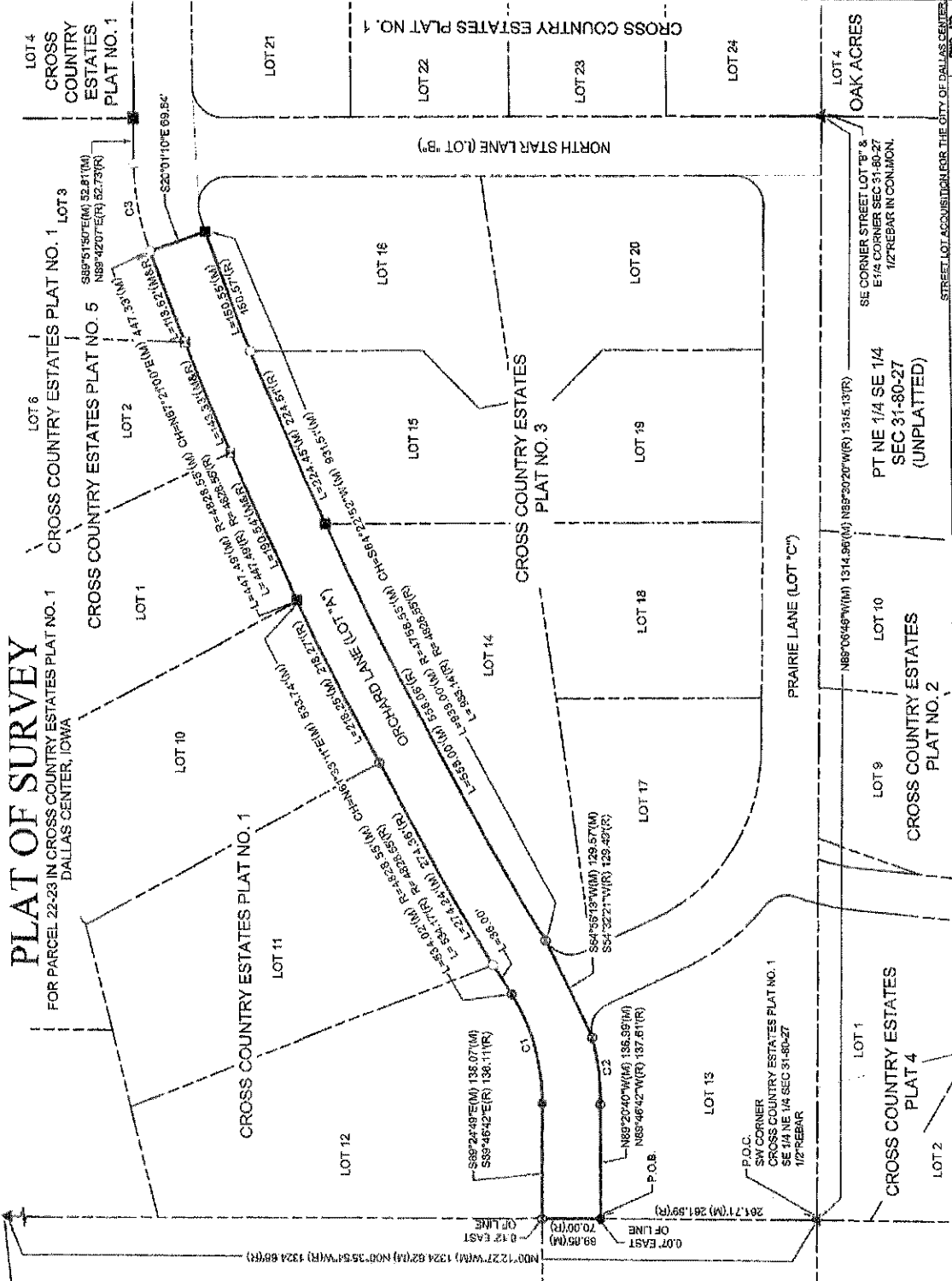
CURVE TABLE - RECORDED			
CURVE	LENGTH	RADIUS	CHD. BRG. CHORD
C1	135.10'	240.00'	N74°05'43"E 133.34'
C2	78.66'	310.00'	S82°57'02"W 78.47'
C3	108.66'	310.00'	N79°33'38"E 108.11'

PT. E (1/2 SW 1/4 NE 1/4
SEC 31-80-27

SOUTH 830'
E 1/2 SW 1/4 NE 1/4



GRID NORTH
IOWA STATE PLANE
COORDINATE SYSTEM
SOUTH ZONE



DATE	BY	REVISIONS

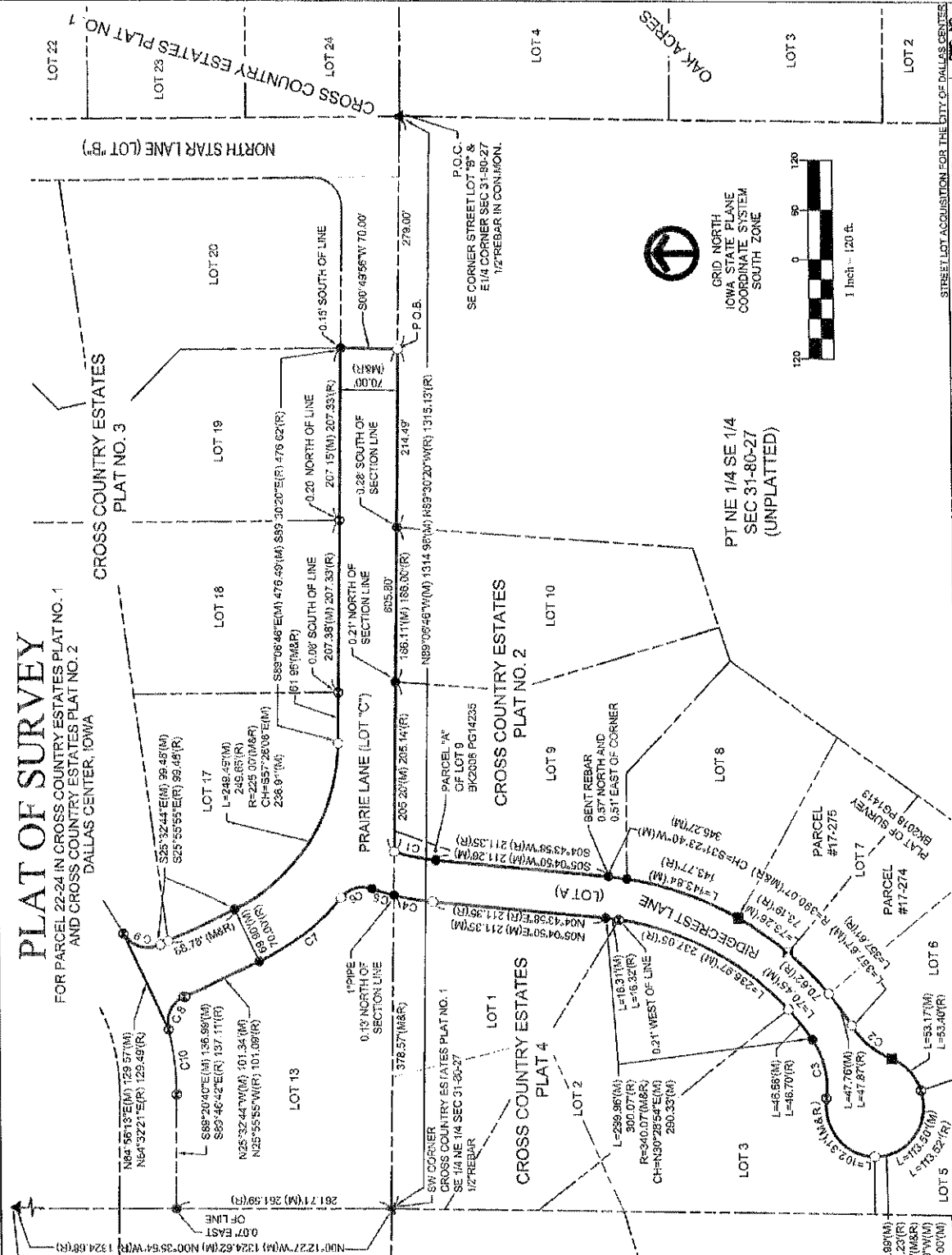
STREET LOT ACQUISITION FOR THE CITY OF DALLAS CENTER
PARCEL 22-23
IN CROSS COUNTRY ESTATES PLAT NO. 1
PS-2
SHEET 2 OF 2
Veenstra & Krumm, INC.
3000 Westway Parkway • West Des Moines, Iowa 50264-1520
515-225-8000 • 515-225-2048 FAX • 800-541-6200 (TOLL FREE)

PLAT OF SURVEY

FOR PARCEL 22-24 IN CROSS COUNTRY ESTATES PLAT NO. 1
AND CROSS COUNTRY ESTATES PLAT NO. 2
DALLAS CENTER, IOWA

SW CORNER
CROSS COUNTRY ESTATES PLAT NO. 1
SE 1/4 NE 1/4 SEC 31-80-27
1/2 REBAR

PT. E 1/2 SW 1/4 NE 1/4
SOUTH 330'
E 1/2 SW 1/4 NE 1/4



CURVE TABLE - MEASURED

CURVE	LENGTH	RADIUS	CHD. BRG.	CHORD
C1	51.14'	260.00'	S10°56'05"W	51.06'
C2	64.32'	100.00'	S89°19'20"W	65.21'
C3	73.99'	100.00'	N76°46'03"E	72.26'
C4	47.31'	310.00'	N09°39'45"E	47.27'
C5	27.91'	310.00'	N15°56'10"E	27.90'
C6	42.09'	35.00'	N18°20'50"W	39.60'
C7	127.54'	295.00'	N37°45'30"W	126.55'
C8	47.64'	35.00'	N64°41'51"W	44.04'
C9	52.20'	35.00'	S16°32'50"W	47.51'
C10	78.72'	310.00'	N63°20'40"E	75.51'

RIVER HEIGHTS

CURVE TABLE - RECORDED

CURVE	LENGTH	RADIUS	CHD. BRG.	CHORD
C1	51.24'	260.00'		
C2	63.97'			
C3	73.68'	100.00'	N76°20'29"E	72.21'
C4	47.39'	310.00'	N08°59'25"E	47.35'
C5	28.16'	310.00'	N15°36'12"E	28.15'
C6	42.09'	35.00'	N18°14'54"W	39.60'
C7	127.54'	295.00'	N38°15'02"W	126.55'
C8	47.68'	35.00'	N65°07'34"W	44.24'
C9	51.50'	35.00'	S16°15'31"W	46.96'
C10	78.68'	310.00'	N62°57'02"E	76.47'

LOT 5
L=268.69'(M)
259.23'(R)
R=60.00'(M&R)
CH=N60°20'49"W(10)
94.00'(M)



GRID NORTH
IOWA STATE PLANE
COORDINATE SYSTEM
SOUTH ZONE



PT NE 1/4 SE 1/4
SEC 31-80-27
(UNPLATTED)

STREET LOT ACQUISITION FOR THE CITY OF DALLAS CENTER
PLAT OF SURVEY OF PARCEL 22-24
IN CROSS COUNTRY ESTATES PLAT NO. 1
AND CROSS COUNTRY ESTATES PLAT NO. 2

VEENSTRA & EDMAN, INC.
3799 Westchase Parkway, Suite 200, Dallas, TX 75226
972-352-2800 • 972-352-2800 (FAX) • 800-541-6600 (TOLL FREE)

DATE: _____
SCALE AS SHOWN: _____
DRAWN BY: _____
CHECKED BY: _____
APPROVED BY: _____
DATE: 02-04-2022
A.C.

REVISIONS

NO.	DATE	DESCRIPTION
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PREPARED BY: _____
DATE: _____

**PETITION FOR AMENDMENT TO
DALLAS CENTER ZONING CODE**

TO THE DALLAS CENTER CITY COUNCIL and the
DALLAS CENTER PLANNING AND ZONING COMMISSION:

The undersigned, K&A Investments, LLC, own(s) the following described real estate situated within the corporate limits of the City of Dallas Center, Iowa:

BEGINNING AT THE NE CORNER OF OUTLOT Y THE NEIGHBORHOOD OF DALLAS CENTER PLAT 1; THENCE S00°21'08"W, 323.00 FEET TO A POINT; THENCE N89°52'10"W, 878.51 FEET TO A POINT; THENCE S00°00'00"W, 3.00 FEET TO A POINT; THENCE N89°52'10"W, 190.86 FEET TO A POINT; THENCE N00°22'15"E, 323.00 FEET TO A POINT AT THE NW CORNER OF THE NEIGHBORHOOD OF DALLS CENTER PLAT 1; THENCE S89°52'10"E, 1258.25 FEET TO THE POINT OF BEGINNING AND ALL CONTAINING 9.27 ACRES MORE OR LESS.

Pursuant to Section 165.05 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, the real estate described above presently is zoned as "_PUD____", Planned Unit Development_ Zoning District.

Pursuant to Section 165.15(1) of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, the undersigned hereby petition(s) for an amendment to the Zoning Code to change the zoning classification of the above-described real estate to "_R-1 55 flex", _____ Zoning District.

The undersigned, K&A Investments, LLC, own(s) the following described real estate situated within the corporate limits of the City of Dallas Center, Iowa:

STARTING AT A POINT OF REFERENCE AT THE NE CORNER OF OUTLOT Y THE NEIGHBORHOOD OF DALLAS CENTER PLAT 1; THENCE S00°21'08"W, 323.0 FEET TO THE POINT OF BEGINNING; THENCE S00°21'08"W, 311.01 FEET TO A POINT; THENCE S90°00'00"W, 187.07 FEET TO A POINT; THENCE S00°00'00"W, 5.57 FEET TO A POINT; THENCE N89°52'10"W, 878.51 FEET TO A POINT; THENCE N00°00'00"E, 11.00 FEET TO A POINT; THENCE N89°52'10"W, 192.84 FEET TO A POINT; THENCE N00°22'15"E, 306.00 FEET TO A POINT; THENCE S89°52'10"E, 190.86 FEET TO A POINT; THENCE N00°00'00"E, 3.00 FEET TO A POINT; THENCE S89°52'20"E, 878.51 FEET TO A POINT; THENCE S00°00'00"W, 3.43 FEET TO A POINT; THENCE N90°00'00"E, 188.89 FEET TO THE POINT OF BEGINNING AND ALL CONTAINING 9.14 ACRES MORE OR LESS.

Pursuant to Section 165.05 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, the real estate described above presently is zoned as "_PUD____", Planned Unit Development_ Zoning District.

Pursuant to Section 165.15(1) of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, the undersigned hereby petition(s) for an amendment to the Zoning Code to change the zoning classification of the above-described real estate to "_R-1 60 flex", _____ Zoning District.

The undersigned, K&A Investments, LLC, own(s) the following described real estate situated within the corporate limits of the City of Dallas Center, Iowa:

BEGINNING AT THE SE CORNER OF OUTLOT Y, THE NEIGHBORHOOD OF DALLAS CENTER PLAT 1; THENCE N89°42'28"W, 124.86 FEET TO A POINT; THENCE S00°21'52"W, 18.05 FEET TO A POINT; THENCE N89°39'34"W, 1093.78 FEET TO A POINT; THENCE S00°22'15"W, 15.04 FEET TO A POINT; THENCE N89°39'34"W, 39.93 FEET TO A POINT BEING THE SW CORNER OF SAID OUTLOT Y; THENCE N00°22'15"E, 376.00 FEET TO A POINT; THENCE S89°52'10"E, 192.84 FEET TO A POINT; THENCE S00°00'00"W, 11.00 FEET TO A POINT; THENCE S89°52'10"E, 878.51 FEET TO A POINT; THENCE N00°00'00"E, 5.57 FEET TO A POINT; THENCE N90°00'00"E, 187.07 FEET TO A POINT; THENCE S00°21'08"W, 378.52 FEET TO THE POINT OF BEGINNING AND ALL CONTAINING 10.32 ACRES MORE OR LESS.

Pursuant to Section 165.05 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, the real estate described above presently is zoned as "_PUD____", Planned Unit Development_ Zoning District.

Pursuant to Section 165.15(1) of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, the undersigned hereby petition(s) for an amendment to the Zoning Code to change the zoning classification of the above-described real estate to "_R-1 70", _____ Zoning District.

The undersigned, K&A Investments, LLC, own(s) the following described real estate situated within the corporate limits of the City of Dallas Center, Iowa:

BEGINNING AT THE NE CORNER OF OUTLOT Z, THE NEIGHBORHOOD OF DALLAS CENTER PLAT 1; THENCE S00°21'08"W, 412.00 FEET TO A POINT; THENCE N89°39'55"W, 125.08 FEET TO A POINT; THENCE S00°23'04"W, 112.89 FEET TO A POINT; THENCE N89°36'56"W, 601.25 FEET; THENCE N00°23'04"E, 98.90 FEET TO A POINT; THENCE N89°36'56"W, 402.22 FEET TO A POINT; THENCE N00°27'54"E, 325.36 FEET TO A POINT; THENCE N89°53'29"W, 130.80 FEET TO A POINT; THENCE N00°22'15"E, 215.94 FEET TO A POINT OF CURVATURE HAVING A RADIUS OF 35.00 FEET, A CHORD BEARING OF N45°21'20"E, AND A CHORD LENGTH OF 49.48 FEET TO A POINT; THENCE S89°39'35"E, 218.94 FEET TO A POINT; THENCE S00°31'12"W, 119.74 FEET TO A POINT; THENCE S89°37'08"E, 10.00 FEET TO A POINT; THENCE S89°39'36"E, 810.31 FEET TO A POINT; THENCE S89°39'55"E, 184.85 FEET TO THE POINT OF BEGINNING AND ALL CONTAINNING 13.54 ACRES MORE OR LESS.

Pursuant to Section 165.05 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, the real estate described above presently is zoned as "_PUD____", Planned Unit Development_ Zoning District.

Pursuant to Section 165.15(1) of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, the undersigned hereby petition(s) for an amendment to the Zoning Code to change the zoning classification of the above-described real estate to "_R-1 60 FLEX", _____ Zoning District.

The undersigned (is) (are) the owners of more than fifty percent (50%) of the area of all of the real estate included within the boundaries of the tract sought to be rezoned.

Additionally, this Petition also is signed and consented to by the owners of at least fifty percent (50%) of the area of all real estate lying outside the tract but within two hundred (200) feet of its boundaries [with intervening streets and alleys not included in the computation of such two hundred feet].

Dated this 3rd day of May, 2022.



Kirk Mickelsen, Manager

All of the Owners of the
Tract Sought to be Re-Zoned

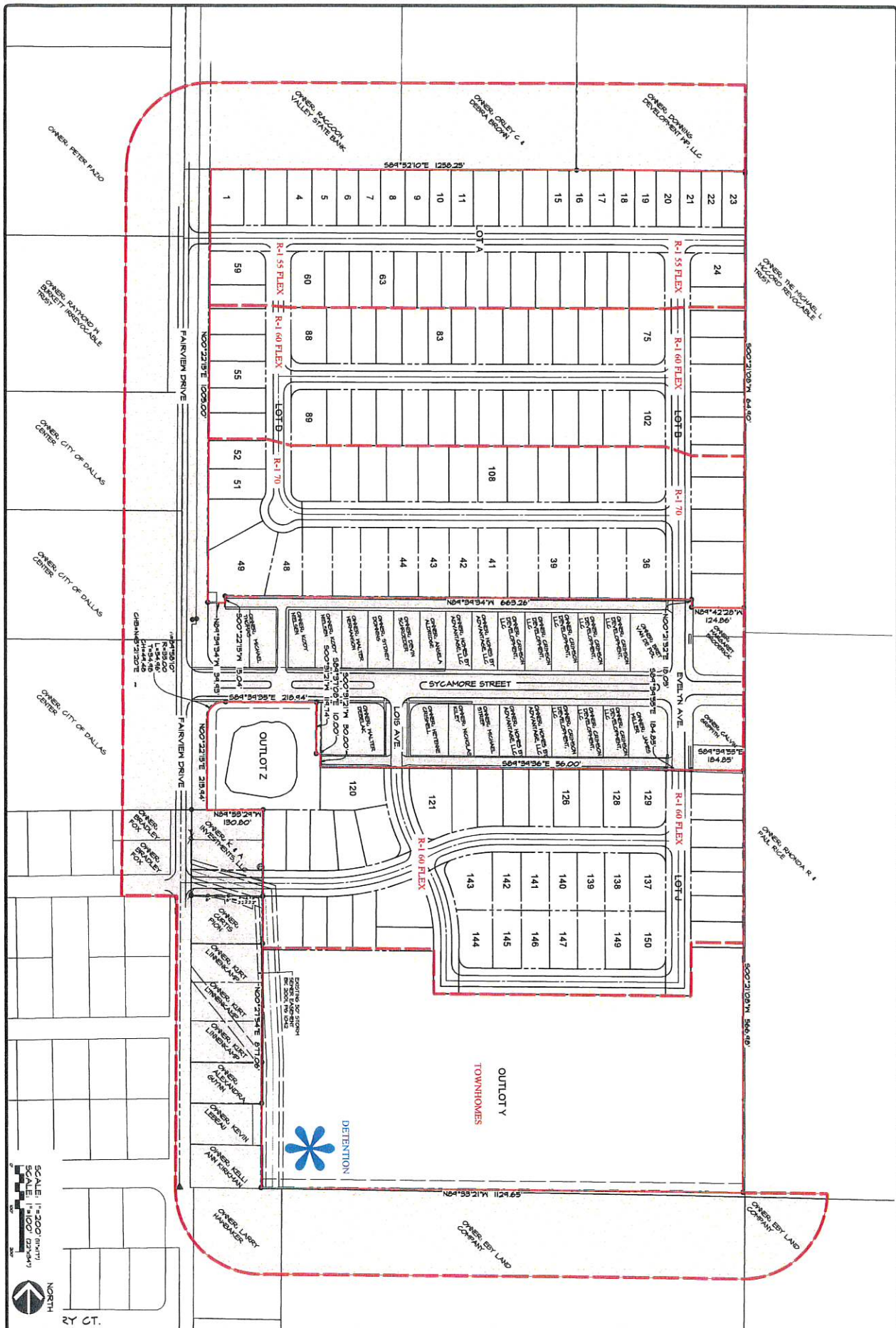
Address:

K&A Investments LLC

10640 Justin Dr

Orlandale IA 50322

Telephone: 515-243-1191



CITY OF DALLAS CENTER

CONSENT FOR ZONING CHANGE - SURROUNDING PROPERTY OWNERS

The undersigned, property owners within 200 feet of the property described as in Attached
hereto, do hereby petition the City of Dallas Center to grant the zoning change from
PLANNED UNIT DEVELOPMENT to R-1 55 FLEX, R-1 6- FLEX, R-1-70

NAME	SIGNATURE	DATE
RACCOON VALLEY STATE BANK		
ORLEY BROWN		
DOWNING DEVELOPMENT WP, LLC		
THE MCANALLY FAMILY TRUST		
EBY LAND COMPANY		
LARRY HAWBAKER		
KELLI ANN KIRKMAN		
KEVIN LEBEAU		
ALEXANDRA GUYNN & BRETT MEYER		
KURT LINNENKAMP		
CURTIS PION		
K & A INVESTMENTS, LLC		
BRADLEY & DIANE FOX TRUST		
PETER S & SHARI FAZIO		
MICHAEL THOMAS	<i>[Signature]</i>	4-23-22
KODY NIELSEN	<i>[Signature]</i>	4-16-22
WALTER HERMANSON	<i>[Signature]</i>	4-16-22
SYDNEY DOWNING		
DEVIN SCHROEDER	<i>[Signature]</i>	
ANGELA ALDRIDGE	<i>[Signature]</i>	4-16-22
ANDREA FETTERS		
HOMES BY ADVANTAGE, LLC		
CRIMSON DEVELOPMENT, LLC		
BRET VAN DE POL	<i>[Signature]</i>	4-20-22
MARGARET BRODERICK		
KASEY GRIFFITH	<i>[Signature]</i>	4-28-22
JAMES MILLER		
MICHAEL STRIEF		
NICHOLAS KILEY		
CHEYENNE CRISWELL	<i>[Signature]</i>	4-16-22
WALTER DEBELAK		

CITY OF DALLAS CENTER

CONSENT FOR ZONING CHANGE - SURROUNDING PROPERTY OWNERS

The undersigned, property owners within 200 feet of the property described as in Attached
here to, do hereby petition the City of Dallas Center to grant the zoning change from
PLANNED UNIT DEVELOPMENT to R-1 55 FLEX, R-1 6- FLEX, R-1-70

NAME	SIGNATURE	DATE
RACCOON VALLEY STATE BANK		
ORLEY BROWN		
DOWNING DEVELOPMENT WP, LLC		
THE MCANALLY FAMILY TRUST		
EBY LAND COMPANY		
LARRY HAWBAKER		
KELLI ANN KIRKMAN		
KEVIN LEBEAU		
ALEXANDRA GUYNN & BRETT MEYER		
KURT LINNENKAMP		
CURTIS PION		
K & A INVESTMENTS, LLC		
BRADLEY & DIANE FOX TRUST		
PETER S & SHARI FAZIO		
MICHAEL THOMAS		
KODY NIELSEN		
WALTER HERMANSON		
SYDNEY DOWNING		
DEVIN SCHROEDER		
ANGELA ALDRIDGE		
ANDREA FETTERS		
HOMES BY ADVANTAGE, LLC	<i>Mark W. Bradley</i>	<i>06/15/2018-252</i>
CRIMSON DEVELOPMENT, LLC		
BRET VAN DE POL		
MARGARET BRODERICK		
KASEY GRIFFITH		
JAMES MILLER		
MICHAEL STRIEF		
NICHOLAS KILEY		
CHEYENNE CRISWELL		
WALTER DEBELAK		

CITY OF DALLAS CENTER

CONSENT FOR ZONING CHANGE - SURROUNDING PROPERTY OWNERS

The undersigned, property owners within 200 feet of the property described as in Attached
hereto, do hereby petition the City of ~~Waskita~~ ^{Dallas Center} to grant the zoning change from
PLANNED UNIT DEVELOPMENT to R-1 55 flex, R-1 60 flex, R1-70

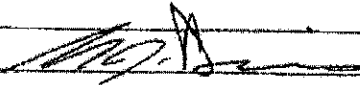
NAME	SIGNATURE	DATE
RACCOON VALLEY STATE BANK		
ORLEY BROWN		
DOWNING DEVELOPMENT WP, LLC		
THE MCANALLY FAMILY TRUST		
EBY LAND COMPANY	<i>Eby Land Co. by Tm Eby Pres</i>	<i>4-9-22</i>
LARRY HAWBAKER		
KELLI ANN KIRKMAN		
KEVIN LEBEAU		
ALEXANDRA GUYNN & BRETT MEYER		
KURT LINNENKAMP		
CURTIS PION		
K & A INVESTMENTS, LLC		
BRADLEY & DIANE FOX TRUST		
PETER S & SHARI FAZIO		
MICHAEL THOMAS		
KODY NIELSEN		
WALTER HERMANSON		
SYDNEY DOWNING		
DEVIN SCHROEDER		
ANGELA ALDRIDGE		
ANDREA FETTERS		
HOMES BY ADVANTAGE, LLC		
CRIMSON DEVELOPMENT, LLC		
BRET VAN DE POL		
MARGARET BRODERICK		
KASEY GRIFFITH		
JAMES MILLER		
MICHAEL STRIEF		
NICHOLAS KILEY		
CHEYENNE CRISWELL		
WALTER DEBELAK		

CITY OF DALLAS CENTER

CONSENT FOR ZONING CHANGE - SURROUNDING PROPERTY OWNERS

The undersigned, property owners within 200 feet of the property described as in Attached
hereto, do hereby petition the City of Dallas Center to grant the zoning change from

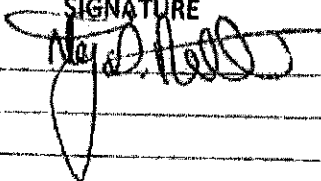
PLANNED UNIT DEVELOPMENT to R-1 55 FLEX, R-1 6- FLEX, R-1-70

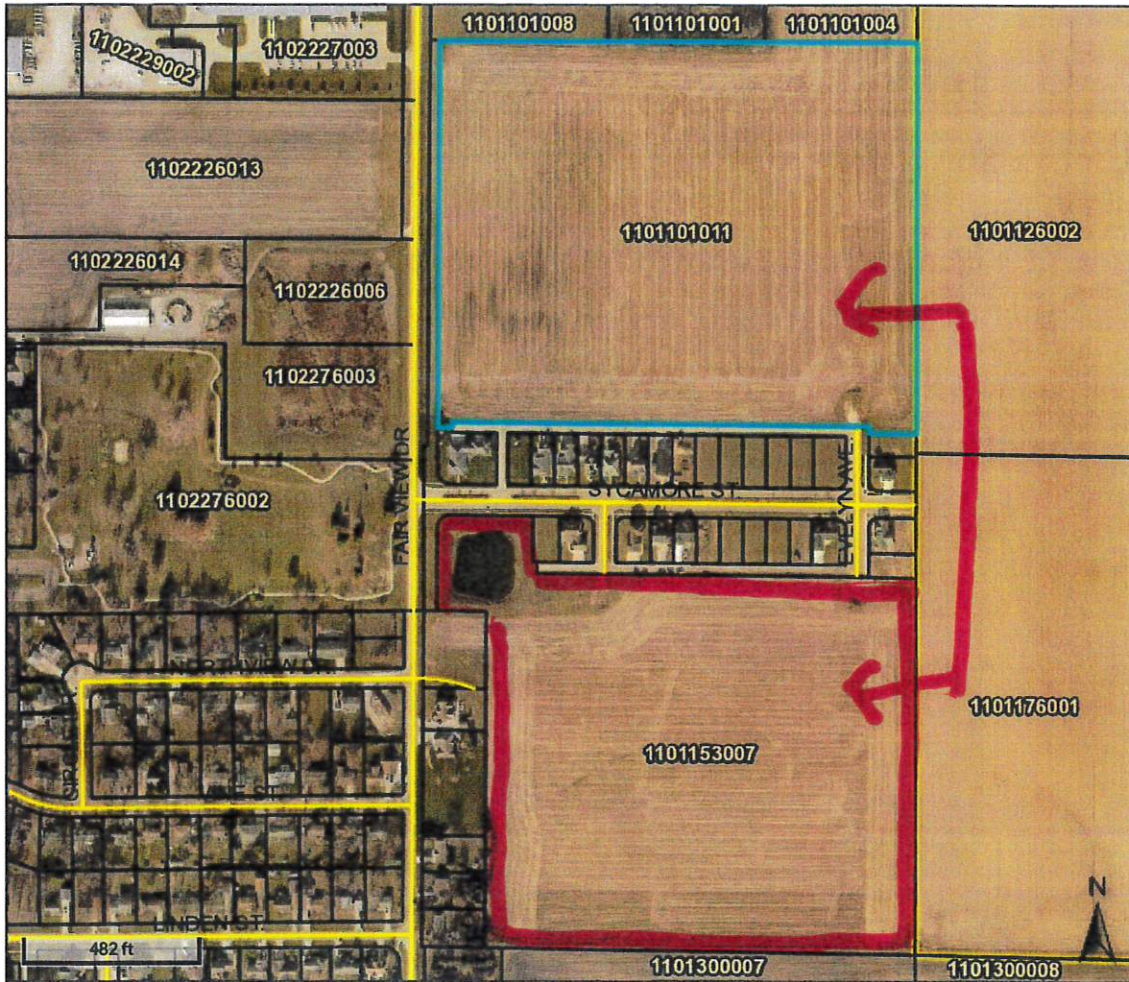
NAME	SIGNATURE	DATE
RACCOON VALLEY STATE BANK		
ORLEY BROWN		
DOWNING DEVELOPMENT WP, LLC		4-17-22
THE MCANALLY FAMILY TRUST		
EBY LAND COMPANY		
LARRY HAWBAKER		
KELLI ANN KIRKMAN		
KEVIN LEBEAU		
ALEXANDRA GUYNN & BRETT MEYER		
KURT LINNENKAMP		
CURTIS PION		
K & A INVESTMENTS, LLC		
BRADLEY & DIANE FOX TRUST		
PETER S & SHARI FAZIO		
MICHAEL THOMAS		
KODY NIELSEN		
WALTER HERMANSON		
SYDNEY DOWNING		
DEVIN SCHROEDER		
ANGELA ALDRIDGE		
ANDREA FETTERS		
HOMES BY ADVANTAGE, LLC		
CRIMSON DEVELOPMENT, LLC		
BRET VAN DE POL		
MARGARET BRODERICK		
KASEY GRIFFITH		
JAMES MILLER		
MICHAEL STRIEF		
NICHOLAS KILEY		
CHEYENNE CRISWELL		
WALTER DEBELAK		

CITY OF DALLAS CENTER

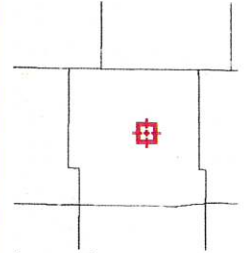
CONSENT FOR ZONING CHANGE - SURROUNDING PROPERTY OWNERS

The undersigned, property owners within 200 feet of the property described as in Attached
hereto, do hereby petition the City of Dallas Center to grant the zoning change from
PLANNED UNIT DEVELOPMENT to R-1 55 FLEX, R-1 6- FLEX, R-1-70

NAME	SIGNATURE	DATE
RACCOON VALLEY STATE BANK		4/21/2022
ORLEY BROWN		
DOWNING DEVELOPMENT WP, LLC		
THE MCANALLY FAMILY TRUST		
EBY LAND COMPANY		
LARRY HAWBAKER		
KELLI ANN KIRKMAN		
KEVIN LEBEAU		
ALEXANDRA GUYNN & BRETT MEYER		
KURT LINNENKAMP		
CURTIS PION		
K & A INVESTMENTS, LLC		
BRADLEY & DIANE FOX TRUST		
PETER S & SHARI FAZIO		
MICHAEL THOMAS		
KODY NIELSEN		
WALTER HERMANSON		
SYDNEY DOWNING		
DEVIN SCHROEDER		
ANGELA ALDRIDGE		
ANDREA FETTERS		
HOMES BY ADVANTAGE, LLC		
CRIMSON DEVELOPMENT, LLC		
BRET VAN DE POI		
MARGARET BRODERICK		
KASEY GRIFFITH		
JAMES MILLER		
MICHAEL STRIEF		
NICHOLAS KILEY		
CHEYENNE CRISWELL		
WALTER DEBELAK		



Overview



Legend

- Parcels
- City Limits

Parcel ID	1101101011	Alternate ID	n/a	Owner Address	K & A INVESTMENTS, LLC
Sec/Twp/Rng	1-79-27	Class	A		10640 JUSTIN DR
Property Address		Acreage	28.73		URBANDALE, IA 50322
District	560800				
Brief Tax Description	THE NEIGHBORHOOD OF DALLAS CENTER PLAT 1 OUTLOT Y				
	(Note: Not to be used on legal documents)				

Date created: 5/18/2022
 Last Data Uploaded: 5/18/2022 12:46:28 AM

Developed by  Schneider
 GEOSPATIAL

ORDINANCE NO. 574

AN ORDINANCE AMENDING SECTION 165.05 OF THE CODE OF ORDINANCES OF THE CITY OF DALLAS CENTER, IOWA, AS AMENDED, BY CHANGING THE ZONING CLASSIFICATION OF PROPERTY OWNED BY K&A INVESTMENTS, LLC (THE FUTURE NEIGHBORHOOD PLAT 2) WITHIN THE CITY LIMITS OF DALLAS CENTER, IOWA

BE IT ORDAINED by the City Council of the City of Dallas Center, Iowa, that:

SECTION 1. Purpose. The purpose of this Ordinance is to reclassify or rezone real estate situated in the City of Dallas Center, Iowa.

SECTION 2. Facts Found. The Council of the City of Dallas Center, Iowa, hereby makes the following findings:

1. Notice of a public hearing by the Planning and Zoning Commission was published in the Dallas County News, a newspaper of general circulation in the City of Dallas Center, on May 12, 2022, at least seven (7) days prior to the public hearing of said Commission on May 24, 2022.

2. After said public hearing on the 24th day of May, 2022, the Planning and Zoning Commission recommended to the Council that the zoning classification of four (4) certain parcels of real estate be changed from PUD (Planned United Development) Zoning District to (a) R-1-55 Flex (Single Family Residential) Zoning District; (b) R-1-60 Flex (Single Family Residential) Zoning District; (c) R-1-70 (Single-Family Residential) Zoning District, respectively; and (d) R-1-60 Flex (Single-Family Residential) Zoning District, respectively.

3. Notice of a public hearing by the City Council was published in the Dallas County News, a newspaper of general circulation in the City of Dallas Center, on June 2, 2022, at least seven (7) days prior

to the public hearing which was held by the Council on the 14th day of June, 2022.

4. The proposed change of zoning classification is consistent with the City's Comprehensive Plan.

SECTION 3. Amendment to Zoning Code. Section 165.05 (and the official Zoning Map attached thereto) of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, also referred to as the Zoning Code, is hereby amended by changing the zoning classification of the following described real estate from PUD (Planned Unit Development) Zoning District to R-1-55 Flex (Single Family Residential) Zoning District:

BEGINNING AT THE NE CORNER OF OUTLOT Y THE NEIGHBORHOOD OF DALLAS CENTER PLAT 1; THENCE S00°21'08"W, 323.00 FEET TO A POINT; THENCE N89°52'10"W, 878.51 FEET TO A POINT; THENCE S00°00'00"W, 3.00 FEET TO A POINT; THENCE N89°52'10"W, 190.86 FEET TO A POINT; THENCE N00°22'15"E, 323.00 FEET TO A POINT AT THE NW CORNER OF THE NEIGHBORHOOD OF DALLAS CENTER PLAT 1; THENCE S89°52'10"E, 1258.25 FEET TO THE POINT OF BEGINNING AND ALL CONTAINING 9.27 ACRES MORE OR LESS.

SECTION 4. Amendment to Zoning Code. Section 165.05 (and the official Zoning Map attached thereto) of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, also referred to as the Zoning Code, is hereby amended by changing the zoning classification of the following described real estate from PUD (Planned Unit Development) Zoning District to R-1-60 Flex (Single Family Residential) Zoning District:

STARTING AT A POINT OF REFERENCE AT THE NE CORNER OF OUTLOT Y THE NEIGHBORHOOD OF DALLAS CENTER PLAT 1; THENCE S00°21'08"W, 323.0 FEET TO THE POINT OF BEGINNING; THENCE S00°21'08"W, 311.01 FEET TO A POINT; THENCE S90°00'00"W, 187.07 FEET TO A POINT; THENCE S00°00'00"W, 5.57 FEET TO A POINT; THENCE N89°52'10"W, 878.51 FEET TO A POINT; THENCE N00°00'00"E, 11.00 FEET TO A POINT; THENCE N89°52'10"W, 192.84 FEET TO A POINT; THENCE N00°22'15"E, 306.00 FEET TO A POINT; THENCE S89°52'10"E, 190.86 FEET TO A POINT; THENCE N00°00'00"E, 3.00 FEET TO A POINT; THENCE S89°52'20"E, 878.51 FEET TO A POINT; THENCE S00°00'00"W, 3.43 FEET TO A POINT; THENCE N90°00'00"E, 188.89 FEET TO THE POINT OF BEGINNING AND ALL CONTAINING 9.14 ACRES MORE OR LESS.

SECTION 5. Amendment to Zoning Code. Section 165.05 (and the official Zoning Map attached thereto) of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, also referred to as the Zoning Code, is hereby amended by changing the zoning classification of the following described real estate from PUD (Planned Unit Development) Zoning District to R-1-70 (Single Family Residential) Zoning District:

BEGINNING AT THE SE CORNER OF OUTLOT Y, THE NEIGHBORHOOD OF DALLAS CENTER PLAT 1; THENCE N89°42'28"W, 124.86 FEET TO A POINT; THENCE S00°21'52"W, 18.05 FEET TO A POINT; THENCE N89°39'34"W, 1093.78 FEET TO A POINT; THENCE S00°22'15"W, 15.04 FEET TO A POINT; THENCE N89°39'34"W, 39.93 FEET TO A POINT BEING THE SW CORNER OF SAID OUTLOT Y; THENCE N00°22'15"E, 376.00 FEET TO A POINT; THENCE S89°52'10"E, 192.84 FEET TO A POINT; THENCE S00°00'00"W, 11.00 FEET TO A POINT; THENCE S89°52'10"E, 878.51 FEET TO A POINT; THENCE N00°00'00"E, 5.57 FEET TO A POINT; THENCE N90°00'00"E, 187.07 FEET TO A POINT; THENCE S00°21'08"W, 378.52 FEET TO THE POINT OF BEGINNING AND ALL CONTAINING 10.32 ACRES MORE OR LESS.

SECTION 6. Amendment to Zoning Code. Section 165.05 (and the official Zoning Map attached thereto) of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, also referred to as the Zoning Code, is hereby amended by changing the zoning classification of the following described real estate from PUD (Planned Unit Development) Zoning District to R-1-60 Flex (Single Family Residential) Zoning District:

BEGINNING AT THE NE CORNER OF OUTLOT Z, THE NEIGHBORHOOD OF DALLAS CENTER PLAT 1; THENCE S00°21'08"W, 412.00 FEET TO A POINT; THENCE N89°39'55"W, 125.08 FEET TO A POINT; THENCE S00°23'04"W, 112.89 FEET TO A POINT; THENCE N89°36'56"W, 601.25 FEET; THENCE N00°23'04"E, 98.90 FEET TO A POINT; THENCE N89°36'56"W, 402.22 FEET TO A POINT; THENCE N00°27'54"E, 325.36 FEET TO A POINT; THENCE N89°53'29"W, 130.80 FEET TO A POINT; THENCE N00°22'15"E, 215.94 FEET TO A POINT OF CURVATURE HAVING A RADIUS OF 35.00 FEET, A CHORD BEARING OF N45°21'20"E, AND A CHORD LENGTH OF 49.48 FEET TO A POINT; THENCE S89°39'35"E, 218.94 FEET TO A POINT; THENCE S00°31'12"W, 119.74 FEET TO A POINT; THENCE S89°37'08"E, 10.00 FEET TO A POINT; THENCE S89°39'36"E, 810.31 FEET TO A POINT; THENCE S89°39'55"E, 184.85 FEET TO THE POINT OF BEGINNING AND ALL CONTAINING 13.54 ACRES MORE OR LESS.

SECTION 7. Repealer. All Ordinances or parts of Ordinances in conflict with the provisions of this Ordinance are hereby repealed.

SECTION 8. Savings Clause. If any section, provision or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 9. Effective. This Ordinance shall be in full force and effect from and after its passage and publication as provided by law.

Passed by the City Council on the 14th day of June, 2022, and approved the 14th day of June, 2022.

Daniel Beyer, Mayor

ATTEST:

Michele Schaben, City Clerk

RESOLUTION NO. 2022-47

A RESOLUTION ORDERING CONSTRUCTION OF THE DALLAS CENTER OUTDOOR COMMUNITY SWIMMING POOL CONSTRUCTION PROJECT, AND FIXING A DATE FOR HEARING THEREON AND TAKING OF BIDS THEREFOR

WHEREAS, it is deemed advisable and necessary to construct certain public improvements described in general as the Dallas Center Outdoor Community Swimming Pool Construction Project; and

WHEREAS, the City has caused to be prepared plans, specifications and form of contract, together with estimate of costs, which are now on file in the office of the City Clerk for public inspection, for the construction of the public improvements, and

WHEREAS, the plans, specifications and form of contract are deemed suitable for the making of the public improvements; and

WHEREAS, before the plans, specifications, form of contract and estimate of cost may be adopted, and contract for the construction of public improvements is entered into, it is necessary, pursuant to Chapter 26 of the Code of Iowa, to hold a public hearing and to advertise for bids.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DALLAS CENTER, IOWA:

Section 1. That it is hereby determined that it is necessary and advisable to construct certain public improvements described in general as the Dallas Center Outdoor Community Swimming Pool Construction Project in the manner set forth in the plans and specifications and form of contract, above referred to, the costs thereof to be paid in accordance with the provisions as set out in the posted Notice to Bidders and published Notice of Public Hearing; the public improvements being more generally described as follows:

DALLAS CENTER OUTDOOR COMMUNITY SWIMMING POOL CONSTRUCTION PROJECT:

The project includes construction of a new outdoor community swimming pool, consisting of a swim pool with a water surface of approximately 6,228 square feet, water slides, diving, shallow features, bathhouse, filter

building, parking, and site work, and all other miscellaneous work to complete the project.

Section 2. That the amount of the bid security to accompany each bid shall be in an amount which shall conform to the provisions of the Notice to Bidders approved as a part of the specifications.

BE IT FURTHER RESOLVED, that the City Clerk be and is hereby directed to post a Notice to Bidders once in a relevant contractor plan room service with statewide circulation and a relevant construction lead generating service with statewide circulation and on an Internet site sponsored by either the City or a statewide association that represents the City. Posting shall be not less than thirteen clear days nor more than forty-five days prior to July 7, 2022, which is hereby fixed as the date for receiving bids. The bids are to be filed prior to 2:00 P. M., on such date.

The City Council hereby delegates to the City Clerk or her designee the duty of receiving, opening and tabulating bids for construction of the Project. Bids shall be received and opened as provided in the public notice and the results of the bids considered at the meeting of this Council on July 12, 2022.

BE IT FURTHER RESOLVED, that the City Clerk be and is hereby directed to publish notice of hearing once in "The Dallas County News", a legal newspaper, printed wholly in the English language, published at least once weekly and having general circulation in this City. Publication shall be not less than four clear days nor more than twenty days prior to the date hereinafter fixed as the date for a public hearing on the plans, specifications, form of contract and estimate of costs for the project, the hearing to be at 7:00 P.M. on July 12, 2022.

PASSED, APPROVED, AND ADOPTED by the City Council of the City of Dallas Center, Iowa, on this 14th day of June, 2022.

Daniel Beyer, Mayor

ATTEST:

Michele Schaben, City Clerk

RESOLUTION NO. 2022-42

A RESOLUTION APPROVING AN AGREEMENT BETWEEN THE CITY OF DALLAS CENTER, IOWA, AND RONALD E. NIELSEN AND CAROLYN M. NIELSEN FOR THE CITY'S ACQUISITION OF THE PRIVATE ROADWAYS IN CROSS COUNTRY ESTATES PLATS 1 AND 2

WHEREAS, by the adoption of Resolution Nos. 2002-19 and 2006-24 the interior streets of Cross Country Estates Plats 1 and 2 were designated as Private Roadways, but said Resolutions provided that if any time in the future any request was made for the City to assume responsibility for the Private Roadways the owners thereof would be required to bring such roadways to the standard required by the City before the City would accept any dedication of such roadway; and

WHEREAS, the City has developed plans to improve, at its expense, the Private Roadways in Cross Country Estates Plats 1 and 2, which plans would require the City to acquire the ownership of such Private Roadways; and

WHEREAS, the City has prepared an Agreement (a copy attached as Exhibit A) with the owners of the Private Roadways, Ronald E. Nielsen and Carolyn M. Nielsen, wherein the owners will sell and the City will buy such roadways for the sum of one dollar (\$1.00), and the City will relieve the owners of any obligation to bring the Private Roadways to the standard required by the City; and

WHEREAS, the Agreement allows the City to acquire the roadways in three segments as the City is prepared, from time to time, to undertake improvements on each of the segments.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Dallas Center, Iowa, that the Agreement between the City and Ronald E. Nielsen and Carolyn M. Nielsen is approved; that the Mayor and City Attorney are authorized make non-substantive modifications to the Agreement that may be requested by the Niensens; and once finalized the Mayor and Clerk are authorized to execute the Agreement on behalf of the City and to issue payment in the amount of one dollar (\$1.00) to the sellers.

PASSED, APPROVED AND ADOPTED by the City Council of the City of Dallas Center, Iowa, on the 14th day of June, 2022.

Daniel Beyer, Mayor

ATTEST:

Michele Schaben, City Clerk

Prepared by
and Return to: Ralph R. Brown, P.O. Box 250, Dallas Center, Iowa 50063 (515) 992-3728

AGREEMENT

THIS AGREEMENT is entered into effective as of the 14th day of June, 2022, by and between **RONALD E. NIELSEN and CAROLYN M. NIELSEN**, husband and wife, with an address of 650 S.W. Southfork Drive, Waukee, Iowa 50263 (hereafter “the Nielsens”) and **THE CITY OF DALLAS CENTER, IOWA**, a municipal corporation, with an address of 1502 Walnut Street, Dallas Center, Iowa 50063 (hereafter “the City”), collectively “the Parties” .

RECITALS

WHEREAS, the Nielsens are the owners of the following described parcels of real estate situated in the City of Dallas Center, Dallas County, Iowa:

Lots A, B, and C in Cross Country Estates Plat No. 1 in the City of Dallas Center, Dallas County, Iowa.

and

Lot A in Cross County Estates Plat No. 2 in the City of Dallas Center, Dallas County, Iowa.

(hereafter “the Private Roadways or the Private Roadway”); and

WHEREAS, the aforescribed parcels of real estate owned by the Nielsens (depicted on the attached Exhibits A and B) constitute the Private Roadways in Cross County Estates Plat No. 1 and Cross Country Estates Plat No. 2 (hereafter “the Cross Development”), and have neither been dedicated to nor are they owned by the City; and

WHEREAS, Resolution No. 2002-19 approved by the Dallas Center City Council on June 11, 2002, approved the Final Plat of Cross Country Estates Plat No. 1 and permitted the designation

of the interior streets as private roadways, but provided that if at any time in the future any request was made for the City to assume responsibility for the private roadways the owners of the private roadways would be required to bring such roadways to the standard required by the City before the City would accept any dedication of such roadways; and

WHEREAS, Resolution No. 2006-24 approved by the Dallas Center City Council on May 31, 2006, approved the Final Plat of Cross Country Estates Plat No. 2 and permitted the designation of the interior street as a private roadway, but provided that if at any time in the future any request was made for the City to assume responsibility for any private roadway the owners of the private roadway would be required to bring such roadway to the standard required by the City before the City would accept any dedication of such roadway; and

WHEREAS, the City has developed plans to improve, at its expense, the Private Roadways in the Cross Development and to upgrade the Private Roadways to a condition that would not require regular and ongoing maintenance, which plans would require the City to acquire the ownership of such Private Roadways; and

WHEREAS, the City has established the West Urban Renewal Plan, in part, to provide Tax Increment Financing (TIF) funds to pay for the planning, engineering, construction, and other related costs for a city-constructed infrastructure improvement project upgrading the Private Roadways in the Cross Development; and

WHEREAS, the City is willing to purchase the Private Roadways from the Nielsens in three segments as roadway improvements are constructed by the City over the coming years and as funding, including TIF funds, becomes available; and

WHEREAS, the three segments of roadway improvements are designated as Parcels 22-22, 22-23, and 22-24 as shown by the three Plats of Survey prepared by the City's Engineers, Veenstra & Kimm, Inc., and attached hereto as Exhibits C, D, and E.

WHEREAS, the Nielsens are willing to sell the Private Roadways in the Cross Development to the City for the sum of One Dollar (\$1.00), with three Warranty Deeds to be executed and delivered by Nielsens to be held in escrow by the City as further set forth in this Agreement; and

WHEREAS, in consideration of the Nielsens' sale of the Private Roadways to the City for the sum of One Dollar (\$1.00), the City will relieve the Nielsens of any obligation, as set out in Resolution No. 2002-19 and Resolution No. 2006-24, to bring the Private Roadways to the standard required by the City before the City would accept any dedication of such roadway; however, the Nielsens will continue to be responsible for maintenance of such roadways until the Warranty Deed for such segment of the roadways has been duly recorded with the Recorder of Dallas County, Iowa.

NOW, THEREFORE, in consideration of their mutual promises and the covenants contained herein, and other good and valuable consideration, the receipt and sufficiency of which

are hereby acknowledged, **IT IS HEREBY AGREED** by and between the Nielsens and the City as follows:

1. Subject to and upon the terms and conditions contained herein, the Nielsens will sell to the City for the sum of One Dollar (\$1.00) the Private Roadways contained in the Cross Development located within the City of Dallas Center, Iowa.

2. Simultaneously with the execution of this Agreement, the Nielsens will execute and deliver to the City (to be held in escrow by Dallas Center City Attorney Ralph R. Brown, or his successor) three separate Warranty Deeds for Parcels 22-22, 22-23, and 22-24.

3. Upon the execution of this Agreement, the Warranty Deed for Parcel 22-22 will promptly be recorded by the City, and any obligation of the Nielsens to maintain that portion of the Private Roadways contained in Parcel 22-22 will conclude. Upon the recording of the Warranty Deed the responsibility for maintenance of the Private Roadways contained in Parcel 22-22 shall be assumed by the City. The City will provide the Nielsens with a copy of the recorded Warranty Deed.

4. However, any obligation on the part of the Nielsens to maintain that portion of the Private Roadways contained within Parcels 22-23 and 22-24 will continue until such time as the Warranty Deeds to Parcels 22-23 and 22-24 are recorded by the City, at which time the responsibility for maintenance shall pass to the City. The timing for the recording of the Warranty Deeds for Parcels 22-23 and 22-24 shall be within the sole discretion of the City, acting through its Mayor or City Administrator or comparable official. As each Warranty Deed is recorded a copy of the Deed will be provided to the Nielsens, or their representative.

5. The City will relieve the Nielsens of any obligation, as set out in Resolution No. 2002-19 and Resolution No. 2006-24, to bring the Private Roadways to the standard required by the City before the City will accept any dedication of such roadway; however, the Nielsens will continue to be responsible for any maintenance of such roadways until the Warranty Deed for such segment of the roadways has been duly recorded with the Recorder of Dallas County, Iowa.

6. Ronald E. Nielsen (hereafter "Mr. Nielsen) is the managing member of Central Dallas Developers, LLC, the owner of the Private Roadways in Country Living Estates, a subdivision in the City of Dallas Center, Dallas County, Iowa, across Highway 169 from the Cross Development. Mr. Nielsen and the City agree that they will proceed to enter into an agreement similar to this Agreement with respect to such Private Roadways.

7. This Agreement and the documents delivered pursuant hereto constitute the entire agreement and understanding between the Parties hereto and supersede any prior agreement and understanding relating to the subject matter of this Agreement. This Agreement may be modified or amended only by a duly authorized written agreement executed by the Parties hereto.

8. This Agreement shall be governed and construed and enforced in accordance with the laws of the State of Iowa, and shall be binding on all Parties, their heirs and successors in interest.

IN WITNESS WHEREOF, the Parties have executed this Agreement as of the day and year first above written.

THE CITY OF DALLAS CENTER, IOWA

Ronald E. Nielsen

By _____
Daniel Beyer, Mayor

Carolyn M. Nielsen

By _____
Michele Schaben, City Clerk

STATE OF IOWA :
: ss.
COUNTY OF _____ :

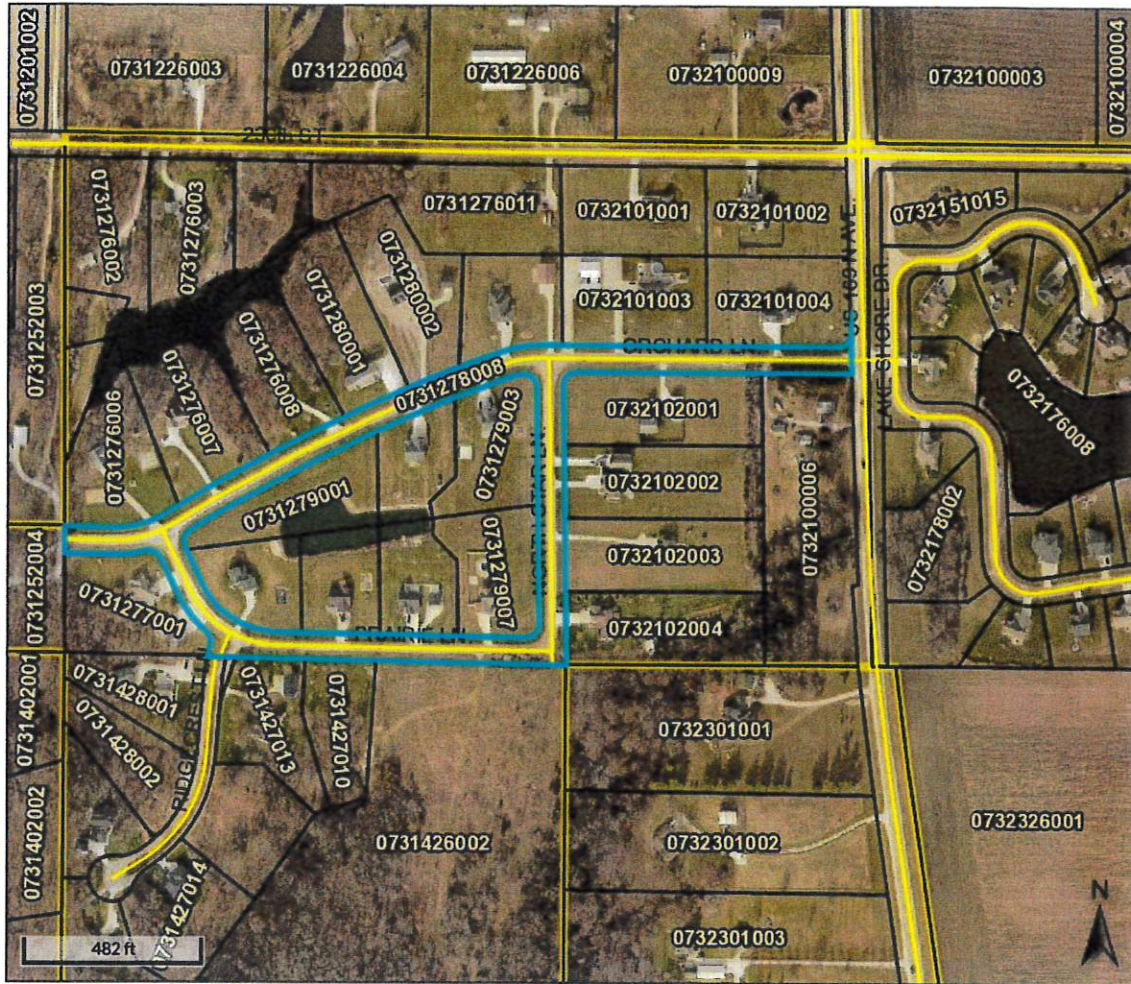
Subscribed and sworn to before me, a Notary Public in and for the State of Iowa, on the ____ day of _____, 2022, by Ronald E. Nielsen and Carolyn M. Nielsen, husband and wife.

Notary Public in and for
the State of Iowa

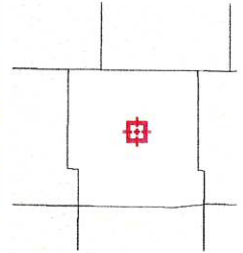
STATE OF IOWA :
 : ss.
COUNTY OF DALLAS :

On this 14th day of June, 2022, before me, the undersigned, a Notary Public in and for the State of Iowa, personally appeared Daniel Beyer and Michele Schaben, to me personally known, and who, being by me duly sworn, did say that they are the Mayor and City Clerk, respectively, of the City of Dallas Center, Iowa; that the seal affixed to the foregoing Agreement is the corporate seal of the corporation, and that the foregoing Agreement was signed and sealed on behalf of the corporation by authority of its City Council, as contained in Resolution No. 2022-42 adopted on the 14th day of June, 2022, and that Daniel Beyer and Michele Schaben acknowledged the execution of the Agreement to be their voluntary act and deed and the voluntary act and deed of the corporation, by it voluntarily executed.

Ralph R. Brown, Notary Public
in and for the State of Iowa



Overview



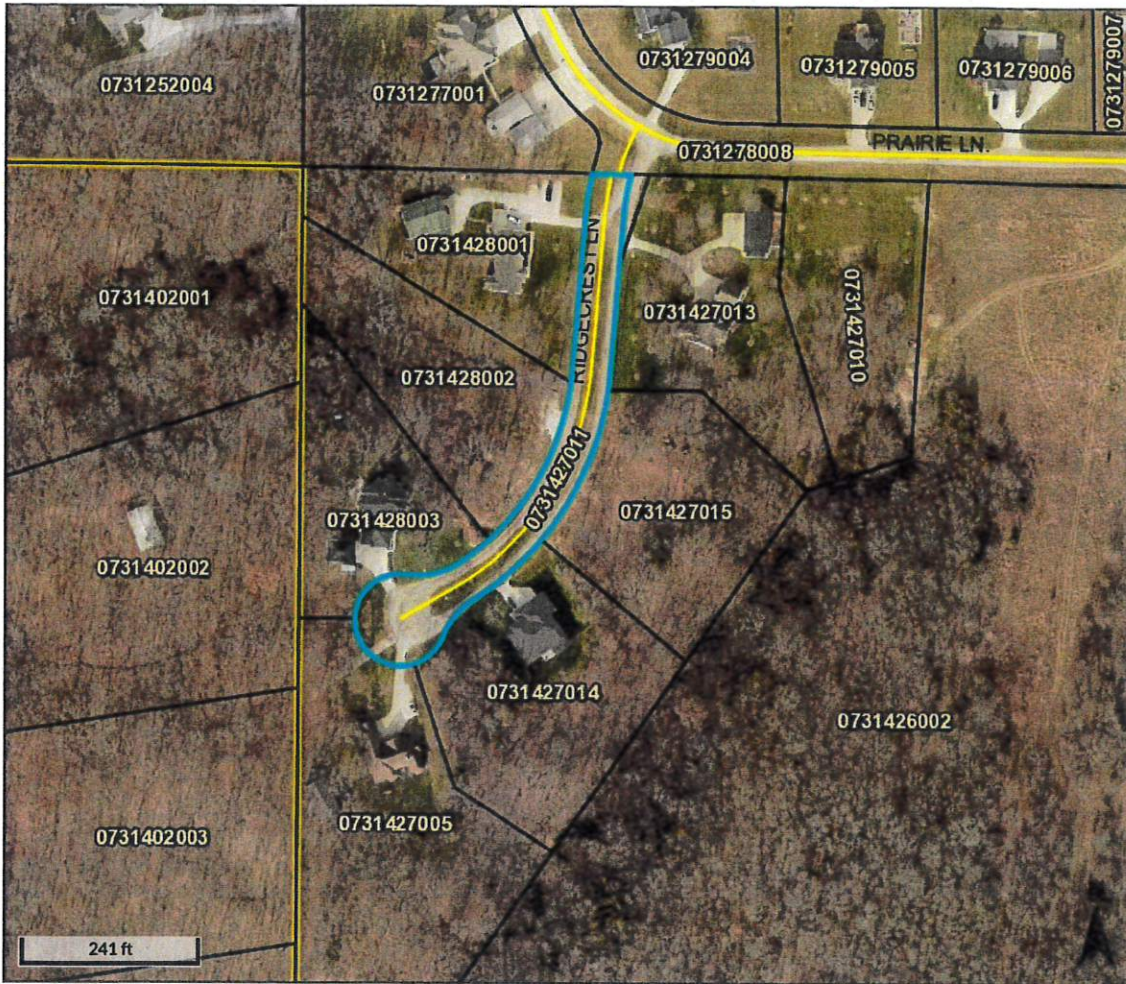
Legend

-  Parcels
-  City Limits

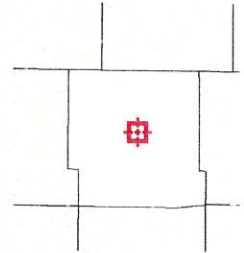
Parcel ID	0731278008	Alternate ID	n/a	Owner Address	NIELSEN, RONALD E & CAROLYN M JTRS
Sec/Twp/Rng	31-80-27	Class	R		650 SE SOUTHFORK DR
Property Address		Acreage	6.61		WAUKEE, IA 50263
District	560000				
Brief Tax Description	CROSS COUNTRY ESTATES PLT 1 LOTS A B & C /STREETS/ (Note: Not to be used on legal documents)				

Date created: 5/31/2022
 Last Data Uploaded: 5/30/2022 9:57:13 PM

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 GEOSPATIAL



Overview



Legend

-  Parcels
-  City Limits

Parcel ID	0731427011	Alternate ID	n/a	Owner Address	NIELSEN, RONALD E & CAROLYN M JTRS
Sec/Twp/Rng	31-80-27	Class	R		650 SE SOUTHFORK DR
Property Address		Acreage	1		WAUKEE, IA 50263
District	560000				
Brief Tax Description	CROSS COUNTRY ESTATES PLAT 2 LOT A (STREET)				
	<i>(Note: Not to be used on legal documents)</i>				

Date created: 5/31/2022
 Last Data Uploaded: 5/30/2022 9:57:13 PM

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Exhibit "B"

PLAT OF SURVEY

FOR PARCEL 22-22 IN CROSS COUNTRY ESTATES PLAT NO. 1
DALLAS CENTER, IOWA

City:	Dallas Center, Iowa
County:	Dallas
Parcel ID:	0731278008
Description:	Lots "A", "B" and "C" in Cross Country Estates Plat No. 1
Proprietor:	Ronald E. Nielsen and Carolyn M. Nielsen
Surveyor:	Eric M. Green
Company:	Veenstra & Kimm, Inc.
Return to:	3000 Westtown Parkway West Des Moines, IA 50266 (515) 225-8000

LEGAL DESCRIPTION PARCEL 22-22:

A TRACT OF LAND LOCATED IN PORTIONS OF LOTS "A", "B" AND "C" IN CROSS COUNTRY ESTATES PLAT NO. 1, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF DALLAS CENTER, DALLAS COUNTY, IOWA, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID STREET LOT "B"; THENCE NORTH 89°06'48" WEST ALONG THE SOUTH LINE OF SAID LOT "B" AND LOT "C", 279.00 FEET; THENCE NORTH 00°49'56" EAST, 70.00 FEET TO THE NORTH LINE OF SAID LOT "C"; THENCE SOUTH 89°06'46" EAST ALONG SAID NORTH LINE, 171.56 FEET; THENCE NORTHEAST, 55.58 FEET ALONG SAID NORTH LINE AND ALONG A 35.00 FOOT RADIUS CURVE CONCAVE TO THE NORTHWEST AND HAVING A CHORD WHICH BEARS NORTH 45°01'00" EAST, 49.99 FEET TO THE WEST LINE OF SAID LOT "B"; THENCE NORTH 00°33'40" WEST ALONG SAID WEST LINE, 613.45 FEET; THENCE NORTHWEST, 63.40 FEET ALONG SAID WEST LINE AND ALONG A 35.00 FOOT RADIUS CURVE CONCAVE TO THE SOUTHWEST AND HAVING A CHORD WHICH BEARS NORTH 62°20'00" WEST, 55.08 FEET TO THE SOUTH LINE OF SAID LOT "A"; THENCE SOUTHWEST, 23.84 FEET ALONG SAID SOUTH LINE AND ALONG A 240.00 FOOT RADIUS CURVE CONCAVE TO THE SOUTH AND HAVING A CHORD WHICH BEARS SOUTH 73°23'05" WEST, 23.83 FEET; THENCE NORTH 20°01'10" WEST, 69.64 FEET TO THE NORTH LINE OF SAID LOT "A"; THENCE NORTHEAST, 108.52 FEET ALONG SAID NORTH LINE AND ALONG A 310.00 FOOT RADIUS CURVE CONCAVE TO THE SOUTH AND HAVING A CHORD WHICH BEARS NORTH 79°59'15" EAST, 107.96 FEET; THENCE SOUTH 89°51'50" EAST ALONG SAID NORTH LINE, 52.81 FEET; THENCE SOUTH 89°54'33" EAST ALONG SAID NORTH LINE, 729.51 FEET; THENCE NORTHEAST, 55.78 FEET ALONG SAID NORTH LINE AND ALONG A 35.00 FOOT RADIUS CURVE CONCAVE TO THE NORTHWEST AND HAVING A CHORD WHICH BEARS NORTH 44°12'35" EAST, 50.06 FEET TO THE EAST LINE OF SAID LOT "A"; THENCE SOUTH 01°32'16" EAST ALONG SAID EAST LINE, 105.98 FEET TO THE SOUTHEAST CORNER OF SAID LOT "A"; THENCE NORTH 89°54'33" WEST ALONG THE SOUTH LINE OF SAID LOT "A", 772.80 FEET TO THE NORTHEAST CORNER OF SAID LOT "B"; THENCE SOUTHWEST, 55.43 FEET ALONG THE EAST LINE OF SAID LOT "B" AND ALONG A 35.00 FOOT RADIUS CURVE CONCAVE TO THE SOUTHEAST AND HAVING A CHORD WHICH BEARS SOUTH 44°54'06" WEST, 49.62 FEET; THENCE SOUTH 00°33'40" EAST ALONG SAID EAST LINE, 726.03 FEET TO THE POINT OF BEGINNING.

CONTAINING 133,119 SQUARE FEET OR 3.06 ACRES, MORE OR LESS, SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

FOR THE PURPOSE OF THIS DESCRIPTION, ALL BEARING AND DISTANCES ARE REFERENCED TO NAD83(2011) A SFC SOUTH ZONE, US SURVEY FOOT.

LEGEND

- ▲ FOUND SECTION CORNER MONUMENT
- FOUND 5/8" REBAR (UNLESS NOTED)
- FOUND 3/8" REBAR W/YELLOW CAP#16805
- FOUND 3/8" REBAR W/YELLOW CAP#11582
- FOUND 1/2" REBAR W/YELLOW CAP#11758
- SET 5/8" REBAR W/YELLOW CAP#17758 (UNLESS NOTED)
- (M) MEASURED BEARING OR DIMENSION
- (R) RECORDED BEARING OR DIMENSION
- PROPERTY LINE
- ▭ SECTION LINE
- ▭ PARCEL 22-22 = 133,119 SQ.FT. OR 3.06 ACRES

I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my indirect personal supervision, and that I am a duly licensed Land Surveyor under the laws of the State of Iowa.

Signature: *Eric M. Green* Date: 2/17/2022

Eric M. Green, P.L.S.
Iowa License No. 17758
My license renewal date is December 31, 2023
Drawings covered by this seal: Sheets 1 and 2



SURVEY NOTE
THE INTENT OF THIS SURVEY IS TO ALLOW THE CITY OF DALLAS CENTER TO PURCHASE A PORTION OF THE PRIVATE STREET IN CROSS COUNTRY ESTATES PLAT NO. 1.

STREET LOT ACQUISITION FOR THE CITY OF DALLAS CENTER

PLAT OF SURVEY
PARCEL 22-22
IN CROSS COUNTRY ESTATES PLAT NO. 1

DATE: 02-14-2022

V&K
VEENSTRA & KIMM, INC.

3000 Westtown Parkway West Des Moines, Iowa 50266-0320
515-225-8000 • 315-225-7496 (FAX) • 800-547-6025 (TOLL FREE)

PS-1
SHEET 1 OF 2
PROJECT 2221

PLAT OF SURVEY

FOR PARCEL 22-22 IN CROSS COUNTRY ESTATES PLAT NO. 1
DALLAS CENTER, IOWA

NE CORNER
LOT "D"
CROSS COUNTRY ESTATES PLAT NO. 1
1/2" REBAR

NE CORNER
LOT 3
CROSS COUNTRY ESTATES PLAT NO. 1
1/2" REBAR

NE CORNER
LOT 4
CROSS COUNTRY ESTATES PLAT NO. 1
1/2" REBAR

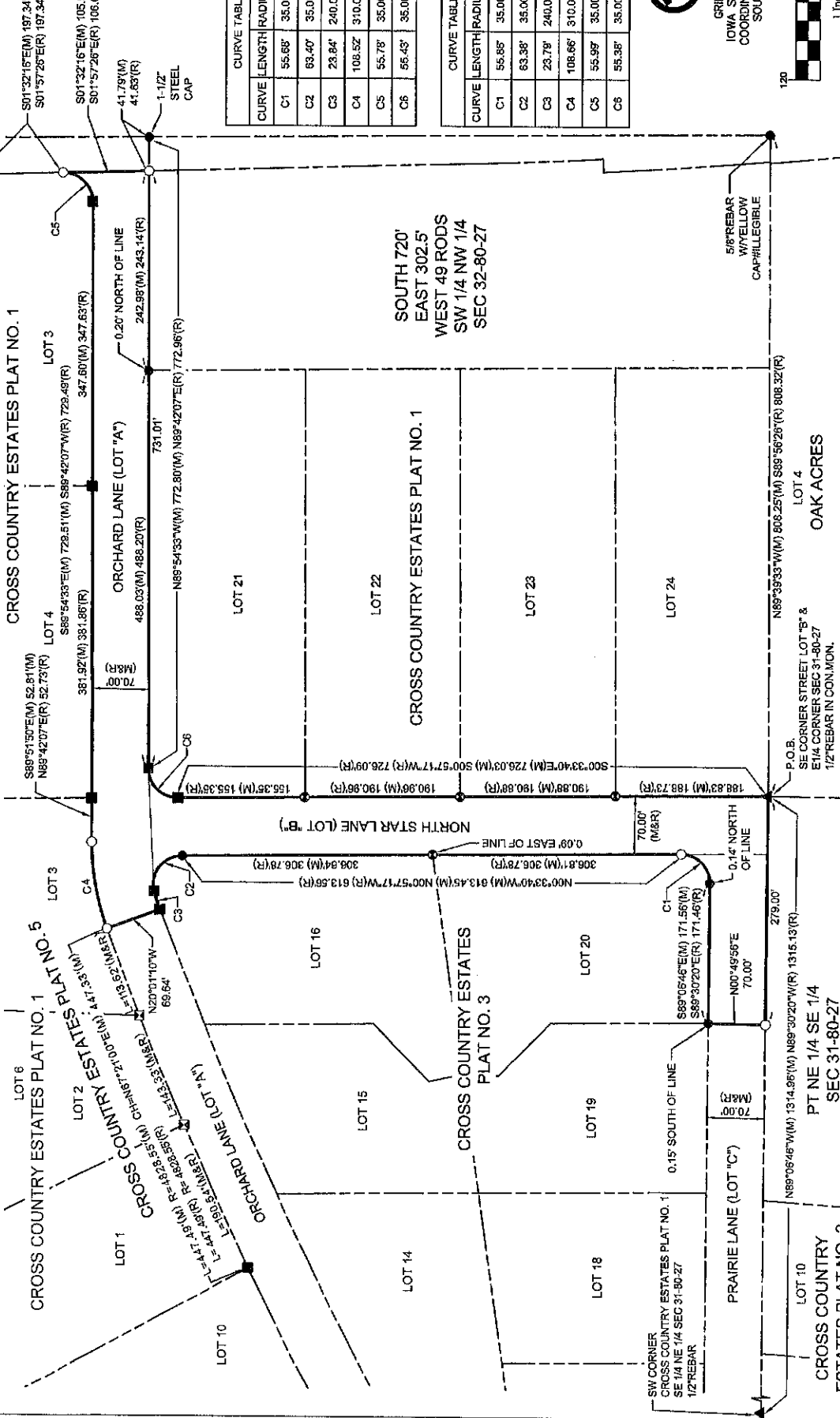
NE CORNER
LOT 5
CROSS COUNTRY ESTATES PLAT NO. 1
1/2" REBAR

NE CORNER
LOT 6
CROSS COUNTRY ESTATES PLAT NO. 1
1/2" REBAR

NE CORNER
LOT 7
CROSS COUNTRY ESTATES PLAT NO. 1
1/2" REBAR

NE CORNER
LOT 8
CROSS COUNTRY ESTATES PLAT NO. 1
1/2" REBAR

NE CORNER
LOT 9
CROSS COUNTRY ESTATES PLAT NO. 1
1/2" REBAR

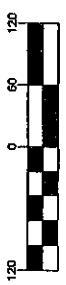


CURVE TABLE - MEASURED			
CURVE LENGTH	RADIUS	CHD. BRG.	CHORD
C1	35.00'	N45°10'00"E	49.99'
C2	35.00'	N52°20'00"W	55.08'
C3	240.00'	S73°23'05"W	23.83'
C4	108.52'	N79°58'15"E	107.98'
C5	55.78'	N44°12'35"E	50.06'
C6	55.43'	S44°54'05"W	49.82'

CURVE TABLE - RECORDED			
CURVE LENGTH	RADIUS	CHD. BRG.	CHORD
C1	35.00'	N44°46'11"E	50.12'
C2	35.00'	N52°48'43"W	55.07'
C3	240.00'	S72°27'29"W	23.78'
C4	108.66'	N79°38'38"E	108.11'
C5	55.99'	N43°52'20"E	50.21'
C6	55.38'	S44°22'25"W	48.78'



GRID NORTH
IOWA STATE PLANE
COORDINATE SYSTEM
SOUTH ZONE



SOUTH 720'
EAST 302.5'
WEST 49 RODS
SW 1/4 NW 1/4
SEC 32-80-27

STREET LOT ACQUISITION FOR THE CITY OF DALLAS, TEXAS
PLAT OF SURVEY
PARCEL 22-22
IN CROSS COUNTRY ESTATES PLAT NO. 1
PS-1
3000 Westwood Parkway • West For Moore, Inc. 800-644-3333
515-252-5000 • 515-252-7446 (TX) • 800-371-8008 (VA) TX
VINSTR & KIMM, INC.

DATE	REVISIONS	SCALE AS SHOWN

LOT 10
CROSS COUNTRY ESTATES PLAT NO. 1
SW CORNER
SE 1/4 NE 1/4 SEC 31-80-27
1/2" REBAR

LOT 11
CROSS COUNTRY ESTATES PLAT NO. 1
SE CORNER STREET LOT "B" &
E 1/4 CORNER SEC 31-80-27
1/2" REBAR IN CONJ. W/ MON.

LOT 12
CROSS COUNTRY ESTATES PLAT NO. 1
SE CORNER STREET LOT "B" &
E 1/4 CORNER SEC 31-80-27
1/2" REBAR IN CONJ. W/ MON.

LOT 13
CROSS COUNTRY ESTATES PLAT NO. 1
SE CORNER STREET LOT "B" &
E 1/4 CORNER SEC 31-80-27
1/2" REBAR IN CONJ. W/ MON.

LOT 14
CROSS COUNTRY ESTATES PLAT NO. 1
SE CORNER STREET LOT "B" &
E 1/4 CORNER SEC 31-80-27
1/2" REBAR IN CONJ. W/ MON.

LOT 15
CROSS COUNTRY ESTATES PLAT NO. 1
SE CORNER STREET LOT "B" &
E 1/4 CORNER SEC 31-80-27
1/2" REBAR IN CONJ. W/ MON.

LOT 16
CROSS COUNTRY ESTATES PLAT NO. 1
SE CORNER STREET LOT "B" &
E 1/4 CORNER SEC 31-80-27
1/2" REBAR IN CONJ. W/ MON.

LOT 17
CROSS COUNTRY ESTATES PLAT NO. 1
SE CORNER STREET LOT "B" &
E 1/4 CORNER SEC 31-80-27
1/2" REBAR IN CONJ. W/ MON.

LOT 18
CROSS COUNTRY ESTATES PLAT NO. 1
SE CORNER STREET LOT "B" &
E 1/4 CORNER SEC 31-80-27
1/2" REBAR IN CONJ. W/ MON.

LOT 19
CROSS COUNTRY ESTATES PLAT NO. 1
SE CORNER STREET LOT "B" &
E 1/4 CORNER SEC 31-80-27
1/2" REBAR IN CONJ. W/ MON.

LOT 20
CROSS COUNTRY ESTATES PLAT NO. 1
SE CORNER STREET LOT "B" &
E 1/4 CORNER SEC 31-80-27
1/2" REBAR IN CONJ. W/ MON.

LOT 21
CROSS COUNTRY ESTATES PLAT NO. 1
SE CORNER STREET LOT "B" &
E 1/4 CORNER SEC 31-80-27
1/2" REBAR IN CONJ. W/ MON.

LOT 22
CROSS COUNTRY ESTATES PLAT NO. 1
SE CORNER STREET LOT "B" &
E 1/4 CORNER SEC 31-80-27
1/2" REBAR IN CONJ. W/ MON.

LOT 23
CROSS COUNTRY ESTATES PLAT NO. 1
SE CORNER STREET LOT "B" &
E 1/4 CORNER SEC 31-80-27
1/2" REBAR IN CONJ. W/ MON.

LOT 24
CROSS COUNTRY ESTATES PLAT NO. 1
SE CORNER STREET LOT "B" &
E 1/4 CORNER SEC 31-80-27
1/2" REBAR IN CONJ. W/ MON.

LOT 1
CROSS COUNTRY ESTATES PLAT NO. 1
SE CORNER STREET LOT "B" &
E 1/4 CORNER SEC 31-80-27
1/2" REBAR IN CONJ. W/ MON.

LOT 2
CROSS COUNTRY ESTATES PLAT NO. 1
SE CORNER STREET LOT "B" &
E 1/4 CORNER SEC 31-80-27
1/2" REBAR IN CONJ. W/ MON.

LOT 3
CROSS COUNTRY ESTATES PLAT NO. 1
SE CORNER STREET LOT "B" &
E 1/4 CORNER SEC 31-80-27
1/2" REBAR IN CONJ. W/ MON.

LOT 4
CROSS COUNTRY ESTATES PLAT NO. 1
SE CORNER STREET LOT "B" &
E 1/4 CORNER SEC 31-80-27
1/2" REBAR IN CONJ. W/ MON.

LOT 5
CROSS COUNTRY ESTATES PLAT NO. 1
SE CORNER STREET LOT "B" &
E 1/4 CORNER SEC 31-80-27
1/2" REBAR IN CONJ. W/ MON.

LOT 6
CROSS COUNTRY ESTATES PLAT NO. 1
SE CORNER STREET LOT "B" &
E 1/4 CORNER SEC 31-80-27
1/2" REBAR IN CONJ. W/ MON.

LOT 7
CROSS COUNTRY ESTATES PLAT NO. 1
SE CORNER STREET LOT "B" &
E 1/4 CORNER SEC 31-80-27
1/2" REBAR IN CONJ. W/ MON.

LOT 8
CROSS COUNTRY ESTATES PLAT NO. 1
SE CORNER STREET LOT "B" &
E 1/4 CORNER SEC 31-80-27
1/2" REBAR IN CONJ. W/ MON.

LOT 9
CROSS COUNTRY ESTATES PLAT NO. 1
SE CORNER STREET LOT "B" &
E 1/4 CORNER SEC 31-80-27
1/2" REBAR IN CONJ. W/ MON.

PLAT OF SURVEY

FOR PARCEL 22-23 IN CROSS COUNTRY ESTATES PLAT NO. 1
DALLAS CENTER, IOWA

Index Legend	
City:	Dallas Center, Iowa
County:	Dallas
Parcel ID:	0731278008
Description:	Lot "A" in Cross Country Estates Plat No. 1
Proprietor:	Ronald E. Nielsen and Carolyn M. Nielsen
Surveyor:	Eric M. Green
Company:	Veenstra & Kimm, Inc. 3000 Westown Parkway West Des Moines, IA 50266 (515) 225-8000
Return to:	

LEGAL DESCRIPTION PARCEL 22-23:

A TRACT OF LAND LOCATED IN PART OF LOT "A" IN CROSS COUNTRY ESTATES PLAT NO. 1, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF DALLAS CENTER, DALLAS COUNTY, IOWA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID CROSS COUNTRY ESTATES PLAT NO. 1; THENCE NORTH 00°12'27" WEST ALONG THE WEST LINE OF SAID CROSS COUNTRY ESTATES PLAT NO. 1, 261.71 FEET TO THE SOUTHWEST CORNER OF SAID LOT "A", SAID POINT BEING THE POINT OF BEGINNING; THENCE CONTINUING NORTH 00°12'27" WEST ALONG SAID WEST LINE, 69.85 FEET TO THE NORTHWEST CORNER OF SAID LOT "A"; THENCE SOUTH 89°24'49" EAST ALONG THE NORTH LINE OF SAID LOT "A", 136.07 FEET; THENCE NORTHEAST, 135.12 FEET ALONG SAID NORTH LINE AND ALONG A 240.00 FOOT RADIUS CURVE CONCAVE TO THE NORTHWEST AND HAVING A CHORD WHICH BEARS NORTH 74°29'00" EAST, 133.34 FEET; THENCE NORTHEAST, 534.02 FEET ALONG SAID NORTH LINE AND ALONG A 4828.55 FOOT RADIUS CURVE CONCAVE TO THE SOUTHEAST AND HAVING A CHORD WHICH BEARS NORTH 61°33'11" EAST, 533.74 FEET; THENCE NORTHEAST, 447.49 FEET ALONG SAID NORTH LINE AND ALONG A 4828.55 FOOT RADIUS CURVE CONCAVE TO THE SOUTHEAST AND HAVING A CHORD WHICH BEARS NORTH 67°21'00" EAST, 447.33 FEET; THENCE SOUTH 20°01'10" EAST, 69.64 FEET TO THE SOUTH LINE OF SAID LOT "A"; THENCE SOUTHWEST, 933.00 FEET ALONG SAID SOUTH LINE AND ALONG A 4758.55 FOOT RADIUS CURVE CONCAVE TO THE SOUTHEAST AND HAVING A CHORD WHICH BEARS SOUTH 64°22'52" WEST, 931.51 FEET; THENCE SOUTH 64°56'13" WEST ALONG SAID SOUTH LINE, 129.57 FEET; THENCE SOUTHWEST, 78.72 FEET ALONG SAID SOUTH LINE AND ALONG A 310.00 FOOT RADIUS CURVE CONCAVE TO THE NORTHWEST AND HAVING A CHORD WHICH BEARS SOUTH 63°20'40" WEST, 78.51 FEET; THENCE NORTH 89°20'40" WEST ALONG SAID SOUTH LINE, 136.99 FEET TO THE POINT OF BEGINNING.

CONTAINING 87,966 SQUARE FEET OR 2.02 ACRES, MORE OR LESS, SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

FOR THE PURPOSE OF THIS DESCRIPTION, ALL BEARING AND DISTANCES ARE REFERENCED TO NAD83(2011) IA SPC SOUTH ZONE, US SURVEY FOOT.

LEGEND

- ▲ FOUND SECTION CORNER MONUMENT
- FOUND 5/8" REBAR (UNLESS NOTED)
- FOUND 5/8" REBAR W/YELLOW CAP #1582
- FOUND 1/2" REBAR W/YELLOW CAP #11582
- SET 5/8" REBAR W/YELLOW CAP #17758 (UNLESS NOTED)
- (M) MEASURED BEARING OR DIMENSION
- (R) RECORDED BEARING OR DIMENSION
- SECTION LINE
- ▭ PROPERTY LINE
- ▭ PARCEL 22-23 = 87,966 SQ. FT. OR 2.02 ACRES



Date: 2/17/2022

I hereby certify that this land surveying document was prepared and the indicated survey work was performed by me or that I am a duly licensed Land Surveyor under the laws of the State of Iowa.

Eric M. Green, P.L.S.
Iowa License No. 17758

My license renewal date is December 31, 2023

Drawings covered by this seal: Sheets 1 and 2.

SURVEY NOTE
THE INTENT OF THIS SURVEY IS TO ALLOW THE CITY OF DALLAS CENTER TO PURCHASE A PORTION OF THE PRIVATE STREET IN CROSS COUNTRY ESTATES PLAT NO. 1.

STREET LOT ACQUISITION FOR THE CITY OF DALLAS CENTER
PLAT OF SURVEY
PARCEL 22-23
IN CROSS COUNTRY ESTATES PLAT NO. 1
PS-2
SHEET 1 OF 2
PROJECT: 2022

DATE	REVISIONS	SCALE	AS NOTED

3000 Westown Parkway • West Des Moines, Iowa 50266-1370
515-225-8000 • 515-225-7848 FAX • 802-241-8000 (MAY30)

V&K
VEENSTRA & KIMM, INC.

PLAT OF SURVEY

FOR PARCEL 22-23 IN CROSS COUNTRY ESTATES PLAT NO. 1
DALLAS CENTER, IOWA

NW CORNER
CROSS COUNTRY ESTATES PLAT NO. 1
SE 1/4 NE 1/4 SEC 31-80-27
1/2" REBAR

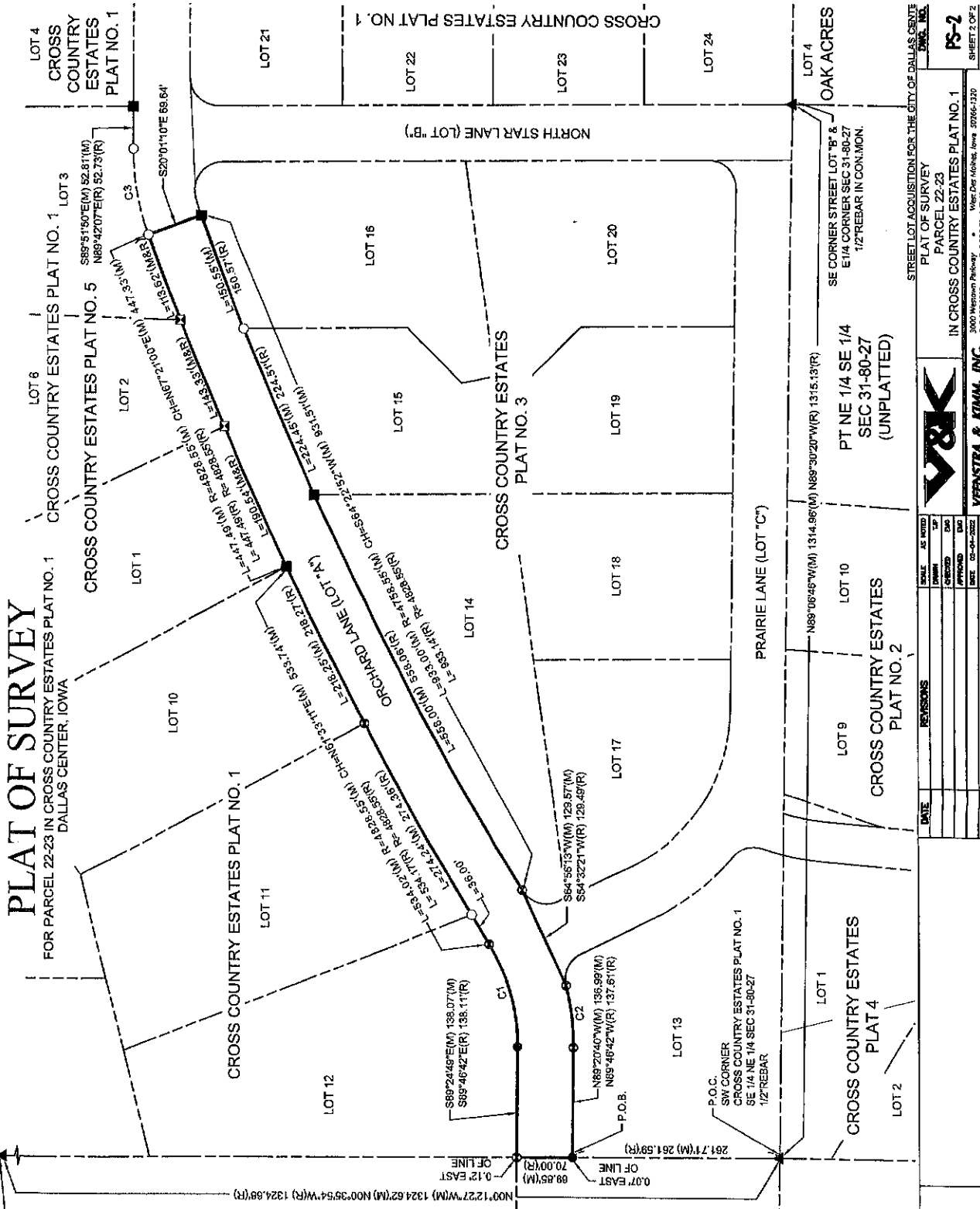
CURVE TABLE - MEASURED			
CURVE	LENGTH	RADIUS	CHD. BRG.
C1	135.12'	240.00'	N74°29'00"E
C2	78.72'	310.00'	S63°20'40"W
C3	108.52'	310.00'	N79°59'15"E

CURVE TABLE - RECORDED			
CURVE	LENGTH	RADIUS	CHD. BRG.
C1	135.10'	240.00'	N74°05'45"E
C2	78.68'	310.00'	S62°57'02"W
C3	108.66'	310.00'	N79°39'35"E

PT. E 1/2 SW 1/4 NE 1/4
SOUTH 330°
E 1/2 SW 1/4 NE 1/4



GRID NORTH
IOWA STATE PLANE
COORDINATE SYSTEM
SOUTH ZONE



STREET LOT ACQUISITION FOR THE CITY OF DALLAS COUNTY
DALLAS, TEXAS

PLAT OF SURVEY
PARCEL 22-23
IN CROSS COUNTRY ESTATES PLAT NO. 1

V&K
VERNESTRA & KIMM, INC.
3100 Westwood Parkway • Dallas, TX 75244-1815
515-225-8000 • 515-225-7648 (FAX) • 800-241-8000 (TOLL FREE)

DATE	REVISIONS	SCALE	AS NOTED

PS-2
SHEET 2 OF 2

Index Legend	
City:	Dallas Center, Iowa
County:	Dallas
Parcel ID:	0731278008 & 0731427011
Description:	Lot "C" in Cross Country Estates Plat No. 1 & Lot "C" in Cross Country Estates Plat No. 2
Proprietor:	Ronald E. Nielsen and Carolyn M. Nielsen
Surveyor:	Eric M. Green
Company:	Veenstra & Kimm, Inc.
Return to:	3000 Westown Parkway West Des Moines, IA 50326 [(515) 225-8000]

PLAT OF SURVEY

FOR PARCEL 22-24 IN CROSS COUNTRY ESTATES PLAT NO. 1
AND CROSS COUNTRY ESTATES PLAT NO. 2
DALLAS CENTER, IOWA

LEGAL DESCRIPTION PARCEL 22-24:

A TRACT OF LAND LOCATED IN PART OF LOT "C" IN CROSS COUNTRY ESTATES PLAT NO. 1 AND ALL OF LOT A IN CROSS COUNTRY ESTATES PLAT NO. 2, BOTH OFFICIAL PLATS, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF DALLAS CENTER, DALLAS COUNTY, IOWA, DESCRIBED AS FOLLOWS:

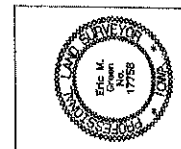
COMMENCING AT THE SOUTHEAST CORNER OF STREET LOT "B" IN SAID CROSS COUNTRY ESTATES PLAT NO. 1; THENCE NORTH 89°06'45" WEST ALONG THE SOUTH LINE OF SAID LOT "B" AND THE SOUTH LINE OF SAID LOT "C", 279.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 89°06'45" WEST ALONG SAID SOUTH LINE, 605.80 FEET TO THE NORTHEAST CORNER OF SAID LOT A; THENCE SOUTHWEST, 51.14 FEET ALONG THE EAST LINE OF SAID LOT A AND ALONG A 260.00 FOOT RADIUS CURVE CONCAVE TO THE EAST AND HAVING A CHORD WHICH BEARS SOUTH 10°58'05" WEST, 51.06 FEET; THENCE SOUTH 05°04'50" WEST ALONG SAID EAST LINE, 211.26 FEET; THENCE SOUTHWEST, 357.67 FEET ALONG SAID EAST LINE AND ALONG A 390.07 FOOT RADIUS CURVE CONCAVE TO THE NORTHWEST AND HAVING A CHORD WHICH BEARS SOUTH 31°23'40" WEST, 345.27 FEET; THENCE SOUTHWEST, 64.32 FEET ALONG SAID EAST LINE AND ALONG A 100.00 FOOT RADIUS CURVE CONCAVE TO THE SOUTHEAST AND HAVING A CHORD WHICH BEARS SOUTH 39°19'20" WEST, 63.21 FEET; THENCE NORTHWEST, 268.99 FEET ALONG SAID EAST LINE AND ALONG A 60.00 FOOT RADIUS CURVE CONCAVE TO THE EAST AND HAVING A CHORD WHICH BEARS NORTH 30°20'49" WEST, 94.00 FEET TO THE WEST LINE OF SAID LOT A; THENCE NORTHEAST, 73.53 FEET ALONG SAID WEST LINE AND ALONG A 100.00 FOOT RADIUS CURVE CONCAVE TO THE NORTH AND HAVING A CHORD WHICH BEARS NORTH 78°48'09" EAST, 72.26 FEET; THENCE NORTH 05°04'50" EAST ALONG SAID WEST LINE, 211.35 FEET; THENCE NORTHEAST, 47.31 FEET ALONG SAID WEST LINE AND ALONG A 310.00 FOOT RADIUS CURVE CONCAVE TO THE EAST AND HAVING A CHORD WHICH BEARS NORTH 09°38'45" EAST, 47.27 FEET TO THE SOUTHWEST CORNER OF SAID LOT "C"; THENCE NORTHEAST, 27.91 FEET ALONG THE WEST LINE OF SAID LOT "C" AND ALONG A 310.00 FOOT RADIUS CURVE CONCAVE TO THE WEST AND HAVING A CHORD WHICH BEARS NORTH 15°56'10" EAST, 27.90 FEET; THENCE NORTHWEST, 42.09 FEET ALONG SAID WEST LINE AND ALONG A 35.00 FOOT RADIUS CURVE CONCAVE TO THE WEST AND HAVING A CHORD WHICH BEARS NORTH 16°20'50" WEST, 39.60 FEET; THENCE NORTHWEST, 127.54 FEET ALONG SAID WEST LINE, 101.34 FEET; THENCE NORTHWEST, 47.64 FEET ALONG SAID WEST LINE AND ALONG A 35.00 FOOT RADIUS CURVE CONCAVE TO THE SOUTHWEST AND HAVING A CHORD WHICH BEARS NORTH 37°45'30" WEST, 126.55 FEET; THENCE NORTH 25°32'44" WEST, 44.04 FEET TO THE SOUTH LINE OF LOT "A" IN SAID CROSS COUNTRY ESTATES PLAT NO. 1; THENCE NORTH 64°56'13" EAST ALONG SAID SOUTH LINE, 129.57 FEET TO THE EAST LINE OF SAID LOT "C"; THENCE SOUTHWEST, 52.20 FEET ALONG SAID EAST LINE AND ALONG A 95.00 FOOT RADIUS CURVE CONCAVE TO THE EAST AND HAVING A CHORD WHICH BEARS SOUTH 16°32'50" WEST, 47.50 FEET; THENCE SOUTH 25°32'44" EAST ALONG SAID EAST LINE, 98.48 FEET; THENCE SOUTHWEST, 249.49 FEET ALONG SAID EAST LINE AND ALONG A 225.00 FOOT RADIUS CURVE CONCAVE TO THE NORTHWEST AND HAVING A CHORD WHICH BEARS SOUTH 57°26'06" EAST, 236.91 FEET TO THE NORTH LINE OF SAID LOT "C"; THENCE SOUTH 88°06'48" EAST ALONG SAID NORTH LINE, 476.49 FEET; THENCE SOUTH 00°49'58" WEST, 70.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 110,151 SQUARE FEET OR 2.53 ACRES, MORE OR LESS, SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

FOR THE PURPOSE OF THIS DESCRIPTION, ALL BEARING AND DISTANCES ARE REFERENCED TO NAD83(2011) IA SPC SOUTH ZONE, US SURVEY FOOT.

LEGEND

- ▲ FOUND SECTION CORNER MONUMENT
- FOUND 5/8" REBAR (UNLESS NOTED)
- FOUND 5/8" REBAR W/YELLOW CAP#6806
- FOUND 5/8" REBAR W/CAP#ILLEGIBLE
- FOUND 1/2" REBAR W/YELLOW CAP#15982
- SET 5/8" REBAR W/YELLOW CAP#17758 (UNLESS NOTED)
- (M) MEASURED BEARING OR DIMENSION
- (R) RECORDED BEARING OR DIMENSION
- SECTION LINE
- PROPERTY LINE
- ▭ PARCEL 22-24 = 110,151 SQ. FT. OR 2.53 ACRES



I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Land Surveyor under the laws of the State of Iowa.

Signature: *Eric M. Green* Date: *12/19/2023*

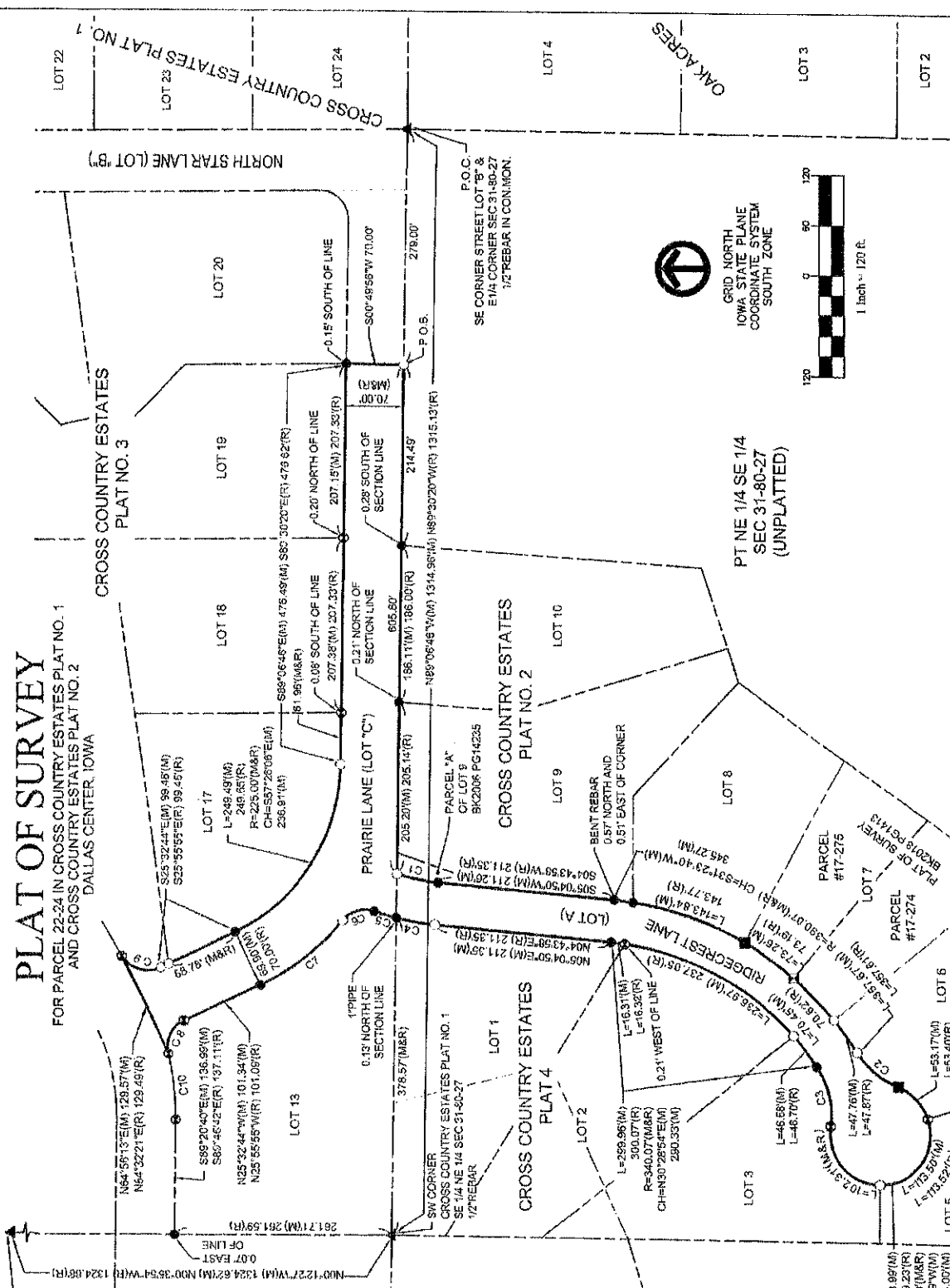
Eric M. Green, P.L.S.
Iowa License No. 17758
My license renewal date is December 31, 2023
Drawings covered by this seal: Sheets 1 and 2

SURVEY NOTE
THE INTENT OF THIS SURVEY IS TO ALLOW THE CITY OF DALLAS CENTER TO PURCHASE A PORTION OF THE PRIVATE STREETS IN CROSS COUNTRY ESTATES PLAT NO. 1 AND IN CROSS COUNTRY ESTATES PLAT NO. 2.

V&K
VEENSTRA & KIMM, INC.
3800 Westown Parkway
West Des Moines, IA 50326
515-225-7676 FAX • 515-225-7676

PLAT OF SURVEY

FOR PARCEL 22-24 IN CROSS COUNTRY ESTATES PLAT NO. 1
AND CROSS COUNTRY ESTATES PLAT NO. 2
DALLAS CENTER, IOWA



NW CORNER
CROSS COUNTRY ESTATES PLAT NO. 1
SE 1/4 NE 1/4 SEC 31-80-27
1/2 REBAR

SOUTH 330°
E 1/2 SW 1/4 NE 1/4

CURVE TABLE - MEASURED

CURVE	LENGTH	RADIUS	CHD. BRG.	CHORD
C1	51.14'	260.00'	S10°58'05"W	51.06'
C2	34.32'	100.00'	S38°19'20"W	63.21'
C3	73.63'	100.00'	N75°56'05"E	72.26'
C4	47.31'	310.00'	N09°38'45"E	47.27'
C5	27.91'	310.00'	N15°56'10"E	27.90'
C6	42.09'	35.00'	N10°20'50"W	39.50'
C7	127.54'	295.00'	N37°45'30"W	126.55'
C8	47.64'	35.00'	N64°44'15"W	44.04'
C9	52.20'	35.00'	S16°32'50"W	47.80'
C10	78.72'	310.00'	N83°20'40"E	78.51'

RIVER HEIGHTS

LOT 5

CURVE	LENGTH	RADIUS	CHD. BRG.	CHORD
C1	51.24'	260.00'		
C2	63.97'			
C3	73.88'	100.00'	N76°20'28"E	72.21'
C4	47.39'	310.00'	N08°59'25"E	47.35'
C5	28.15'	310.00'	N15°38'12"E	28.15'
C6	42.09'	35.00'	N16°14'54"W	39.50'
C7	127.54'	295.00'	N38°19'02"W	126.55'
C8	47.88'	35.00'	N65°07'34"W	44.24'
C9	51.50'	35.00'	S16°13'07"W	45.98'
C10	78.68'	310.00'	N82°57'02"E	78.47'

LOT 5
L=266.99'(M)
295.23'(R)
R=60.00'(M&R)
CH=N60°20'49"W(W)
94.00'(W)

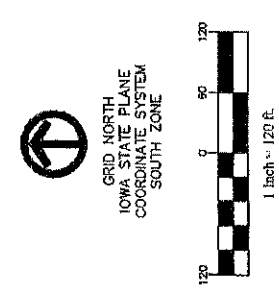
STREET LOT ACQUISITION FOR THE CITY OF DALLAS CENTER

PLAT OF SURVEY OF PARCEL 22-24
IN CROSS COUNTRY ESTATES PLAT NO. 1
AND CROSS COUNTRY ESTATES PLAT NO. 2

VEENSTRA & KIMHA, INC.

DATE: 05-10-2022
SCALE: AS SHOWN
DRAWN BY: JAC
CHECKED BY: JAC
DATE: 05-10-2022
DATE: 05-10-2022
DATE: 05-10-2022

PROJECT NO.: 2022-05-10-001
SHEET NO.: 2 OF 2
DATE: 05-10-2022



PT NE 1/4 SE 1/4
SEC 31-80-27
(UNPLATTED)

P.O.C.
SE CORNER STREET LOT 'B' &
E 1/4 CORNER SEC 31-80-27
1/2 REBAR IN CON. MON.



Grimes Asphalt and Paving Corporation

Post Office Box 3374
 5550 NE 22nd Street
 Des Moines, IA 50316
 Phone: (515) 266-5173
www.grimesasphalt.com

Fax: (515) 266-5255

To:	City Of Dallas Center	Contact:	Brian Slaughter
Address:	1502 Walnut Street, PO Box 396 Dallas Center, IA 50063	Phone:	
Project Name:	Dallas Center Streets 2022	Fax:	
Project Location:	Various Locations, Dallas Center, IA	Bid Number:	
		Bid Date:	

Item #	Item Description	Estimated Quantity	Unit	Total Price
11th St From Hwy 44 To Walnut, Laurel St From 11th To 12th:				
1	Pulverize And New 3" Pavement: Pulverize Existing Road To A Depth Of 12". Recompact With A Sheepsfoot Roller, Blade To Shape And Roll With A Smooth Drum Roller. Install New 3" Depth Hot Mix Asphalt Pavement At 22' Wide. Perform Rough Backfill Behind New Pavement With Excess Material On Site And Install Dirt In Areas Along Grass Line Edges And Install Rock In Approach Areas. Note: Sod, Seeding Or Landscaping Of Any Kind Is Not Included In This Price.	4,175.00	SY	\$98,112.50
13th St From Hwy 44 To Walnut, Laurel St From 13th To 14th:				
2	Pulverize And New 3" Pavement: Pulverize Existing Road To A Depth Of 12". Recompact With A Sheepsfoot Roller, Blade To Shape And Roll With A Smooth Drum Roller. Install New 3" Depth Hot Mix Asphalt Pavement At 22' Wide. Perform Rough Backfill Behind New Pavement With Excess Material On Site And Install Dirt In Areas Along Grass Line Edges And Install Rock In Approach Areas. Note: Sod, Seeding Or Landscaping Of Any Kind Is Not Included In This Price.	3,770.00	SY	\$88,595.00
Linden St From 13th St Back West One Block:				
3	Milling, Pulverize And New 3" Pavement: Mill 3" Of Existing Pavement Off And Haul Off Site, Pulverize Existing Road To A Depth Of 12". Recompact With A Sheepsfoot Roller, Blade To Shape And Roll With A Smooth Drum Roller. Install New 3" Depth Hot Mix Asphalt Pavement Face Of Gutter To Face Of Gutter.	750.00	SY	\$25,687.50

Total Bid Price: \$212,395.00

Notes:

- To the fullest extent provided by law, Owner shall indemnify, defend and hold harmless Grimes Asphalt and Paving Corporation, it's officers, directors, employees, and agents from and against all claims, damages, losses, and expenses, including but not limited to attorneys fees and court costs resulting from or arising out of Owner or Owner Representative failure to provide accurate information of the existence and location of any non-public utilities or hazardous materials at the project site.
- If additional contract documents are required this proposal shall be incorporated into the final contract.

Payment Terms:

This proposal may be withdrawn by us if not accepted within 30 days.

It is understood that progress payments shall be made as work progresses, final payment due upon completion. A service charge of 1-1/2% will be added if not paid within 30 days from date of invoice.

This proposal voids all previous proposals.

It is understood that Grimes Asphalt may require credit assurances from the customer and/or owner, including but not limited to bank letters of guarantee and/or payments deposited into escrow accounts before work commences or at anytime during the performance of work.



VEENSTRA & KIMM INC.

3000 Westown Parkway
West Des Moines, Iowa 50266

515.225.8000 // 800.241.8000
www.v-k.net

June 2, 2022

Cindy Riesselman
City Clerk
City of Dallas Center
1502 Walnut Street
P.O. Box 396
Dallas Center, Iowa 50063

DALLAS CENTER, IOWA
NORTHEAST SEWER PLANNING STUDY
LIFT STATION ALTERNATIVES

The developers of Skye View Estates recently requested the City of Dallas Center to identify a timeline for construction of the lift station that would serve portions of the Skye View Estates Development. The developers of Skye View Estates indicate most of that development will not move forward until a lift station is available.

Stubbs Engineering preliminary grading plan indicates the amount of fill material to sewer most of Skye View Estates to the existing sanitary sewer located at Fairview Drive and Highway 44 renders the project no longer cost effective. Stubbs Engineering has determined it would be less costly to sewer most of the Skye View Estates area northeasterly to a lift station. This includes part of the area located east of the Dollar General store and southwesterly of the natural ridge line.

The Dallas Center City Council previously indicated an interest in evaluating alternatives for the lift station near S Avenue and Highway 44. The writer believes it is also appropriate to evaluate the lift station location in Skye View Estates. This alternative has a much smaller service area but is less costly. The evaluation of alternatives does not include any alternatives locating the lift station farther to the southeast than the south side of Highway 44.

For purposes of the analysis a total of three alternatives were identified. Enclosed is a figure showing the Alternative 1, Alternative 2 and Alternative 3 locations for a lift station. Alternative 1 would locate the lift station along S Avenue approximately 2,000 feet north of Highway 44. The lift station would be located along the natural draw. The Alternative 1 location for a lift station would serve the area west of S Avenue from north of Highway 44 to approximately one quarter mile west of R Avenue and north between one half and one mile. A small area on the east side of S Avenue can be served to the lift station at the Alternative 1 location.

Alternative 2 locates the lift station on the south side of Highway 44. Under Alternative 2 all of the service area for Alternative 1 can be served. In addition, there is another one quarter to one half mile area north of Highway 44 and east of S Avenue that can be served. Alternative 2 also provides the potential to serve a significant area on the south side of Highway 44 extending as far westerly as the one quarter mile east of Fairview Drive and extending as far south as 250th Street.

Alternative 3 locates the lift station near the east boundary of Skye View Estates. This lift station location would server Skye View Estates and the area to the west of Skye View Estates. Depending on the invert elevation of the lift station the Alternative 3 location could provide service to some areas located to the east of Skye View Estates. Preliminary planning would indicate the service area for Alternative 3 would be slightly more than half the service area for Alternative 1.

For each of the three alternatives the proposed lift station would be a two pump submersible design. For planning purposes, it is assumed the lift station will have outdoor mounted controls and a standby generator. Based on a recent project the cost for this type of project constructed about 18 months ago was approximately \$400,000. With recent cost increases the lift station cost is now estimated to be in the range of \$550,000.

The writer would note the proposed lift station would be a basic design. There are options that would increase the cost of the project. Options to consider would be sizing the lift station for a third pump and locating the control equipment in a small building. The third pump and control building options would each increase the cost of the project. A decision on these details concerning the lift station design can be addressed if and when the project moves forward.

In addition to the lift station costs each of the alternatives has the cost for a force main. The force main would need to extend south and west to connect to the existing sewer near the Dollar General. The length of the force main is based on the location of the lift station. Alternative 3 has the shortest length of force main. Alternative 2 has the longest length of force main.

For both Alternative 1 and Alternative 2 it is assumed there will be a sanitary sewer that would extend from the lift station to the east boundary of Skye View Estates. It is assumed the sewer within Skye View Estates would be constructed as part of the development project and would not require any construction by the City. Alternative 3 does not include any sanitary sewer cost as the lift station is located in the Skye View Estates development and all of the sewer would be constructed as part of the development.

Under Alternative 1 the sewer would extend westerly slightly less than one half mile from the lift station to Skye View Estates. Under Alternative 2 the sanitary sewer would extend northwesterly from Highway 44 to S Avenue and then continue west to Skye View Estates.

Cindy Riesselman

June 2, 2022

Page 3

The estimated cost for Alternative 1 including the sanitary sewer, lift station and force main is:

<u>Description</u>	<u>Unit</u>	<u>Estimated Quantity</u>	<u>Unit Price</u>	<u>Extended Price</u>
Lift Station	LS	1	\$550,000	\$550,000
8" Force Main in Open Cut	LF	6,400	\$40	\$256,000
8" Force Main Bored in Place	LF	200	\$200	\$40,000
10" Sanitary Sewer	LF	1,500	\$75	\$112,500
Manholes	EA	6	\$7,500	\$45,000
Erosion Control	LS	1	\$15,000	\$15,000
Seeding	ACRE	10	\$2,500	\$25,000
Traffic Control	LS	1	\$15,000	\$15,000
			Estimated Construction Cost	\$1,058,500
			Contingency @ 15%	\$159,000
			Engineering, Legal and Administrative @ 18%	\$190,500
			Estimated Project Cost	\$1,408,000

The estimated cost for Alternative 2 including the sanitary sewer, lift station and force main is:

<u>Description</u>	<u>Unit</u>	<u>Estimated Quantity</u>	<u>Unit Price</u>	<u>Extended Price</u>
Lift Station	LS	1	\$550,000	\$550,000
8" Force Main in Open Cut	LF	7,000	\$40	\$280,000
8" Force Main Bored in Place	LF	300	\$200	\$60,000
10" Sanitary Sewer	LF	4,100	\$75	\$307,500
10" Sanitary Sewer Tunneled	LF	100	\$300	\$30,000
Manholes	EA	14	\$7,500	\$105,000
Erosion Control	LS	1	\$15,000	\$15,000
Seeding	ACRE	15	\$2,500	\$37,500
Traffic Control	LS	1	\$15,000	\$15,000
			Estimated Construction Cost	\$1,400,000
			Contingency @ 15%	\$210,000
			Engineering, Legal and Administrative @ 18%	\$252,000
			Estimated Project Cost	\$1,862,000

The estimated cost for Alternative 3 including the lift station and force main is:

<u>Description</u>	<u>Unit</u>	<u>Estimated Quantity</u>	<u>Unit Price</u>	<u>Extended Price</u>
Lift Station	LS	1	\$550,000	\$550,000
8" Force Main in Open Cut	LF	4,300	\$40	\$172,000
8" Force Main Bored in Place	LF	100	\$200	\$20,000
Erosion Control	LS	1	\$10,000	\$10,000
Seeding	ACRE	5	\$2,500	\$12,500
Traffic Control	LS	1	\$10,000	\$10,000
Estimated Construction Cost				\$774,500
Contingency @ 15%				\$116,000
Engineering, Legal and Administrative @ 18%				\$139,500
Estimated Project Cost				\$1,030,000

A summary of the cost of the three alternatives is:

Alternative 1	\$1,408,000
Alternative 2	\$1,862,000
Alternative 3	\$1,030,000

From a cost perspective Alternative 3 is the least costly and the Alternative 1 and Alternative 2 is the most costly. However, from a cost per service area basis the order of the alternatives is reversed. The following tabulation shows the cost, approximate service area and cost per acre:

<u>Alternative</u>	<u>Project Cost</u>	<u>Service Area</u>	<u>Cost per Acre</u>
1	\$1,408,000	660	\$2,133
2	\$1,862,000	1630	\$1,142
3	\$1,030,000	320	\$3,219

It is entirely at the discretion of the City to determine which alternative is preferable to implement. There is no clear alternative as the actual cost and the cost per service area acre are inverse to each other for this project.

The City previously discussed the possibility of financing the lift station through the use of a residential TIF. Under the residential TIF concept the City could enter into a development agreement in which the developer would construct the lift station and the City would reimburse the developer from the incremental taxes collected within Skye View Estates. Alternatively, the City could construct and finance the project and pay the debt service from the incremental revenue collected in the residential TIF.

Cindy Riesselman

June 2, 2022

Page 5

Regardless of the alternative, all of the improvements would need to be located in the urban renewal area. Currently the lift station and sanitary sewer and force main under Alternative 1 and Alternative 2 are located partially or completely outside of the City of Dallas Center. With the consent of the Board of Supervisors, the City can establish an urban renewal area outside of the city limits. If the City pursues Alternative 1 or Alternative 2 the City would need to establish an extraterritorial urban renewal area unless the City annexes the area of the facilities prior to constructing the project.

It is more common for reimbursement residential TIF projects to be located inside the development rather than outside of the development. When there are significant improvements located outside of the development it is less common for those improvements to be constructed by the developer and more common for the improvements to be constructed by the City. Property acquisition often plays into account as the City would have the power to acquire property interest by eminent domain while the developer does not have that ability.

The writer would note in some instance there are projects where the City has constructed the project outside of the development with funds provided by the developer. The City then reimburses the developer for internal costs within the development resulting in the same level of reimbursement to the developer. Although this approach is not common it has been used in circumstances similar to providing sanitary sewer services under Alternative 1 or Alternative 2.

The developer funded project places the risk with the developer. Conversely, the City funded project places much more of the risk with the City.

A residential TIF can recover taxes for a period of ten years. With the consent of the Board of Supervisors and the school district the reimbursement can extend to fifteen years. For purposes of the analysis, it is assumed there would only be a ten year recovery. In the residential TIF the City must take into account the approximately 25% of LMI set aside.

If it is assumed each house would have an assessed value in the range of \$250,000 the taxable value would be about \$125,000. If the recoverable tax levy under the TIF is between \$25/\$1,000 and \$28/\$1,000 The City would be able to collect between \$2,500 and \$2,700 per year per residence.

Typically, projects funded by residential TIF will be funded over a ten year period. If the City were to fund the project the normal practice would be to finance the project with a ten year bond issue. The bond issue would count against the City's 5% constitutional debt limit, as any debt that is paid from TIF revenue is considered to count against the constitutional debt limit even if the actual financing mechanism were to be revenue debt.

If the City were to fund the lift station project using TIF, it would need to take into account how that debt would impact the City's ability to fund other projects. Given the City's upcoming capital improvement requirements and the level of outstanding debt it would be advantageous for the City not to fund the project.

For purposes of illustration the writer assumed the City would construct Alternative 1 with a cost of \$1,408,000 and that improvement would be financed over ten years at an effective interest rate of 4%. The debt service, whether the City or developer, would be approximately \$174,000 per year. This annual debt service would be the equivalent of about 70 single family residences each with a total assessed valuation of \$250,000.

Even though it may only take 70 residences to cover the debt service, one of the challenges for any residential TIF is the build out schedule. The frozen base for the TIF is the valuation on January 1 of the year prior to the year the City first requests reimbursement. There is a balancing act as to when to request reimbursement. If the City starts the reimbursement period too early the number of residences in the first year or two will likely be too small to cover the cost of debt service. If the City waits until there are more houses constructed it is likely some of those houses will have already been on the tax role prior to January 1 of the year prior to the reimbursement request and those valuation increases would no longer be part of the TIF as the frozen base would be the based value of the house and not the value of the undeveloped property.

The City needs to take into consideration the natural delay between the time the project would be constructed and the time when tax revenue would be collected. This is the result in the delay between the establishment of the assessed value and collection of taxes. The longer the City waits to request reimbursement the longer the financing party needs to carry the debt service until there is a reimbursement. There is a natural tendency to want to request reimbursement as soon as possible to minimize this period. In some circumstances it may be preferable to wait to request reimbursement. However, in most instances the deferral of requesting reimbursement would be a year or possibly two years. Any longer deferral generally is not cost effective as too much of the frozen base is lost and the cost to carry the debt until the recovery of TIF revenue becomes too burdensome to extend the waiting period.

In summary, to respond to the request by Skye View Estates the City will need to make several decisions and there will need to be discussions with Skye View Estates. One of the first decisions is what alternative, if any, will be implemented. A second decision would be when the improvements would be constructed.

The third decision is how would the project be financed. This financing option is inevitably an interrelated with both the selection of the alternative and the timeline for implementation as the project cannot be implemented until the financing plan has been developed and put in place.

Cindy Riesselman
June 2, 2022
Page 7

If you have any questions or comments concerning the project, please contact the writer at 515-225-8000, or bveenstra@v-k.net.

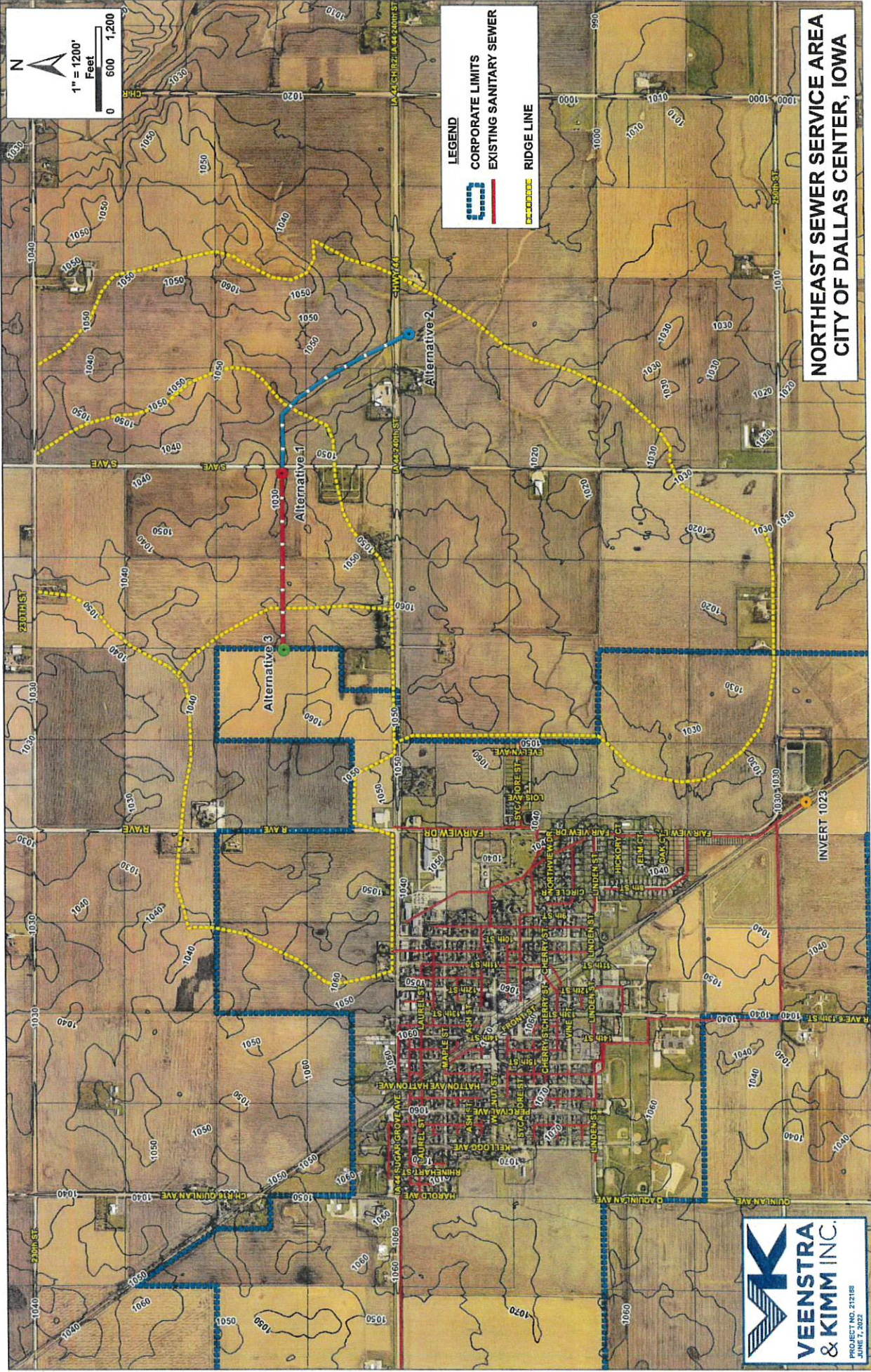
VEENSTRA & KIMM, INC.

A handwritten signature in blue ink, appearing to read "H. R. Veenstra Jr.", written in a cursive style.

H. R. Veenstra Jr.

HRVJr:rdp
212188
Enclosure

Cc: Ralph Brown, Brown, Fagen & Rouse



Map showing sewer service area alternatives for the Northeast Sewer Service Area of Dallas Center, Iowa. The map includes contour lines, street names, and three proposed sewer line alternatives (Alternative 1, 2, and 3) highlighted in red, blue, and yellow. A legend, scale bar, north arrow, and project information are included.

RESOLUTION NO. 2021-12

A RESOLUTION APPROVING A FIVE-YEAR CAPITAL IMPROVEMENTS PROGRAM BEGINNING JULY 1, 2021, FOR THE CITY OF DALLAS CENTER.

WHEREAS, for planning purposes, the City Council has determined that it is appropriate to establish a five-year Capital Improvements Program and to identify additional potential projects beyond that time frame; and

WHEREAS, over the course of several Council workshops and meetings, the Council has prioritized the various capital improvements that are set forth in this Resolution.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Dallas Center, Iowa, that the City Council of the City of Dallas Center, Iowa, hereby designates the following priority projects for a Capital Improvements Program for the five-year period beginning July 1, 2018, with an estimate of costs during each fiscal year:

Fiscal Year 2021-2022:

1. Street Repairs and Improvements-Annual Program. Required.
Funding Source - Road Use Tax and General Fund. \$200,000.
2. Water Plant Treatment Unit Improvements- Filters. Required.
Funding Source - Water Revenue Bonds, Reserves. \$250,000.
3. Highway 44 Distribution Main Replacement-Phase 1- Required.
Funding Source - Water Revenue Bonds, Reserves. \$250,000.
4. Comprehensive Plan Update - Discretionary.
Funding Source - General Fund. \$15,000.
5. Sewer Rehabilitation-Lining - Discretionary.
Funding Source - Sewer Reserves, LOSST, Sewer Revenue Bonds. \$27,000.
6. Walnut Street Improvements - Discretionary.
Funding Source - General Reserves, LOSST, Burnett Capital. \$25,000.

Fiscal Year 2022-2023.

1. Street Repairs and Improvements-Annual Program. Required.
Funding Source - Road Use Tax and General Fund. \$150,000.
2. Sewer Rehabilitation-Lining. Discretionary
Funding Source - Sewer Reserves, LOSST, Sewer Revenue
Bonds. \$38,000.
3. Sidewalk Improvements - Annual Program. Discretionary.
Funding Source - General Reserves, TIF, LOSST, General
Obligation Bonds. \$50,000.
4. Walnut Street Improvements. Discretionary.
Funding Sources - General Reserves, LOSST, Burnett Capital.
\$500,000. Project will be updated after receipt of ISG
Report.
5. Swimming Pool. Discretionary.
Funding Sources - Private, Designated City Funds, LOSST,
TIF, General Obligation Bonds. \$3,200,000. Exact schedule
will depend on funds availability and timing.

Fiscal Year 2023-2022.

1. Street Repairs and Improvements-Annual Program. Required.
Funding Source - Road Use Tax and General Fund. \$150,000.
2. Sewer Rehabilitation-Lining. Discretionary
Funding Source - Sewer Reserves, LOSST, Sewer Revenue
Bonds. \$45,000.
3. Sidewalk Improvements - Annual Program. Discretionary.
Funding Source - General Reserves, TIF, LOSST, General
Obligation Bonds. \$50,000.
4. Water Distribution System Improvements - Discretionary.
Funding Source - Water Revenue Bonds, Reserves. \$50,000.

Fiscal Year 2024-2025.

1. Street Repairs and Improvements-Annual Program. Required.
Funding Source - Road Use Tax and General Fund. \$150,000.

2. Sidewalk Improvements - Annual Program. Discretionary.
Funding Source - General Reserves, TIF, LOSST, General
Obligation Bonds. \$50,000.
3. Water Distribution System Improvements - Discretionary.
Funding Source - Water Revenue Bonds, Reserves. \$50,000.
4. HMA Paving of South End of Fair View Drive-Phase 1 -
Discretionary.
Funding Source - Road Use Tax, General Reserves, General
Obligation Bonds. \$175,000.

Fiscal Year 2025-2026.

1. Street Repairs and Improvements-Annual Program. Required.
Funding Source - Road Use Tax and General Fund. \$150,000.
2. Sidewalk Improvements - Annual Program. Discretionary.
Funding Source - General Reserves, TIF, LOSST, General
Obligation Bonds. \$50,000.
3. Water Distribution System Improvements - Discretionary.
Funding Source - Water Revenue Bonds, Reserves. \$50,000.
4. Southwest Stormwater Drainage Improvements, Phase 2 -
Discretionary.
Funding Source - General Obligation Bonds and Other Funding
Sources. \$500,000.

IT IS FURTHER RESOLVED by the City Council of the City of Dallas Center, Iowa, that the City Council of the City of Dallas Center, Iowa, hereby designates the following additional projects for a Capital Improvements Program for in or after Fiscal Year 2026-2027:

1. Highway 44 Distribution Main Replacement, Phase 2.
Discretionary.
Funding Source - Water Revenue Bonds, Reserves. \$800,000.
2. Public Works and Public Safety Building. Discretionary.
Funding Source - General Reserves, General Obligation
Bonds, LOSST. \$2,900,000.
3. Water Plant Treatment Unit Improvements - Process Upgrade.
Discretionary.
Funding Source - Water Revenue Bonds, Reserves. \$2,000,000.

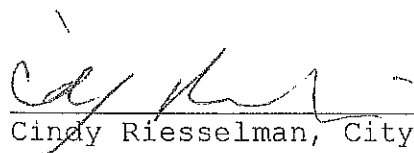
4. Continuation of Street Repairs and Improvements - Annual Program.
5. Continuation of Sidewalk Improvements - Annual Program.

PASSED, APPROVED and ADOPTED by the City Council of the City of Dallas Center, Iowa, on this 9th day of March, 2021.



Michael A. Kidd, Mayor

ATTEST:



Cindy Riesselman, City Clerk

May 10, 2022

ATTN: Mayor Beyer & Dallas Center City Council

RE: 14th Amendment to the US Constitution/Equal Protection Under the Law---1st Claim to "partial disposition" to City property of alleys adjacent to my property for the sum of \$1 including City Attorney fees.

Dear Mayor Beyer & City Council,

I strongly oppose the approving of Resolution 2022-29, an agreement with James & Lynne Pohl to purchase "partial disposition" of a public access and public right-of-way known as an alley for \$1 and in so doing circumventing the Board of Adjustment, ignoring city ordinances, and providing "city legal services" to grant an *exception* <emphasis added> to city law to favor a member of the City Planning & Zoning Commission. It is an extremely unfair resolution and I have to wonder if this is a "quid pro quo" arrangement or just hedging crony favors for the future.

WHEREAS: The City Council of Dallas Center has decided in opposition to established City Ordinances to open-up an "alley land grab" in Dallas Center, to enclose or restrict public access to city public right-of-ways known as "alleys", by making special exceptions to the zoning laws and/or city ordinances of Dallas Center, to favor one citizen over another under the City laws, especially a citizen who sits on the City Planning & Zoning Commission.

WHEREAS: The City Council of Dallas Center has circumvented the legally instituted Board of Adjustment for making such decisions to favor a City Planning & Zoning Commissioner on an issue related to residential zoning and the enforcing of City Ordinances in Dallas Center; usurping the Board of Adjustment's authority; authority given the Board by the State of Iowa and NOT given to the Board by the City Council! (Authority given to protect citizens from Council's special interest in favors & cronyism!)

WHEREAS: The City Council of Dallas Center has apparently provided extensive "legal services" in preparing this resolution exception to the City laws, by the City Attorney for \$1 to favor a Planning & Zoning Commissioner. (The Resolution & Agreement written by the City Attorney is 6 pages in length and has never been presented or discussed prior to the Public Hearing on the issue with the public.)

WHEREAS: The City Council of Dallas Center has approved denying public access to public right-of-ways known as alleys by certain citizens who enclose them with fencing.

WHEREAS: The City Council of Dallas Center has circumvented the legally instituted Board of Adjustment for making such decisions that favor a City Planning & Zoning Commissioner related to residential zoning and fencing in Dallas Center.

WHEREAS: The City Council of Dallas Center has fabricated a definition for "partial disposition" as being the same a "disposition" (i.e. sale) of City Property as specified in the City Ordinances. (It is not!)

WHEREAS: The 14th Amendment to the US Constitution states in section 1, equal protection under the law for citizens.

"...No State shall make or *enforce* <emphasis added> any law which shall abridge the privileges or immunities of citizens of the United States;...nor deny to any person within its jurisdiction the equal protection of the laws."

WHEREAS: Approving this "partial disposition" of an alley to enclose or restrict public access for the sum of \$1 (City Attorney Fees included!) is UNFAIR to all other citizens in Dallas Center whose property is adjacent to a City alley.

NOW, THEREFORE: I, Julie Becker of 1605 Walnut St. lay 1st claim to the alley adjacent to & north of my property AND to the alley adjacent to & east of my property. I seek equal protection under the law, from the City Council of Dallas Center to the same "deal" (City Attorney fees included) provided to James & Lynne Pohl in regards to fencing and restricting public access to these alleys by "partial disposition" of said alleys for the sum of \$1; an agreement that runs with the land, and is binding on all parties, their heirs, successors, and assigns.

I respectfully make this request for the same "deal" as the Pohls to protect my property rights in the future from those who would have crony favor with the City and would gain preferential treatment over me, because I choose to fight bad laws, resolutions, and policies in Dallas Center with the City of Dallas Center and its City Council. The law should be "blind" to those who utilize it...sadly, Dallas Center law is currently being applied by favoring certain citizens in Dallas Center through unfair "special exceptions" and "resolutions" by Council, while disregarding the Rights of ALL others under City Law, State Law and the Constitution of the United States.

Sincerely,

Julie Becker 5-10-22

Julie Becker

1605 Walnut St.

Dallas Center, IA 50063

Attached: \$2 Dollars to cover the "partial disposition"/partial sale of 2 alleys adjacent to my property at 1605 Walnut St under the same "deal" under the law as provided to the Pohls.

ORDINANCE NO. 570

AN ORDINANCE AMENDING SECTIONS 55.01(17) AND 55.09 OF THE CODE OF ORDINANCES OF THE CITY OF DALLAS CENTER, IOWA, AS AMENDED, BY CHANGING REFERENCES TO "VICIOUS DOGS" TO "HIGH RISK DOGS"; BY LIMITING THE NUMBER OF HIGH RISK DOGS ALLOWED FOR EACH RESIDENTIAL DWELLING; AND AMENDING SECTIONS 56.03, 56.04, AND 56.05 RELATING TO REGISTRATION OF HIGH RISK DOGS

BE IT ENACTED by the City Council of the City of Dallas Center, Iowa, that:

SECTION 1. Section 55.01(17) of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, is hereby amended to read as follows:

17. "High Risk dog" means:

A. Any dog which has attacked a human being or domestic animal one or more times, without provocation;

B. Any dog with a history, tendency or disposition to attack, to cause injury to or to otherwise endanger the safety of human beings or domestic animals;

C. Any dog that snaps, bites or manifests a disposition to snap or bite;

D. Any dog that has been trained for dog fighting, animal fighting or animal baiting or is owned or kept for such purposes;

E. Any dog trained to attack human beings, upon command or spontaneously in response to human activities except dogs owned by and under the control of the Police Department, a law enforcement agency of the State or United States or a branch of the armed forces of the United States;

F. Any Staffordshire Terrier breed of dog;

G. Any American Pit Bull Terrier breed of dog;

H. Any American Staffordshire Terrier breed of dog;
or

I. Any dog which has the appearance and characteristics of being predominately of the breeds

of Staffordshire Terrier, American Pit Bull Terrier or American Staffordshire Terrier.

SECTION 2. Section 55.09 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, is hereby amended to read as follows:

55.09 HIGH RISK DOGS.

1. Confinement. All high risk dogs shall be securely confined within an occupied house or residence or in a securely enclosed and locked pen or kennel, except when leashed on property owned or leased by the dog's owner. Such pen, kennel, or structure must have secure sides and a secure top attached to the sides or in lieu of a top, walls at least six feet in height and at least six inches taller than any internal structure. All pens or other structures designed, constructed or used to confine high risk dogs must be locked with a key or combination lock when such animals are within the structure. Such structure must have a secure bottom, floor or foundation attached to the sides of the pen or the sides of the pen must be embedded in the ground no less than two (2) feet so as to prevent digging under the walls by the confined dog. All structures erected to house high risk dogs must comply with all zoning and building regulations of the City. All such structures must be adequately lighted and ventilated and kept in a clean and sanitary condition. No high risk dog may be kept on a porch, deck, patio or in any porch, deck, or patio of a house or structure that would allow the dog to exit such building on its own volition.

2. Leashing. No person shall permit a high risk dog to go outside its kennel or pen unless such dog is securely leashed with a leash no longer than six (6) feet in length, and further provided that when leashed such dog must be on property owned or leased by its owner. No person shall permit a high risk dog to be kept on a chain, rope, or other type of leash outside its kennel or pen unless both dog and leash are under the actual physical control of a person eighteen years of age or older. Such dogs may not be leashed to inanimate objects such as trees, posts, buildings, or any other object or structure.

3. At Large. A high risk dog which is found, more than twice in any calendar year, not to be confined as herein required, shall be required to be permanently removed from the City or destroyed. An animal which is returned to the City after removal shall be humanely destroyed.

4. Limit on Number. No residential dwelling shall have more than one high risk dog on its premises.

SECTION 3. Sections 56.03, 56.04, and 56.05 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, are hereby amended to read as follows:

58.03 APPLICATION REQUIREMENTS. The owner of a dog or cat for which registration is required shall provide proof of current vaccination against rabies, and shall complete an application for registration, which shall be in writing on blanks provided by the City Clerk, and shall state the breed, sex, age, color, and name of the dog or cat; and the address, telephone number(s), and signature of the owner. The application shall also state the date of the most recent rabies vaccination and the date for revaccination. The owner shall state whether a dog being registered is a "high risk dog" as defined in Section 55.01 of this Code of Ordinances.

58.04 REGISTRATION OF A HIGH RISK DOG. An application to register a high risk dog, as defined in Section 55.01 of this Code of Ordinances, must include, in addition to the information required in Section 58.03, presentation by the applicant of a certificate of insurance issued by an insurance company licensed to do business in this State, providing personal liability insurance coverage as in a homeowner's policy, with a minimum liability coverage amount of \$100,000 for the injury or death of any person, for damage to property of others and for acts of negligence by the owner, or his or her agents, in the keeping or owning of such high risk dog. The certificate will require notice to the City, in conformity with general City standards for certificates of insurance, if the underlying policy of insurance is cancelled for any reason. In lieu of such a certificate, a copy of a current homeowner's policy designating these requirements shall be sufficient proof of insurance for purposes of this section. If a certificate of insurance or policy is not immediately available, a binder indicating the coverage may be accepted for up to 30 days subsequent to the determination that a dog is high risk; however, if after 30 days a certificate of insurance or a policy has not been submitted or if the required insurance is cancelled during the registration year, the dog shall be deemed unregistered and subject to the provisions of Section 58.05. The limitation of high risk dogs provided in Section 55.09 of this Code of

Ordinances shall be observed in the registration of high risk dogs.

58.05 UNREGISTERED HIGH RISK DOGS. All unregistered high risk dogs shall be deemed illegal animals. The person harboring or keeping an unregistered high risk dog may have the animal removed from the City. If, however, the animal is again found unregistered in the City or if the person holding or keeping the animal chooses not to remove it from the City, the dog shall be destroyed.

SECTION 4. Repealer. All ordinances or parts of ordinances in conflict with the provisions of this Ordinance are hereby repealed.

SECTION 5. Severability Clause. If any section, provision or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 6. When Effective. This Ordinance shall be in full force and effect from and after its passage and publication as provided by law.

Passed by the City Council on the 14th day of June, 2022, and approved the 14th day of June, 2022.

Daniel Beyer, Mayor

ATTEST:

Michele Schaben, City Clerk

RESOLUTION NO. 2022-36

RESOLUTION APPROVING AN AGREEMENT WITH DALLAS CENTER CELEBRATIONS, INC, AN IOWA NONPROFIT CORPORATION, FOR THE PROVISION OF SERVICES TO THE PEOPLE OF DALLAS CENTER AND AUTHORIZING THE PAYMENT OF \$8,000 TO THE CORPORATION FROM THE CITY OF DALLAS CENTER

WHEREAS, Dallas Center Celebrations, Inc. ("DC Celebrations") filed as an Iowa nonprofit corporation with the Iowa Secretary of State on October 27, 2004, and it is recognized by the Internal Revenue Service as an exempt Section 501(c)(3) organization; and

WHEREAS, the volunteers of DC Celebrations provide valuable services to the people of Dallas Center, and the Council has determined that the City of Dallas Center should contribute \$8,000 to DC Celebrations to assist the organization in providing such services; and

WHEREAS, the public purpose of organizing and making happen the annual Dallas Center Fall Festival celebration and coordinating the volunteer efforts of many local residents greatly benefits the Dallas Center Community as a whole and will, in part, be achieved by making this appropriation of City funds; and

WHEREAS, the City should enter into an Agreement with DC Celebrations in connection with such services, a copy of which is attached to this Resolution.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DALLAS CENTER, STATE OF IOWA that the City of Dallas Center will contribute the sum of \$8,000 to DC Celebrations; that the Agreement attached to this Resolution is approved; the Mayor and the Clerk are authorized to sign the Agreement; and the Clerk is authorized to issue payment of \$8,000 to Dallas Center Celebrations, Inc.

PASSED AND APPROVED this 14th day of June, 2022.

Daniel Beyer, Mayor

ATTEST:

Michele Schaben, City Clerk

1. The CITY will contribute \$8,000 to DC Celebrations during the month of June, 2022, to assist DC Celebrations with the payment of the costs of the carnival and the fireworks display, which are important components of the Fall Festival celebration and which benefit a great number of residents of Dallas Center.

2. Prior to November 30, 2022, DC Celebrations will provide to the Dallas Center City Clerk receipts showing its payments for the carnival and the fireworks display of \$8,000 or more

3. Prior to March 1, 2023, DC Celebrations will provide a report to the Dallas Center City Clerk describing its Fall Festival activities during the preceding calendar year and reporting the approximate number of persons participating.

IN WITNESS WHEREOF, the undersigned have signed this Agreement effective as of the 14th day of June, 2022.

CITY OF DALLAS CENTER, IOWA

DC CELEBRATIONS, INC.

By _____
Daniel Beyer, Mayor

By _____
Lezlie Ellerman, President

By _____
Michele Schaben, City Clerk

STATE OF IOWA :
: ss.
COUNTY OF DALLAS :

On this 14th day of June, 2022, before me, the undersigned, a Notary Public in and for the State of Iowa, personally appeared Daniel Beyer and Michele Schaben, to me personally known, and who, being by me duly sworn, did say that they are the Mayor and City Clerk, respectively, of the City of Dallas Center, Iowa; that the seal affixed to the foregoing instrument is the corporate seal of the corporation, and that the instrument was signed and sealed on behalf of the corporation by

authority of its City Council, as contained in Resolution 2022-36 adopted on the 14th day of June, 2022, and that Daniel Beyer and Michele Schaben acknowledged the execution of the foregoing instrument to be their voluntary act and deed and the voluntary act and deed of the corporation, by it voluntarily executed.

Ralph R. Brown, Notary Public
in and for the State of Iowa

STATE OF IOWA :
 : ss.
COUNTY OF DALLAS :

Subscribed and sworn to before me, the undersigned, a Notary Public in and for the State of Iowa, on the ____ day of June, 2022, by Lezlie Ellerman, who being by me duly sworn, did say that she is the President of DC Celebrations, Inc., an Iowa corporation, and that she acknowledged the execution of the foregoing instrument to be her voluntary act and deed and the voluntary act and deed of the corporation, by it voluntarily executed.

_____, Notary Public
in and for the State of Iowa

RESOLUTION NO. 2022-37

**A RESOLUTION REQUESTING ASSOCIATE MEMBERSHIP
TO REGION XII COUNCIL OF GOVERNMENTS
BY THE CITY OF DALLAS CENTER**

WHEREAS, Region XII Council of Governments, Inc. based in Carroll, Iowa, is an established council of governments (COG) recognized by the State of Iowa in Iowa Code Section 28H.1(11); and,

WHEREAS, the City of Dallas Center, located in Dallas County, is not currently affiliated with any COG and pursuant to a provision in Iowa Code Section 28H.1 may associate with any existing COG; and

WHEREAS, Region XII Council of Governments has accepted Associate Memberships from cities in Dallas County and currently has several of Dallas County Cities as Associate Members, including Perry, Adel, Redfield, DeSoto, and Woodward; and

WHEREAS, the City of Dallas Center would benefit by being an Associate Member of Region XII Council of Governments, including the provision of no-cost grant writing services; and

WHEREAS, the annual membership fee for a city the size of Dallas Center (population under 2,000) is \$1,500.

NOW, THEREFORE, BE IT RESOLVED by the Council of the City of Dallas Center, Iowa, that the City of Dallas Center requests that the Region XII Council of Governments admit it as an Associate Member for Fiscal Year 2023 beginning July 1, 2022.

PASSED AND ADOPTED this 14th day of June, 2022.

Daniel Beyer, Mayor

ATTEST:

Michele Schaben, City Clerk

**CORRECTED AND REVISED
RESOLUTION NO. 2022-4**

**A RESOLUTION ALLOCATING 75% OF THE FISCAL YEAR 2022-2023
LOCAL OPTION STATE SALES AND SERVICES TAX RECEIPTS TO
ADDITIONAL PROPERTY TAX RELIEF; TO THE SWIMMING POOL
PROJECT; AND TO THE PUBLIC WORKS DEPRECIATION ACCOUNT**

WHEREAS, on November 7, 2017, the voters of Dallas Center approved a 1% local sales and services tax (LOSST) with the revenues allocated (a) 25% for property tax relief and (b) 75% for additional property tax relief through city expenditures for the construction of capital improvements, and the construction and maintenance of streets, sidewalks, water and sewer and storm water facilities, infrastructure, and parks and other recreational facilities in the City; and

WHEREAS, the Council has determined that the 75% share of the Fiscal Year 2022-2023 local option state sales and services tax revenue should be allocated as follows: (a) 5% to additional property tax relief; (b) the next \$230,250 to the swimming pool project, and (c) all of the balance of the receipts to the Public Works Depreciation Account (for the planned Public Works/Public Safety Facility and Site).

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DALLAS CENTER, IOWA, that the 75% share of the Fiscal Year 2022-2023 local option state sales tax revenue is hereby allocated as follows: (a) 5% to additional property tax relief; (b) the next \$230,250 to the swimming pool project, and (c) all of the balance of the receipts to the Public Works Depreciation Account (for the planned Public Works/Public Safety Facility and Site).

IT IS FURTHER RESOLVED that the City Administrator-Finance Director is authorized to transfer the local option sales tax revenue receipts to the appropriate accounts and subaccounts.

THIS CORRECTED AND REVISED RESOLUTION PASSED, APPROVED, AND ADOPTED by the City Council of the City of Dallas Center, Iowa, on this 14th day of June, 2022.

Daniel Beyer, Mayor

ATTEST:

Michele Schaben, City Clerk

RESOLUTION NO. 2022-49

**A RESOLUTION AUTHORIZING ETC INSTITUTE OF
LENEXA, KANSAS, TO CONDUCT A
COMMUNITY SURVEY IN DALLAS CENTER**

WHEREAS, ETC Institute of Lenexa, Kansas, was founded in 1982, and has expertise in helping local governments gather data from residents to enhance community planning and services through the utilization of community surveys; and

WHEREAS, the Council has determined that a community survey will be of benefit to the City of Dallas Center and its residents; and

WHEREAS, the Mayor and City staff should be authorized to work with ETC Institute in the preparation of and the conducting of a community survey at a cost not to exceed \$6,500.

NOW, THEREFORE, BE IT RESOLVED by the Council of the City of Dallas Center, Iowa, that the City of Dallas Center shall contract with ETC Institute of Lenexa, Kansas, to conduct a community survey in the City of Dallas Center at a cost not to exceed \$6,500.

IT IS FURTHER RESOLVED that the Mayor and Clerk are authorized to enter into an Agreement with ETC Institute for the community survey, and the Mayor and City staff are authorized to work with ETC Institute in the preparation of and the conducting of a community survey in Dallas Center.

PASSED AND ADOPTED this 14th day of June, 2022.

Daniel Beyer, Mayor

ATTEST:

Michele Schaben, City Clerk



March 23, 2022

Mayor Danny Beyer
City of Dallas Center
1502 Walnut St.
PO Box 396
Dallas Center, IA 50063
(512) 992-3725
danny@ironhorsewm.com

Subject: Proposal to Conduct a Community Survey for the City of Dallas Center, Iowa

Mayor Beyer:

It was a pleasure talking with you this morning. Thank you for taking time out of your Wednesday morning to discuss the possibility of conducting a community survey on you and the City's behalf. ETC Institute is delighted to submit a quote to conduct a Community Survey. If selected for this project, ETC Institute will provide the following services:

Task 1: Design the Survey and Prepare the Sampling Plan. Task 1 will include the following services:

- ETC Institute will work with City staff to develop the content of the survey. At the beginning of the project, ETC Institute will have a meeting with City staff via phone or video call to discuss the goals and objectives.
- ETC Institute will ensure the survey instrument will meet the City's goals and objectives.
- The survey will be up to 6 pages in length.
- If needed and/or requested, ETC Institute will participate in meetings by phone or video call to develop the survey.
- Conducting a pilot test of the survey to ensure the questions are understood. Based on the results of the pilot test, ETC Institute will recommend changes (if needed) to the survey.
- All households will receive the survey instrument to complete.

Deliverable Task 1. ETC Institute will provide a copy of the approved survey instrument.

Task 2: Administer the Survey. Task 2 will include the following services:

- ETC Institute will administer the survey by a combination of mail and online.

- ETC Institute will mail the survey and a cover letter (on City letterhead) to all households. Only one survey per household will be sent.
- Postage-paid envelopes will be provided by ETC Institute for each resident. The City will provide a cover letter for the mailed survey. The cover letter will contain a link to an online version of the survey. Residents who receive the survey will have the option of returning the printed survey by mail or completing it online.
- Approximately 10-12 days after the surveys are mailed, ETC Institute will follow-up via email and/or text message with households that received a mailed survey. ETC Institute will continue following up with households until reaching as many completed surveys as possible.
- ETC Institute will monitor the distribution of the sample to ensure that the sample reasonably reflects the demographic composition of the study area with regard to geographic dispersion, age, gender, race/ethnicity and other factors. ETC Institute will weight the data as needed if one or more demographic groups is over/underrepresented relative to recent Census estimates for the City's population.

Deliverable Task 2. ETC Institute will provide a copy of the overall results for each question on the survey.

Task 3: Analysis and Final Report. ETC Institute will submit a final report to the City. At a minimum, this report will include the following items:

- Formal report that includes an executive summary of the survey methodology and a description of major findings.
- Charts and graphs that show the overall results of each question on the survey.
- Benchmarking analysis showing how the City compares to other communities nationally and regionally.
- GIS maps that show geocoded survey results for selected questions on the survey.
- Importance-Satisfaction Analysis that will identify the areas where the greatest opportunities exist to enhance overall satisfaction with City services.
- Tabular data that shows the results for each question on the survey, including open ended questions.
- A copy of the survey instrument

Deliverable Task 3: ETC Institute will submit the survey findings report in an electronic format (PDF). ETC Institute will also provide the raw data in an Excel database, or another format as requested by the City.

Project Schedule

Listed below is ETC Institute’s typical timeline for administering a community survey. Since the surveys will be administered entirely in-house, the completion date for the project is completely within our control. If desired, we can meet a more ambitious timeline and are available to start at a date most convenient for the City.

- **Month 1**
Design survey instrument
Finalize sampling plan

- **Months 2-3**
Administer the survey

- **Month 4**
Draft Report Submitted for review
Prepare and Deliver the Final Report

Fee

The table below shows a breakdown of the fees for the services described in this proposal. The total cost would be \$6,500.

Task	
Design Survey & Prepare Sampling Plan	\$1,000.00
Administration of a 15-20 minute survey (<i>up to six pages</i>)	\$4,000.00
Formal Report (<i>includes executive summary, charts, benchmarking, Importance-Satisfaction Analysis, GIS maps</i>)	\$1,500.00
Presentation of results (webinar)	Included
Total	\$6,500.00

Optional Services. If desired, ETC Institute will provide the following “optional” services. The fees for “optional” services would be in addition to the prices shown in the table above.

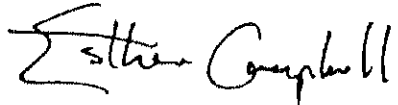
- A webinar presentation of the final results at a date to be determined by the City (\$500). This could be provided in lieu of an on-site presentation.

- An on-site presentation of the final results at a date to be determined by the City (\$1,000).

- Interactive Data Dashboard that will provide the ability to query the full set of survey results in real time anywhere with access to the Internet. Described in more detail on Page 5. (\$5,000)

CLOSING: We appreciate you thinking of us and allowing us the opportunity to send you a quote to conduct the 2022 City of Dallas Center Community Survey. Thank you for your consideration and we look forward to your decision. If you have any questions, please do not hesitate to call me at (913) 326-0301.

Sincerely,

A handwritten signature in black ink that reads "Esther Campbell". The signature is written in a cursive style with a large, stylized initial "E".

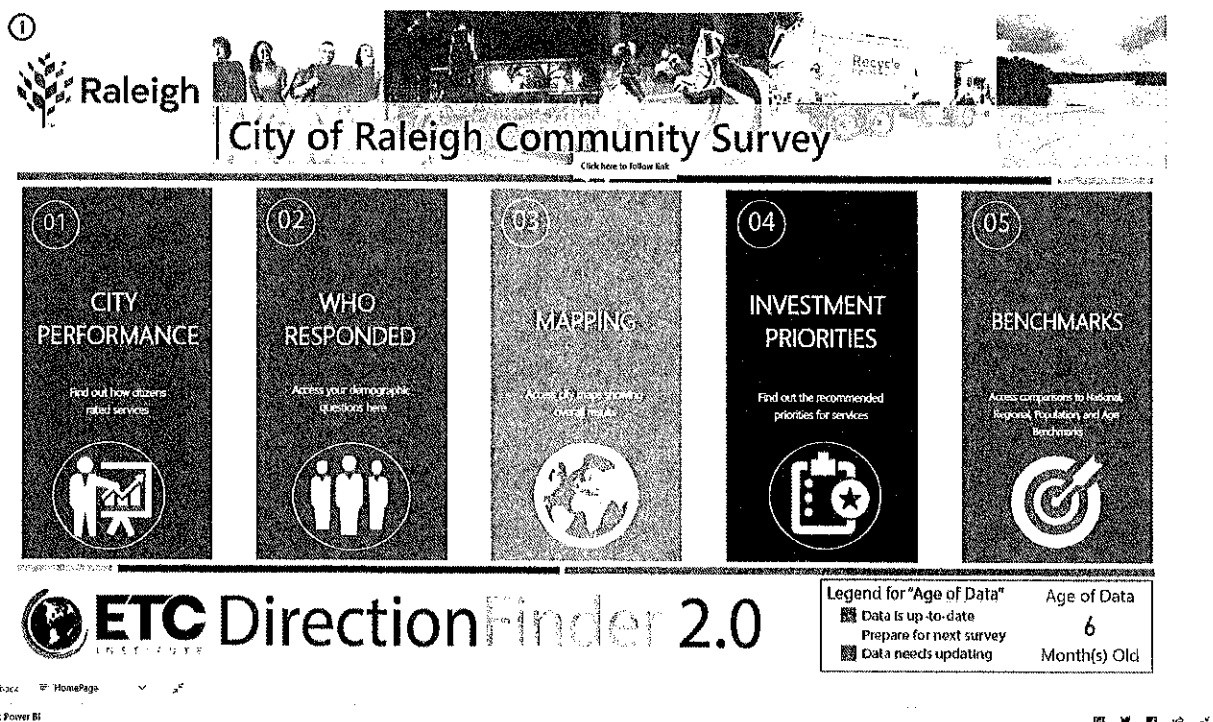
Esther Campbell
Senior Research Analyst
ETC Institute

725 W. Frontier Circle
Olathe, KS 66061
Office: (913) 254-4528
Cell: (913) 326-0301
esther.campbell@etcinstitute.com

DirectionFinder® 2.0 Interactive Data Dashboard

ETC Institute can design an interactive data dashboard to help our clients review and analyze their survey data. The dashboard will allow our clients to query the full set of survey results in real time anywhere with access to the Internet. Our interactive data dashboards give our clients the ability to explore the data and drill-down into the results on-demand, and does not require a special request for additional analysis. The dashboard can include the following features:

- **Trend Analysis** showing the results for previous community surveys that ETC Institute has administered for your community. The dashboard allows our clients to easily compare results from previous surveys.
- **GIS Mapping** showing the survey results mapped out geographically throughout your community. The maps will geographically display results not only for your current survey, but will also show changes in satisfaction from previous surveys.
- **Benchmarking Analysis** showing how your community compares to other communities across the country. The dashboard will allow our clients to compare their results to other communities regionally, nationally, and based on population of other communities.
- **Priority Analysis** showing the top priorities for our clients to focus on, based on ETC Institute's **Importance-Satisfaction Analysis** and **Priority Investment Ratings Analysis**. Priorities can be displayed for various demographic and geographic areas using the interactive features of the data dashboard.
- **Cross-Tabular Data Analysis** which gives our clients the ability to cross tabulate specific questions on the survey showing how different groups of respondents responded to various questions on the survey.



An example of a dashboard that ETC Institute created for the City of Raleigh can be viewed here:

<https://www.etcinstitute.com/directionfinder2-0/raleigh/>

Importance-Satisfaction Analysis

By using specific design features, ETC Institute can utilize the City’s survey data to create an Importance-Satisfaction Rating (I-S Rating). The I-S Rating is based on the concept that public agencies will maximize overall satisfaction by emphasizing improvements in those service categories where the level of satisfaction is relatively low and the perceived importance of the service is relatively high. More than 200 governmental agencies currently use ETC Institute’s I-S Ratings. The ratings allow governmental organizations the ability to assess the quality of service delivery. During the past 30 years, ETC Institute has continually refined the analysis to maximize its usefulness as a decision-making tool.

2020 Importance-Satisfaction Rating						
Dallas, Texas						
Major Categories of City Services						
Category of Service	Most Important %	Most Important Rank	Satisfaction %	Satisfaction Rank	Importance-Satisfaction Rating	I-S Rating Rank
Very High Priority (IS >.20)						
Maintenance of infrastructure	55%	2	26%	21	0.4038	1
Police services	58%	1	49%	17	0.2966	2
High Priority (IS .10-.20)						
Neighborhood code enforcement	28%	4	37%	20	0.1760	3
Traffic Management	31%	3	49%	16	0.1598	4
Social Services	25%	5	54%	15	0.1148	5
Medium Priority (IS <.10)						
Land use, planning, and zoning	13%	11	45%	19	0.0698	6
Animal Services	11%	13	46%	18	0.0585	7
Drinking water	21%	6	74%	9	0.0539	8
Customer service provided by city employees	12%	12	66%	12	0.0396	9
Ambulance/emergency medical services	19%	7	80%	6	0.0388	10
Solid waste services	15%	8	75%	7	0.0377	11
Park and recreation system	13%	10	74%	8	0.0338	12
311/Service request process	9%	14	62%	13	0.0324	13
Storm drainage	7%	15	67%	11	0.0246	14
Public information services	4%	19	68%	10	0.0126	15
Fire services	13%	9	91%	3	0.0117	16
Sewer services	5%	17	83%	5	0.0087	17
Municipal court services	2%	21	61%	14	0.0083	18
Public library services	5%	18	89%	4	0.0053	19
Art and Cultural programs/facilities	7%	16	92%	2	0.0052	20
Dallas Love Field Airport	3%	20	93%	1	0.0022	21

The table above offers an example of the I-S Ratings from the 2020 City of Dallas Community Survey. The table shows that the City could maximize resident satisfaction with the overall quality of City services by investing in maintenance and infrastructure, police services, neighborhood code enforcement efforts, traffic management, and social services. Investments in Dallas Love Field Airport would have the least impact on the overall satisfaction with the quality of City services.

Importance-Satisfaction Analysis

Importance-Satisfaction (I-S) Analysis is a tool that allows public officials to use survey data as a decision-making resource. The Importance-Satisfaction analysis is based on the concept that public agencies will maximize overall satisfaction by emphasizing improvements in those service categories where the level of satisfaction is relatively low and the perceived importance of the service is relatively high.

Importance-Satisfaction Rating is a tool that is used by ETC Institute to help public officials use survey data to establish organizational priorities. More than 200 governmental agencies currently use ETC Institute's I-S Rating. The Importance-Satisfaction Rating is based on the concept that organizations will maximize overall customer satisfaction by emphasizing improvements in those service categories where the level of satisfaction is relatively low and the perceived importance of the service is relatively high.

ETC Institute began using Importance-Satisfaction analysis in the 1980's to allow governmental organizations the ability to assess the quality of service delivery. For more than 30 years, ETC Institute has continually refined the analysis to maximize its usefulness as a decision-making tool. The methodology for calculating the Importance-Satisfaction Matrix and the Importance-Satisfaction Rating will be provided if ETC Institute is selected for this study.

The table below offers an example of the I-S Rating from the 2020 City of Winston-Salem Resident Survey. The table shows that the City could maximize resident satisfaction with recreation and parks services by investing in youth programs and activities and maintenance of city parks. Investments in city splash pads and spraygrounds would have the least impact on overall satisfaction with the City's recreation and parks system.

Importance-Satisfaction Rating						
2020 City of Winston-Salem Resident Survey						
<u>Recreation and Parks</u>						
Category of Service	Most Important %	Most Important Rank	Satisfaction %	Satisfaction Rank	Importance-Satisfaction Rating	I-S Rating Rank
<u>High Priority (IS = .10-.20)</u>						
The City's youth programs and activities	21%	4	40%	10	0.1266	1
Maintenance of city parks	34%	1	70%	1	0.1020	2
<u>Medium Priority (IS < .10)</u>						
Walking and biking trails in the city	22%	3	62%	4	0.0828	3
Quality of facilities in city parks	23%	2	67%	2	0.0766	4
Programs/activities at city recreation centers	12%	5	46%	9	0.0670	5
Marketing of Recreation and Parks programs/facilities	10%	6	37%	11	0.0605	6
Maintenance/appearance of city recreation centers	9%	7	55%	5	0.0392	7
City swimming pools and programs	7%	8	46%	8	0.0362	8
Quality of customer service from Recreation and Parks employees	6%	9	50%	6	0.0275	9
Quality of city-owned outdoor athletic fields	4%	10	63%	3	0.0159	10
City splash pads and spraygrounds	2%	11	49%	7	0.0117	11

Benchmarking Analysis (Normative Comparisons)

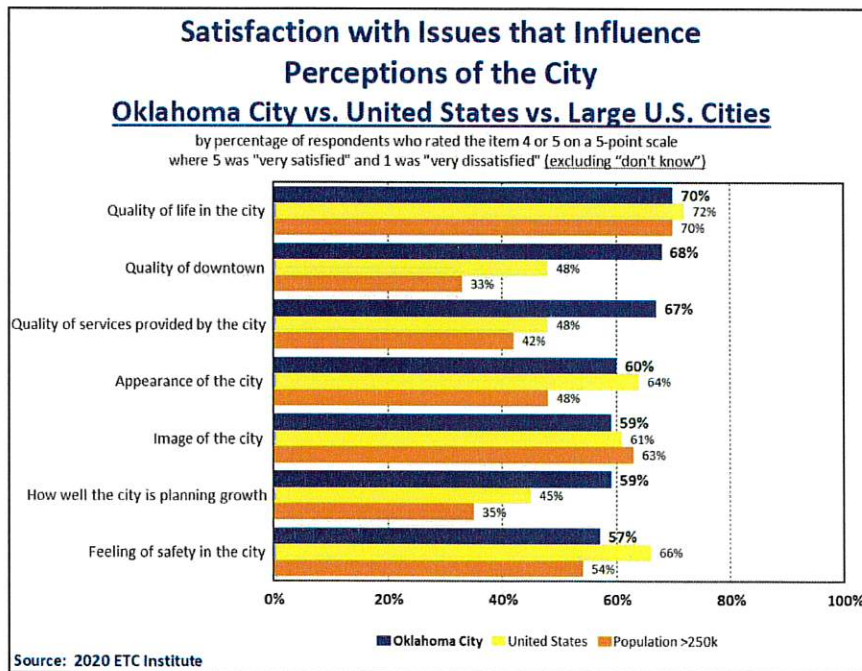
Benchmarking analysis is a highly effective tool that helps decision-makers interpret the meaning of community survey data. If 64% of residents are satisfied with the condition of city streets, is that good or bad? Without comparative data, it is difficult to know. ETC Institute maintains **national** and **regional benchmarking data** for more than 80 types of local governmental services, including the following:

- Public safety (police, fire, ambulance)
- Parks and recreation
- Planning
- Communications
- Code enforcement
- Transportation and traffic flow
- Maintenance/public works
- Utilities (water, sewer, etc.)
- Public health services
- Library services

Benchmarking data can help local governments understand how their results compare to similar communities. For example, 67% of the residents in the City of Oklahoma City were “very satisfied” or “satisfied” with the overall quality of City services. Without comparative data, City leaders might have wondered whether 67% was an acceptable rating. As the chart on the right shows, 67% is a relatively good rating for this issue among large cities in the

U.S. Based on the results of national research conducted by ETC Institute for large U.S. cities with populations of 250,000 or more, the average satisfaction rating with the overall quality of services provided by the City was 42%.

Since November 1999, more than 250 cities and counties in more than 40 states have used ETC Institute’s Benchmarking database to set and monitor progress toward a wide range of organizational goals. Most participating city and counties conduct the survey on an annual or biennial basis.

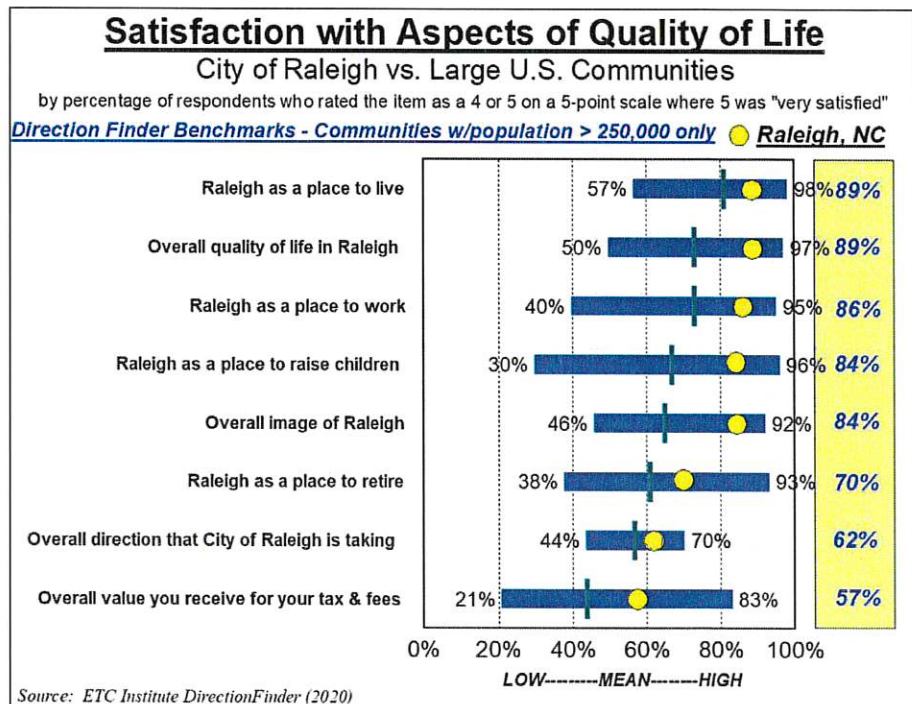


ETC Institute's experience with customer satisfaction research for governmental organizations provides our clients with a unique capability for interpreting the meaning of survey results. Without benchmarking data, it would be easy to make mistakes in the interpretation of survey results. Compared to other large communities around the United States (communities with more than 250,000 residents), ETC Institute's benchmarking data showed that the City of Raleigh, North Carolina was performing very well in most aspects of quality of life. The average satisfaction rating with overall quality of life in Raleigh was 89%, which meant that the City rated 16% above the large

community average at 73%. The dots on the chart to the right show the ratings for the City of Raleigh. The percentage to the left of the horizontal bar shows the lowest rating among large communities (populations above 250,000) that are included in ETC Institute's database; the percentage to the right of the horizontal bar shows the highest rating among this group of communities; the vertical bar in the

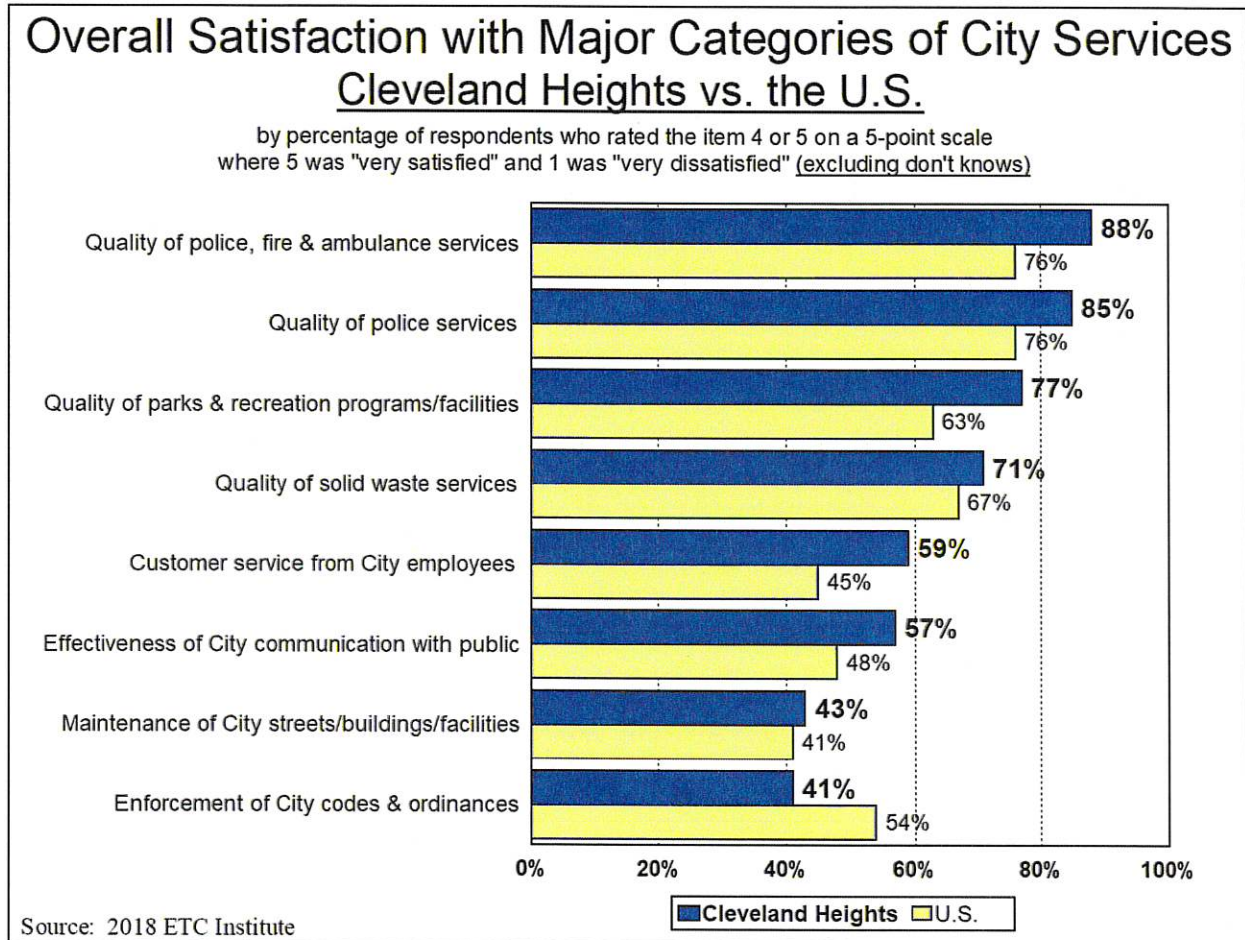
center marks the large community average based on the results surveys that are administered annually by ETC Institute.

Our research has shown that cultural norms often influence customer satisfaction survey results on city services regardless of how well the service is delivered. Another example of this is that residents almost always rate the maintenance of city streets lower than the quality of fire services even in communities that have good streets and major problems with fire services. Without benchmarking data, it is difficult to isolate the influences that cultural norms have on public perceptions about local governmental services, which can lead to faulty conclusions and recommendations.



Benchmarking Analysis

ETC Institute will work with the City to determine which benchmarking comparisons best meet the goals and objectives for the project. ETC Institute maintains regional and national benchmarking comparisons that help decision-makers interpret the meaning of survey data. Without comparative data, it is difficult to know how well an organization is performing.



For example, 59% of residents in the City of Cleveland Heights were satisfied with the level of customer service received from City employees in 2018. Without accurate and up to date comparative data, City leaders might have wondered whether 59% was an acceptable rating. As the table above shows, 59% is a relatively good rating for this item when compared to the U.S. average. ETC Institute will work with the City to determine which national and regional benchmarking comparisons best meet the goals and objectives of the project. Normative comparisons from jurisdictions that issue similar customer surveys will be provided to the City. Without comparative data it can be very difficult to understand how well an organization is actually performing.

At ETC Institute we take comparative benchmarking seriously because we understand survey data sometimes needs context before it can be accurately interpreted. This is why we regularly update and maintain our benchmarking databases to provide accurate and relevant comparisons for a wide variety of topics. We have also developed benchmarking databases for communities of a similar size or region to help put your results into perspective.

Priority Investment Rating Analysis

The **Priority Investment Rating (PIR)** was developed by ETC Institute to provide governments with an objective tool for evaluating the priority that should be placed on parks and recreation investments. The rating system helps to identify the facilities and programs residents think should receive the highest priority for investment. The priority investment rating reflects the importance residents place on items (sum of top 4 choices) and the unmet needs (needs that are only being partly or not met) for each facility/program relative to the facility/program that rated the highest overall. Since decisions related to future investments should consider both the level of unmet need and the importance of facilities and programs, the PIR weights each of these components equally.

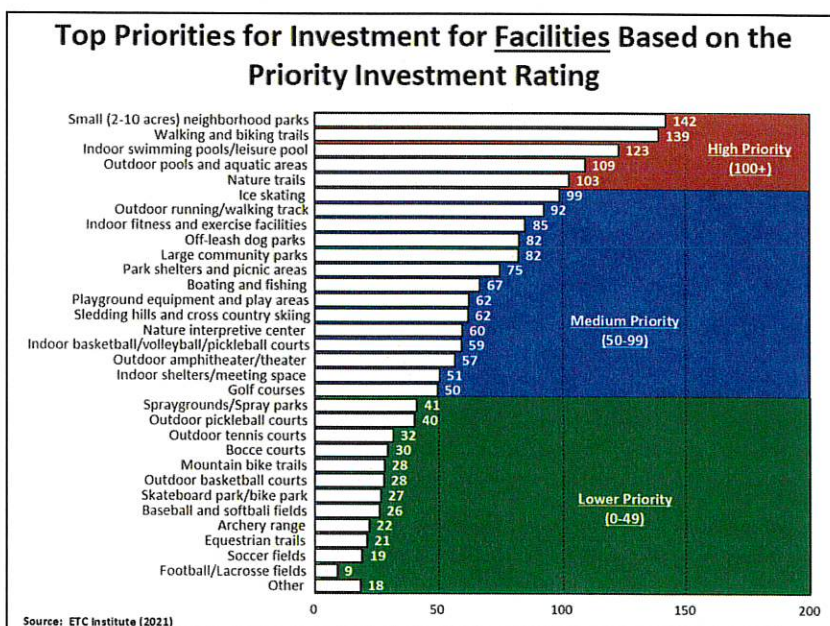
The PIR reflects the sum of the Unmet Needs Rating and the Importance Rating as shown in the equation below:

$$\text{PIR} = \text{UNR} + \text{IR}$$

For example, suppose the Unmet Needs Rating for swim lessons and programs is 43 (out of 100) and the Importance Rating is 33 (out of 100), the Priority Investment Rating for swim lessons and programs would be 76 (out of 200).

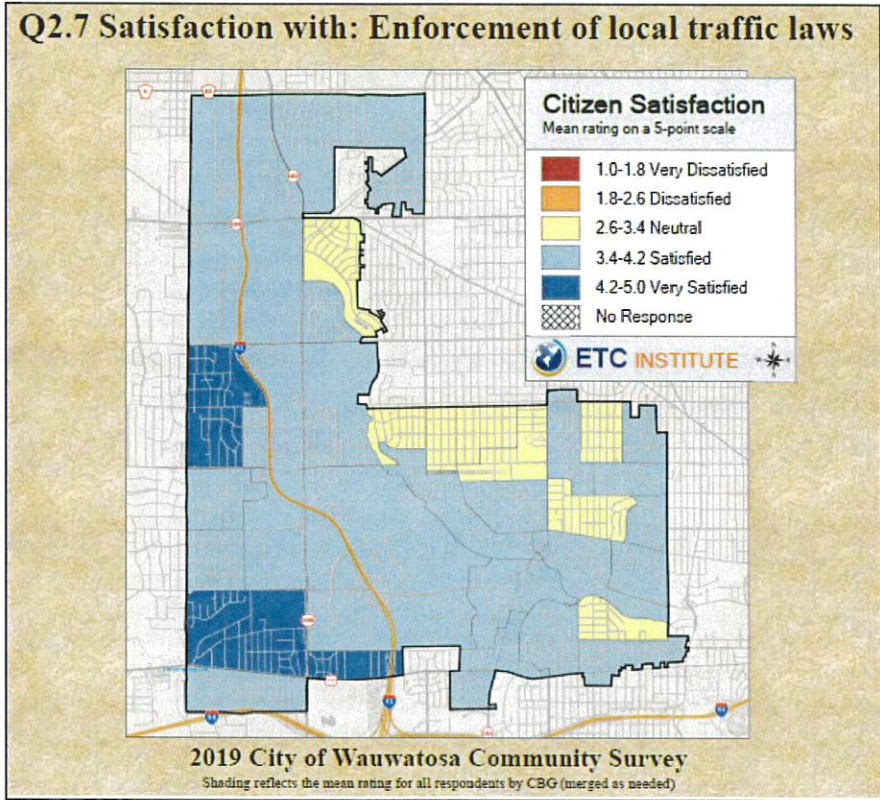
How to Analyze the Charts:

- **High Priority Areas** are those with a PIR of at least 100. A rating of 100 or above generally indicates there is a relatively high level of unmet need and residents generally think it is important to fund improvements in these areas. Improvements in this area are likely to have a positive impact on the greatest number of households.
- **Medium Priority Areas** are those with a PIR of 50-99. A rating in this range generally indicates there is a medium to high level of unmet need or a significant percentage of residents generally think it is important to fund improvements in these areas.
- **Low Priority Areas** are those with a PIR below 50. A rating in this range generally indicates there is a relatively low level of unmet need and residents do not think it is important to fund improvements in these areas. Improvements may be warranted if the needs of very specialized populations are being targeted.



GIS Mapping

ETC Institute will prepare maps showing the results of specific questions on the survey by census block group (or other geographic characteristics decided upon by the City). ETC Institute will geocode the home address of survey respondents to the block latitude and longitude coordinates, this ensures the exact location of a respondent's household is not revealed. This will allow our team to generate maps that visually show how well the City is delivering services to various parts of the City.



GIS maps continue to be an effective tool for communicating the results of the survey to elected officials and the public.

RESOLUTION NO. 2022-50

RESOLUTION UPDATING AND ESTABLISHING POLICIES AND PROCEDURES FOR THE EXAMINATION AND COPYING OF PUBLIC RECORDS MAINTAINED BY THE CITY OF DALLAS CENTER, IOWA TO CONFORM TO THE REQUIREMENTS OF SENATE FILE 2322 EFFECTIVE JULY 1, 2022.

WHEREAS, Section 22.2(1) of the Code of Iowa provides that every person shall have the right to examine and copy a public record and to publish or otherwise disseminate a public record or the information contained in the public record; and

WHEREAS, Section 22.1(3)(a) of the Code of Iowa defines "public records" to include all records, documents, tape, or other information, stored or preserved in any medium of or belonging to a city; and

WHEREAS, Section 22.3 of the Code of Iowa provides that such examination and copying shall be done under the supervision of the lawful custodian of the records or the custodian's authorized deputy. This Section further provides that the lawful custodian may adopt and enforce reasonable rules regarding the examination and copying of the records and the protection of the records against damage or disorganization; that the lawful custodian shall provide a suitable place for such work, but if it is impractical to do such work in the office of the lawful custodian, the person desiring to examine or copy shall pay any necessary expenses of providing a place for such work; that all reasonable expenses of such work shall be paid by the person desiring to examine or copy; that the lawful custodian may charge a reasonable fee for the services of the lawful custodian or the custodian's authorized designee in supervising the examination and copying of the records during such work; that the lawful custodian shall provide any person a reasonable number of copies of any public record in the custody of the office upon the payment of a fee; that the fee for the copying service as determined by the lawful custodian shall not exceed the actual cost of providing the service; that actual costs shall include only those reasonable expenses directly attributable to supervising the examination of and making and providing copies of public records; and

WHEREAS, Section 22.7 of the Code of Iowa currently sets forth seventy-four (74)~~seventy-three (73)~~ separate categories of public records which shall be kept confidential, unless otherwise ordered by a Court, by the lawful custodian of the records; and

WHEREAS, Section 22.7(65) of the Code of Iowa provides that the following specific public records shall be kept confidential, unless otherwise ordered by a court: "Tentative, preliminary, draft, speculative, or research material, prior to its completion for the purpose for which it is intended and in a form prior to the form in which it is submitted for use or used in the actual formulation, recommendation, adoption, or execution of any official policy or action by a public official authorized to make such decisions for the governmental body or the government body. This subsection shall not apply to public records that are actually submitted for use or are used in the formulation, recommendation, adoption, or execution of any official policy or action of a governmental body or a government body by a public official authorized to adopt or execute official policy for the governmental body or the government body." ; and

WHEREAS, Senate File 2322 enacted by the Eighty-Ninth General Assembly to be effective July 1, 2022, amended Section 22.3 of the Code of Iowa to provide (a) that the lawful custodian shall make every reasonable effort to provide the public record requested at no cost other than copying costs for a record which takes less than thirty minutes to produce, (b) that in the event expenses are necessary, such expenses shall be reasonable and communicated to the requester upon receipt of the request, and (c) that costs of legal services should only be utilized for the redaction or review of legally protected confidential information.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DALLAS CENTER, IOWA, that the City of Dallas Center, as the lawful custodian of public records of the City, hereby designates (a) the Fire Chief as the lawful custodian of fire records; (b) the Dallas County Sheriff as the lawful custodian of law enforcement records; and (c) the City Clerk as the lawful custodian of all other city records (with the City Administrator~~Deputy City Clerk~~ as the authorized custodian in the absence or unavailability of the City Clerk).

IT IS FURTHER RESOLVED that the following statement of policy with respect to public records is adopted:

It is the policy of the City of Dallas Center to meet all requests for information and documents within the constraints of Chapter 22 of the Iowa Code. The City of Dallas Center recognizes the right of the public to access public records maintained by the City in accordance with state law. The City also recognizes that certain records maintained by the City are not public records or may be exempt from public disclosure and that a request to access public records may require a balance of the right of the public to access the records, individual privacy rights, governmental interests, confidentiality issues, and privilege issues. Additionally, when the City responds to requests to inspect or copy records, costs are incurred by the City. This policy is adopted to balance these competing interests, to establish an orderly and consistent procedure for responding to public records requests and to support the establishment of equitable fees designed to reimburse the City and its taxpayers for the actual and reasonable costs incurred in responding to public records requests. This policy is not intended to preclude verbal responses to routine requests for information.

IT IS FURTHER RESOLVED that:

1. Requests for records should be made to the lawful custodian of such records. Any request for access to public records maintained by the City of Dallas Center, with the exception of fire and law enforcement records, shall be referred to the City Clerk for review of the request.
2. Persons seeking public records maintained by the City of Dallas Center, Iowa, may examine such records at the Dallas Center City Hall between the hours of 8:00 a.m. and 3:30 p.m., Monday through Friday, except legal holidays, under the supervision of the City Clerk or City Administrator~~Deputy City Clerk~~, providing such records are not required to be kept confidential under Section 22.7 of the Code of Iowa. The City Clerk is authorized to implement reasonable rules for the examination of public records, and to do

all things reasonably necessary for the protection of public records against damage or disorganization, all in accord with Section 22.3 of the Code of Iowa. Persons seeking the City's law enforcement public records maintained by the Dallas County Sheriff should contact the Sheriff. Persons seeking the City's public fire records should contact the Fire Chief, who will arrange a time and place for the examination or copying of such records, and who is authorized to implement reasonable rules for the examination of public records in the same manner as the City Clerk.

3. In connection with a person's examination of paper public records, a person may photograph a public record or scan a public record to that person's personal scanning device, without charge.
4. After examination (or without an examination) persons seeking copies of public records may specifically and clearly indicate which records are requested by completing the "Request for Copies of Public Records" Form (attached hereto as "Appendix A") and submitting the Form to the custodian, or persons may make a verbal, written, or emailed request. The purpose of the form is to allow the City to seek clarification of public records requests as the City is unable to provide a response if a request is vague or if the City cannot reasonably determine what records have been requested.
5. No original public records or documents can be removed from the premises at which they are stored. Persons requesting the inspection of public records may do so at a date and time during regular City business hours that is established by the custodian and in an on-premise room or space as arranged by the custodian.
6. All records requests that are responded to by electronic media (such as e-mailing to the recipient or downloading to a flash drive) shall be done in a manner to ensure the document may not be altered. Any public record in draft form that has not yet been approved by the Council in final form shall be watermarked as preliminary or with a similar notation.
7. The City will attempt to fulfill the request for records, but is not required by law to do research,

analyze data, or create records in response to a request. If a requested document does not actually exist in the City's records, a document will not be created for the requestor.

8. The custodian may consult with other City staff concerning requests for records that may include privileged or confidential records, such as medical records, personnel files, documents concerning litigation, documents containing personal identifiable information, documents related to library patrons, etc., which privileged or confidential information will be redacted before examination or copying. Any request for these types of records may be referred to the City Attorney for review and response as necessary.
9. The custodian, or other city staff designated by the custodian, shall make and deliver copies at the rate of 10 cents for each black and white page and 20 cents for each color page, which rates are determined by the Council to be reasonable. The rate for documents transmitted by facsimile to a non-long distance number will be 10 cents for each black and white page, which rate is determined by the Council to be reasonable. Documents emailed to a requestor or downloaded to the requestor's USB storage drive shall be provided to the requestor without charge. The costs shall be computed and paid in advance. City staff shall be afforded sufficient time to make and deliver said copies once documents have been identified and located, and considering the staff's other work responsibilities. City staff should not be expected to abandon or neglect their regular public duties to comply with record requests and thus need sufficient time to make and deliver any requested information.
10. The lawful custodian shall make every reasonable effort to provide the public record requested at no cost other than copying costs for a record which takes less than thirty minutes to produce. If staff time in fulfilling a records request or supervising a records examination exceeds ~~thirty~~ten minutes, an additional charge will be imposed equal to the employee's hourly rate calculated in ten minute increments, a charge which has been determined by the Council to be reasonable. This charge shall be assessed even though

a records examination does not result in the assessment of any charge, and shall be assessed for providing documents that would otherwise be provided without charge.

11. Based on the scope of the request and estimated costs to fulfill the request, a deposit may be required as determined by the custodian of the records. If a deposit is required, no work will begin on the request until the deposit is received.

12. The requesting party shall receive the requested documents after all costs have been paid. No copies shall be released until full payment is received by the custodian.

13. Costs for legal services shall only be utilized for the redaction or review of legally protected confidential information.

IT IS FURTHER RESOLVED that this Resolution shall become effective on July 1, 2022.

PASSED, APPROVED, AND ADOPTED by the City Council of the City of Dallas Center, Iowa, on this 14th day of June, 2022.

Daniel Beyer, Mayor

ATTEST:

Michele Schaben, City Clerk

Appendix "A" is attached hereto and made a part hereof.

RESOLUTION NO. 2022-43

**RESOLUTION CORRECTING THE ADDRESSES OF ALL LOTS
ORIGINALLY PLATTED AS LYN CREST ESTATES PLAT 5,
A SUBDIVISION LOCATED IN THE CITY OF DALLAS CENTER, IOWA**

WHEREAS, the Final Plat of Lyn Crest Estates Plat 5, an Official Plat, in the City of Dallas Center, Dallas County, Iowa, was filed in the office of the Dallas County Recorder on December 13, 2018, in Book 2018 at Page 23175; and

WHEREAS, Fair View Drive fronts on all of the lots in Lyn Crest Estates Plat 5, but the street is incorrectly spelled on the Final Plat as "Fairview Drive", resulting in incorrect street addresses being shown for all of the lots; and

WHEREAS, the street addresses of all of the lots in Lyn Crest Estates Plat 5 should be corrected to read as follows:

Lot 1A	1305 Fair View Drive
Lot 1B	1307 Fair View Drive
Lot 2A	1309 Fair View Drive
Lot 2B	1311 Fair View Drive
Lot 3A	1401 Fair View Drive
Lot 3B	1403 Fair View Drive
Lot 4A	1405 Fair View Drive
Lot 4B	1407 Fair View Drive
Lot 5A	1409 Fair View Drive
Lot 5B	1411 Fair View Drive
Lot 6A	1413 Fair View Drive
Lot 6B	1415 Fair View Drive
Lot 7A	1501 Fair View Drive
Lot 7B	1503 Fair View Drive
Lot 8A	1505 Fair View Drive
Lot 8B	1507 Fair View Drive
Lot 9A	1509 Fair View Drive
Lot 9B	1511 Fair View Drive
Lot 10	1601 Fair View Drive

; and

WHEREAS, pursuant to Iowa Code Section 354.26 this Resolution shall be filed by the City Clerk with the Dallas County Recorder, Dallas County Auditor, and Dallas County Assessor.

NOW, THEREFORE, BE IT RESOLVED by the Council of the City of Dallas Center, Iowa, that the street addresses of all lots in Lyn Crest Estates Plat 5 fronting on Fair View Drive should be corrected to reflect the correct spelling of the street as "Fair View Drive" in Dallas Center, Iowa, all as detailed herein, and the City Clerk is directed to file this Resolution with the required Dallas County officials.

Adopted by the Council on the 14th day of June, 2022.

Daniel Beyer, Mayor

ATTEST:

Michele Schaben, City Clerk

RESOLUTION NO. 2022-44

**RESOLUTION CORRECTING THE ADDRESSES OF LOTS
ORIGINALLY PLATTED AS HAWBAKER SUBDIVISION, A RURAL
SUBDIVISION NOW INCLUDED IN THE CITY OF DALLAS CENTER, IOWA**

WHEREAS, the Plat of Hawbaker Subdivision located in rural Dallas County, Iowa, was approved by the Dallas County Board of Supervisors and was filed in the office of the Dallas County Recorder on February 15, 1980, in Book 6 at Page 351; and

WHEREAS, all of the lots fronted on an unnamed county road, and no street addresses were shown on the Plat; and

WHEREAS, when all of the lots in Hawbaker Subdivision were annexed into the City of Dallas Center, the adjacent county road became an extension of Fair View Drive, however, on its records Dallas County has shown the street name incorrectly as Fairview Drive which has resulted in incorrect street addresses being shown for lots in the Hawbaker Subdivision; and

WHEREAS, the street addresses of lots in Hawbaker Subdivision should be corrected to read as follows:

Lot 1	902 Fair View Drive
Part of Lot 2	908 Fair View Drive
Part of Lot 2	1002 Fair View Drive

; and

WHEREAS, any future addresses assigned in the Hawbaker Subdivision should be shown as Fair View Drive; and

WHEREAS, pursuant to Iowa Code Section 354.26 this Resolution shall be filed by the City Clerk with the Dallas County Recorder, Dallas County Auditor, and Dallas County Assessor.

NOW, THEREFORE, BE IT RESOLVED by the Council of the City of Dallas Center, Iowa, that the street addresses of the lots in Hawbaker Subdivision fronting on Fair View Drive should be corrected to reflect the correct spelling of the street as "Fair View Drive" in Dallas Center, Iowa, all as detailed herein, and

the City Clerk is directed to file this Resolution with the required Dallas County officials.

Adopted by the Council on the 14th day of June, 2022.

Daniel Beyer, Mayor

ATTEST:

Michele Schaben, City Clerk

RESOLUTION NO. 2022-45

**RESOLUTION CORRECTING THE ADDRESSES OF CERTAIN LOTS
ORIGINALLY PLATTED AS MEADOW VIEW ACRES PLAT ONE, A
SUBDIVISION INCLUDED IN THE CITY OF DALLAS CENTER, IOWA**

WHEREAS, the Plat of Meadow View Acres Plat One, an Official Plat, in the City of Dallas Center, Dallas County, Iowa, was filed in the office of the Dallas County Recorder on June 6, 1962, in Plat Book 2 at Page 118; and

WHEREAS, over the course of time five residential residences that front on Fair View Drive have been given the incorrect street name of "Fairview Drive", although the street name is correctly shown as "Fair View Drive" on the Plat; and

WHEREAS, the street addresses of certain lots in Meadow View Acres Plat One should be corrected to read as follows:

Lot 63	806 Fair View Drive
Lot 64	804 Fair View Drive
Lot 65	802 Fair View Drive
Lot 68	706 Fair View Drive
Lot 69	704 Fair View Drive

; and

WHEREAS, pursuant to Iowa Code Section 354.26 this Resolution shall be filed by the City Clerk with the Dallas County Recorder, Dallas County Auditor, and Dallas County Assessor.

NOW, THEREFORE, BE IT RESOLVED by the Council of the City of Dallas Center, Iowa, that the foregoing street addresses of certain lots in Meadow View Acres Plat One fronting on Fair View Drive should be corrected to reflect the correct spelling of the street as "Fair View Drive" in Dallas Center, Iowa, all as detailed herein, and the City Clerk is directed to file this Resolution with the required Dallas County officials.

Adopted by the Council on the 14th day of June, 2022.

Daniel Beyer, Mayor

ATTEST:

Michele Schaben, City Clerk

RESOLUTION NO. 2022-46

**RESOLUTION CORRECTING THE ADDRESSES OF A LOT
ORIGINALLY PLATTED AS PIONEER PLAT 1, A
SUBDIVISION INCLUDED IN THE CITY OF DALLAS CENTER, IOWA**

WHEREAS, the Plat of Pioneer Plat 1, an Official Plat, in the City of Dallas Center, Dallas County, Iowa, was filed in the office of the Dallas County Recorder on October 5, 2011, in Book 2011 at Page 12999; and

WHEREAS, over the course of time one commercial property that fronts on Fair View Drive has been given the incorrect street name of "Fairview Drive", although the street name is correctly shown as "Fair View Drive" on the Plat; and

WHEREAS, the street address of the following lot in Pioneer Plat 1 should be corrected to read as follows:

Lot 1 205 Fair View Drive
; and

WHEREAS, pursuant to Iowa Code Section 354.26 this Resolution shall be filed by the City Clerk with the Dallas County Recorder, Dallas County Auditor, and Dallas County Assessor.

NOW, THEREFORE, BE IT RESOLVED by the Council of the City of Dallas Center, Iowa, that the foregoing street address of one lot in Pioneer Plat 1 fronting on Fair View Drive should be corrected to reflect the correct spelling of the street as "Fair View Drive" in Dallas Center, Iowa, all as detailed herein, and the City Clerk is directed to file this Resolution with the required Dallas County officials.

Adopted by the Council on the 14th day of June, 2022.

Daniel Beyer, Mayor

ATTEST:

Michele Schaben, City Clerk