

NOTICE OF A PUBLIC MEETING
Dallas Center City Council
Tentative Agenda
July 12, 2022 – 7:00 pm – Memorial Hall
1502 Walnut Street, Dallas Center

The Council meeting will be held in person in Memorial Hall. The meeting also may be accessed by the public electronically by Zoom at the following Internet link:

<https://us02web.zoom.us/j/89421486578>.

If a Zoom user has the Zoom app, just enter the meeting ID 894 2148 6578 and the passcode is 033685.

Or a member of the public may connect to the meeting by telephone using any of the following numbers (the Meeting ID is 89421486578#, the passcode is 033685: Dial by your location +1 646 558 8656 +1 301 715 8592 +1 312 626 6799 +1 669 900 9128

Depending on the caller's long-distance calling plan, long distance charges may apply.

Public Hearing – on Plans and Specifications, Proposed Form of Contract and Estimate of Cost for construction of the Dallas Center Community Pool Construction Project.

1. Pledge of Allegiance
2. Roll call
3. Action to approve agenda
4. Public Comments [Anyone wanting to address the Council should raise your hand and the Mayor will acknowledge you. Please stand, state your name, address and topic. You will have two minutes to address the Mayor and Council]
5. Action to approve consent agenda
 - a. Approve minutes of June 14 and June 27 Council meetings
 - b. June Treasurer's Report, Balance Sheet and Budget Report
 - c. June Law Enforcement, Fire/Rescue, Compliance and Water Reports
 - d. Approve invoices for payment (review committee Willrich and Beaudet)
 - e. Approve correction to hire Mya Williamson as additional admissions staff at \$10.50/hour and Neela Williamson as a first-year lifeguard at \$12.50/hour effective June 27, 2022, subject to lifeguard certifications
 - f. Approve Cael Wineland at \$15.00/hour and Alexa Riesselman at \$15.50/hour as back-up assistant managers on an as-needed basis effective July 13, 2022
6. Parks and Recreation Board
 - a. Action to approve Concrete Impressions quote for 850' of hard surface trail at the Burnett Complex in an amount not to exceed \$40,000.
 - b. Action to approve Concrete Impressions quote for the full sized basketball court in Mound Park in an amount not to exceed \$37,000.
7. Walnut Street Streetscape Phase 1
 - a. Report
 - b. Action to confirm Pay Estimate No. 2 – Tallgrass Land Stewardship Co. LLC - \$31,283.50
 - c. Action to approve Change Order No. 2 - \$330 (filter sock)
 - d. Action to approve Pay Estimate No. 3 – Tallgrass Land Stewardship Co. LLC - \$313.50
 - e. Action to approve Pay Estimate No. 4 (Final) – Tallgrass Land Stewardship Co. LLC - \$2,494.75
8. Action on Ordinance No. 574 - changing the zoning classification of property owned by K&A Investments, LLC from PUD (Planned Unit Development to (a) R-1-55 Flex (Single Family Residential District); (b) R-1-60 Flex (Single Family Residential District); (c) R-1-70 (Single Family Residential District); and (d) R-1-60 Flex (Single-Family Residential District), respectively, second reading

9. Planning and Zoning Commission
 - a. Report – Matt Ostanik
 - b. Action on Resolution 2022-55 – approving Site Plan for Kevin Hogan and Sugar Grove Custom Cars, LLC. Exterior improvements at 1205 Laurel Street
 - c. Action on Resolution 2022-56 – approving Site Plan for Elite Land Holdings, LLC Phase II at 1307 Sugar Grove Avenue
 - d. Action on Resolution 2022-57 – approving Architectural Plan for Elite Land Holdings, LLC Phase II at 1307 Sugar Grove Avenue
 - e. Action on Resolution 2022-58 – approving Preliminary Plat of The Neighborhood Plat 2 (a phased plat)
 - f. Action on Resolution 2022-59 – approving Preliminary Plat of Skye View Estates (a phased plat)
 - g. Joint Council and P&Z meeting at 7:00 pm on July 19, 2022
10. Dallas Center Outdoor Community Swimming Pool Construction Project
 - a. Engineer’s Report
 - b. Action on Resolution 2022-52 – adopting plans, specifications, form of contract and estimate of costs
 - c. Receipt of construction bids
 - d. Action to defer consideration of bids to July 19th special council meeting
11. Cross Country Estates Plat 6 – Final Plat
 - a. Engineer’s Report
 - b. City Attorney’s Report on required platting documents
 - c. Action on Resolution 2022-60 – accepting the improvements in Cross Country Estates Plat 6
 - d. Action on Resolution 2022-61 – approving the Final Plat of Cross Country Estates Plat 6
12. Streets in Cross Country Estates Plats 1 and 2
 - a. City Attorney’s Report on City ownership of Phase 1 of the streets
 - b. Discussion and possible action on plans for the improvements of Phase 1
13. Low Pressure Sewer Project connecting to Cross Country Estates Plat 6
 - a. Engineer’s report
 - b. Consideration of quotations
 - c. Action to accept quotation submitted by Concrete & More, LLC for \$52,390.00 and authorization to proceed with Project
14. Public Works
 - a. Director’s Report
15. City Engineer – other matters
16. Capital Improvements Program meeting on August 17th at 7:00 pm
17. Discussion and possible action – property owners at 1607 Laurel Street have failed to comply with the Council’s Order of February 8, 2022, to license and place on asphalt or concrete parking area the 1969 Cutlass and to promptly store the 1972 Gremlin in a building under a roof
18. Action on Ordinance No. 575 – amending Section 149.06 of the Code of Ordinances relating to the method of sending notice of any failure to maintain grass lawns, first reading
19. Action on Ordinance No. 576 – amending Section 91.09(6) of the Code of Ordinances to increase the re-connect fee to \$50 (irrigation meters), first reading
20. Action to allow review committee to approve Wells Fargo credit card statements when received and to allow City Administrator’s office to pay statements, once approved by the review committee
21. City Administrator’s report
 - a. Fiscal year end
 - b. Dallas County Hazard Mitigation Plan Update
22. Annexation Discussion/Update
23. Council reports
24. Mayor’s report
25. Adjournment

Shellie Schaben, City Clerk

Access Systems Leasing	Copier	\$355.36
Access Systems	Copier	\$40.97
Ventilation Services Of	June Serv	\$2,451.68
Ventilation Services Of	June Serv	\$4,553.12
Agri Drain Corporation	Repairs	\$802.68
Agsources Cooperative Svcs	Tests	\$851.25
Agsources Cooperative Svcs	Tests	\$338.75
Anderson, Hailee	Swimsuit	\$94.74
Arnold Auto Supply	Supplies	\$336.28
Baker & Taylor Co.	Books	\$344.13
Baldon Hardware	Supplies	\$28.75
Bay Bridge Administrators	Insurance	\$150.63
Bennett Bright	Trees	\$500.00
Brown, Fagen & Rouse	July Serv	\$3,084.90
Centurylink	June Serv	\$770.61
Cold Blooded Redhead Llc	Programming	\$232.00
Core & Main	Repairs	\$1,212.50
Crossroads Ag, Llc	Supplies	\$214.00
Culligan Water System	July Serv	\$12.56
Dallas County Treasurer	June Serv	\$18,165.06
Dc Celebrations Commit	July Serv	\$8,000.00
Delta Dental	Insurance	\$39.96
Delta Dental	Insurance	\$625.84
Demco	Supplies	\$379.99
Digital Stew Services	June Serv	\$1,069.74
Digital Stew Services	June Serv	\$240.30
Iowa Department Of Natural Res	Annual Fee	\$209.38
Iowa Dept Of Transportation	Supplies	\$438.17
Eftps	Taxes	\$5,945.27
Eftps	Taxes	\$6,365.40
Elite Electric & Utility	Refund	\$1,000.00
Gis Benefits	Insurance	\$59.82
Heartland Co-Op	June Serv	\$1,878.53
Hsa Cory, Rochelle	Hsa	\$100.00
Hsa Hofland, Joel	Hsa	\$50.00
Hsa Riesselman, Cindy	Hsa	\$290.00
Hsa Schaben, Michele	Hsa	\$4,500.00
Hsa Scrivner, April	Hsa	\$50.00
Hsa Slaughter, Brian	Hsa	\$200.00
Integratedprint Solutions	Supplies	\$224.00
Iowa One Call	May Service	\$116.10
Iowa State University	Programming	\$246.74
Ipers	Ipers	\$7,975.18
Iron Mountain	June Serv	\$93.15
Jerico Services	June Serv	\$3,665.99
Karen Mccleary	June Serv	\$675.00
Kielty, William	Swimsuit	\$29.15
Kimball Midwest	Repairs	\$238.45

Leaf	Copier	\$159.72
Eddie Leedom	June Serv	\$330.00
Library Ideas Llc	Books	\$153.20
Linde Gas & Equipment Inc.	June Serv	\$40.10
Logan Contractors Supply Inc	Equip	\$9,067.54
Menards	Supplies	\$4,575.46
Menards	Repairs	\$230.09
Merrit Company	Supplies	\$187.50
Micromarking Llc	Books	\$90.98
Midamerican Energy	May Ser	\$317.00
Midamerican Energy	June Serv	\$12,603.54
Midwest Breathing Air Llc	Tests	\$886.96
Minburn Communications	July Serv	\$54.99
Moss Bros, Inc	Repairs	\$149.28
Moss Bros, Inc	Gravelly Mower	\$6,472.00
Municipal Supply Inc	Supplies	\$1,035.10
Napa Auto Parts	Repairs	\$205.98
Nationwide Retirement Sol	Deferred Comp	\$675.00
Nielsen, Ronald & Carolyn	Streets	\$1.00
Nielsen, Ronald & Carolyn	Streets	\$1.00
Northstar Fish Hatchery	Supplies	\$480.00
Northway Well And Pump	June Serv	\$1,000.00
Odp Business Solutions Llc	Supplies	\$440.97
Odp Business Solutions Llc	Supplies	\$60.90
Office Of Auditor Of State	Audit	\$15,573.36
Pion, Cara	Swimsuit	\$96.28
Piper Sandler	June Serv	\$1,000.00
Treasurer - State Of Iowa	Taxes	\$1,558.84
Treasurer - State Of Iowa	Taxes	\$2,154.36
Sam, Llc	Annual Serv	\$2,400.00
April Scrivner	Mileage	\$31.01
Spracher Sewer Service	June Serv	\$875.00
Spurgeon Manor Inc	Repairs	\$3,042.72
State Hygienic Laboratory	Tests	\$20.00
Strauss Security Solutions	Qtrly Serv	\$104.85
Swimming Pool Program	Fee	\$1,540.00
Tallgrass Land Stewardship	Walnut Streetscape Phase 2	\$31,283.50
Tallgrass Land Stewardship	Walnut Streetscape Phase 2	\$313.50
The Wall Street Journal	Subscription	\$170.00
Tompkins Industries Inc	Repairs	\$198.62
Umb Bank Na	Bond	\$250.00
Uhs Premium Billing	Insurance	\$543.93
Uhs Premium Billing	Insurance	\$7,523.17
Usa Blue Book	Supplies	\$306.87
Veenstra & Kimm	May/June Serv	\$1,792.80
Veenstra & Kimm	June Ser	\$5,129.78
Verizon Wireless	June Serv	\$280.07
Treasurer - State Of Iowa	Taxes	\$2,121.00

Walton Tree Service	Trees	\$1,848.00
Waste Management	June Serv	\$21,292.90
Waters Edge Aquatic Design	Pool Design	\$39,582.00
Wells Fargo	Postage/Supplies	\$1,124.60
	Accounts Payable Total	\$260,621.60
	General	\$145,799.86
	T&A(Sc)	\$1,000.00
	Capital Improvement	\$14,672.00
	Rut	\$8,876.77
	T&A(Eb)	\$10,838.99
	Debt Service	\$250.00
	Cap Improve Pool	\$41,122.00
	Water	\$13,175.47
	Sewer	\$15,704.13
	Storm District	\$9,182.38
	Total By FUND	\$260,621.60

Revenues

General Total	\$70,859.09
T&A (Pd) Benevolent Total	\$0.00
T&A(Ft) Total	\$803.09
T&A(Sc) Total	\$40.77
Capital Improvement Total	\$40,361.07
T&A(SI) Total	\$1.43
Rut Total	\$33,379.81
T&A(Eb) Total	\$81,608.17
Emergency Levy Fund Total	\$0.00
Local Option Sales Tax Total	\$40,188.68
Tif Total	\$2,011.20
T&A(Rec Program) Rev Total	\$0.00
Burnett Project Total	\$107.98
T&A(Bc) Total	\$0.00
T&A(Burnett Cap Improve) Total	\$463.51
T&A(Pd) Total	\$0.00
Rec Trail Total	\$0.00
Debt Service Total	\$10,397.29
Cap Improve Wastewater Total	\$0.00
Cap Improve - Library Total	\$0.00
Cap Improve Pool Total	\$300,038.90
Cap Imprv-American Rescue Total	\$26.66
T&A(B) Total	\$0.72
T&A(Y) Total	\$0.71
Water Total	\$39,559.56
Water Capital Outlay Total	\$0.00
Sewer Total	\$31,204.19
Storm District Total	\$5,011.36
Total Revenue By Fund	\$656,064.19

Mayor Beyer opened a public hearing at 7:00 pm on June 14, 2022, as advertised for the purpose of hearing comments on the Petition filed by K&A Investments, LLC to Re-Zone certain parcels of property (planned as The Neighborhood Plat 2) from PUD (Planned Unit Development) to (a) R-1-55 Flex (Single Family Residential District); (b) R-1-60 Flex (Single Family Residential District); (c) R-1-70 (Single Family Residential District); and (d) R-1-60 Flex (Single-Family Residential District), respectively. Shane Devick with CEC Engineering presented the rezoning information. There were no written comments. Julie Becker and Bob Haxton stated they do not support the rezoning. Mayor Beyer closed the public hearing at 7:08 pm.

The Dallas Center City Council met in regular session June 14, 2022, at 7:08 pm. Mayor Beyer called the meeting to order and led the Pledge of Allegiance. Council members present included Amy Strutt, Ryan Coon, Angie Beaudet and Daniel Willrich. Ryan Kluss was not present. Also present were City Administrator Cindy Riesselman, City Attorney Ralph Brown and City Engineer Bob Veenstra.

Motion by Coon, 2nd by Strutt to approve agenda. Motion passed 4-0.

Public Comments

Eliza Johnson stated she is a veterinarian and does not support Ordinance 570.

Bob Haxton stated he does not support a lift station for the Skye View Estates development

Julie Becker stated multiple concerns

Mike Buckalew stated he does not support Ordinance 570

Curt Pion stated he supports the pool project

Meg Dickinson stated she is happy with the progress on Walnut Street and supports the pool

Motion by Coon, 2nd by Willrich to approve consent agenda [approve minutes of May 10 and May 26 Council meetings; May Treasurer's Report, Balance Sheet and Budget Report; May Law Enforcement, Fire/Rescue, Compliance and Water Reports; approve Dallas Center Fall Festival Committee Street Closing Request; approve DC Betterment's additional street closing request for the BACoon Ride on June 18, 2022; acceptance of Pat Freeland's resignation from the Tree Board effective May 1, 2022, term expires June 30, 2023; approve Mayor's appointment of Ron Steilen to the Tree Board to fill Pat Freeland's vacancy, term expires June 30, 2023; acceptance of Alexa Riesselman's resignation as the Pool Manager effective May 28, 2022; action to promote McKenna Dirks to Pool Manager at \$17.00/hour effective May 31, 2022; action to promote Olivia Macumber to Assistant Pool Manager at \$15.00/hour effective June 1, 2022; action to hire Alexa Riesselman as a lifeguard at \$13.50/hour effective June 10, 2022; action to change Michele Schaben's HSA contribution amount from single to family coverage; action to approve 2022 concession stand agreement with Kyle Dirks; approve invoices for payment (review committee Strutt and Coon)]. 427 hours of service 33% more than required. Motion passed 4-0.

Strutt thanked the applicants. Motion by Willrich, 2nd by Coon to appoint Laurie Hart to the Planning and Zoning Commission to fill Kari Boscaljon's vacancy, term expires October 1, 2022. Motion passed 4-0.

Ruth Hambleton discussed concerns regarding traffic and parking in the 1400 block of Walnut and the 500 block of 14th Streets, specifically U-turns and crossing double yellow lines to park on the opposite side of the street.

Chad Shearon with Centr3k Nutrition (1400 Walnut) sought permission to allow a sign on the sidewalk in front of the building during business hours only (15-20 hours a week). Motion by Coon, 2nd by Beaudet to allow the request. Motion passed 4-0.

Mary Werch with Parks and Recreation Board stated they received two quotes for tree removal. Motion by Coon, Strutt to approve tree removal at Mound Park and the Burnett Recreation Complex for FY23 in an amount not to exceed \$7,300.00. Motion passed 4-0.

Walnut Street Streetscape Phase 1

City Administrator Riesselman reported the project is nearing completion and the contractor is seeking additional payment for work completed.

Motion by Willrich, 2nd by Strutt to approve change Order No. 1 in the amount of \$1,305.00 to install 6" limestone wall block. Motion passed 4-0.

Motion by Coon, 2nd by Beaudet to approve Pay Estimate No. 1 – Tallgrass Land Stewardship Co. LLC - \$8,298.25. Motion passed 4-0.

Motion by Coon, 2nd by Strutt to authorize payment of Pay Estimate #2 in the amount of \$31,283.50. Motion passed 4-0

Planning and Zoning Commission

Matt Ostanik gave an overview of the items being approved. He stated the sidewalks at the Handlebar will be completed at the same time as the patio expansion and the Skye View Estates preliminary plat is going back to P&Z due to the possible changes in street widths and additional details on the plat were needed.

Motion by Willrich, 2nd by Beaudet to approve Resolution 2022-38 – approving Handlebar patio expansion Site Plan, contingent on the sidewalk completion. Roll call all ayes, motion passed.

Motion by Coon, 2nd by Willrich to approve on Resolution 2022-39 – approving Dallas Center-Grimes Community School District middle school playground Site Plan. Roll call all ayes, motion passed.

Motion by Willrich, 2nd by Strutt to approve Resolution 2022-40 – approving City of Dallas Center Community Swimming Pool Site Plan. Roll call all ayes, motion passed.

Motion by Willrich, 2nd by Beaudet to approve Resolution 2022-41 – approving City of Dallas Center Community Swimming Pool Architectural Plan. Roll call all ayes, motion passed.

Motion by Coon, 2nd by Beaudet to approve Resolution 2022-48 – approving Plats of Survey submitted by the City of Dallas Center for Parcels 22-22, 22-23, and 22-24 (Private Roadways in Cross Country Estates Plats 1 and 2. Roll call all ayes, motion passed.

K&A Investments, LLC (Shane Devick) – planned as The Neighborhood Plat 2

Motion by Coon, 2nd by Strutt to approve Ordinance No. 574 – changing the zoning classification of property owned by K&A Investments, LLC from PUD (Planned Unit Development to (a) R-1-55 Flex (Single Family Residential District); (b) R-1-60 Flex (Single Family Residential District); (c) R-1-70 (Single Family Residential District); and (d) R-1-60 Flex (Single-Family Residential District), respectively, first reading. Roll call all ayes, motion passed.

Dallas Center Outdoor Community Swimming Pool Construction Project

Veenstra stated there will be a three-week bid phase with the bids due on July 7th and substantial completion in May 2023, and he stated they are working through a few discussion items with Water's Edge.

Motion by Coon, 2nd by Beaudet to approve Resolution 2022-47 – ordering construction of the Project, and fixing a date for hearing thereon and taking of bids therefore. Roll call all ayes, motion passed.

Private Roadways in Cross Country Estates Plats 1 and 2

City Attorney Brown gave an overview of the resolution and agreement. The streets will be acquired over time with the first one being immediate and the others to be held in escrow. The streets on the east side of Hwy. 169 will be turned over to the Homeowner's Association before it changes to the City.

Motion by Coon, 2nd by Strutt to approve Resolution 2022-42 – approving an Agreement with Ronald and Carolyn Nielsen for the City's purchase of the Private Roadways in Cross Country Estates Plats 1 and 2 (Parcels 22-22, 22-23, and 22-24) for \$1. Roll call all ayes, motion passed.

Public Works

Public Works Director Slaughter reported work continues on Drainage District 76, they have removed roots and it is draining the field to the north. He stated the City plans to get a GIS map of the area. Slaughter also stated the water reservoir was cleaned, water quality report has been completed and they are working with V&K on a

duckweed issue at the sanitary sewer plant and they plan to complete the final half block of sidewalk on Fair View Drive.

Motion by Willrich, 2nd by Coon to approve Grimes Asphalt proposal for street maintenance and repair in an amount not to exceed \$213,000 for FY23 and authorizing payment of the invoice upon receipt. Motion passed 4-0.

Engineer Veenstra discussed the streets adjacent to townhome development in the proposed Skye View Estates Plat. The City's current code requires 31' wide streets with the exception of a cul-de-sac. The developer would like to propose a 26' wide street. Council stated they would be agreeable to P&Z discussing narrower streets. Council suggested Planning and Zoning may want to discuss parking requirements in multi-family developments.

City Engineer Veenstra gave an update on Northeast Area Sanitary Sewer Planning including a possible future Lift Station. The council was agreeable to continuing discussions with the developer.

The City Clerk will send out a survey to set a date in August for a workshop to update the Capital Improvements Program last approved March 9, 2021.

Motion by Willrich, 2nd by Beaudet to deny Julie Becker's written request for a partial disposition/partial sale of the two 16-foot alleys adjacent to her property at 1605 Walnut Street. City Attorney Brown stated the \$2 payment had been returned to the requester at the May 10, 2022 meeting. Motion passed 4-0.

Motion by Coon, 2nd by Beaudet to approve Ordinance No. 570 – changing references in the Code of Ordinances from “vicious dogs” to “high risk dogs” and placing a limitation on the number of high-risk dogs allowed for each residential dwelling to one, third reading. Roll call all ayes, motion passed. Council members Coon and Beaudet and City staff are willing to work with Eliza Johnson on an educational component regarding dog breeds as well as an additional update to the Code of Ordinances. y will work with Ms. Johnson.

Strutt stated reviews were done as well as salary comparisons to nearby areas and the Compensation Committee recommends approval of pay increases as stated on the agenda. Motion by Strutt, 2nd by Beaudet to approve the compensation committee's recommendations effective June 25th for payroll dated July 13, 2022: Brian Slaughter \$40.45/hr, Brett Kaszinski \$27.20/hr, Joel Hofland \$24.11/hr, Mike Buckalew \$14.21/hr, Cindy Riesselman \$39.23/hr, April Scrivner \$20.00/hr, Rochelle Cory \$21.72/hr, Tina Cantrell \$16.69/hr, Kathy Pantzar \$13.00/hr, Chloe Bennett Bircher \$12.80/hr, Sheila Miller \$12.50/hr. Motion passed 4-0.

Motion by Willrich, 2nd by Coon to approve Resolution 2022-36 – approving an agreement with Dallas Center Celebrations, Inc. in connection with the City's donation of \$8,000 to the non-profit organization for Fall Festival activities. Roll call all ayes, motion passed.

Motion by Coon, 2nd by Beaudet to approve Resolution 2022-37 – approving the City's application to become an associate member of Region XII Council of Governments for a membership fee of \$1,500 (services include no-cost grant writing) Roll call all ayes, motion passed.

Motion by Willrich, 2nd by Strutt to approve Corrected and Revised Resolution 2022-4 – corrected to include authority for the City Administrator/Finance Director to transfer LOSST receipts to the appropriate accounts and subaccounts. Roll call all ayes, motion passed.

Motion by Willrich, 2nd by Coon to approve Resolution 2022-32 [Transfer of Funds (Benevolent)] approved May 10, 2022, to Resolution 2022-35. Roll call all ayes, motion passed.

Motion by Willrich, 2nd by Beaudet to approve Resolution 2022-49 – authorizing ETC Institute of Olathe, Kansas, to conduct a Community Survey in an amount not to exceed \$6,500 Roll call all ayes, motion passed. Willrich and Beyer will work with ETC on the survey.

Motion by Willrich, 2nd by Coon to approve Resolution 2022-50 – updating policies and procedures for the examination and copying of public records maintained by the City of Dallas Center pursuant to Senate File 2322 effective July 1, 2022. Roll call all ayes, motion passed.

Motion by Coon, 2nd by Willrich to approve Resolution 2022-43 – correcting the addresses of all lots in Lynn Crest Estates Plat 5 from “Fairview Drive” to “Fair View Drive” (to correct an error on the Final Plat). Roll call all ayes, motion passed.

Motion by Coon, 2nd by Beaudet to approve Resolution 2022-44 – correcting the addresses of lots in the Hawbaker Subdivision from “Fairview Drive” to “Fair View Drive” (to correct errors in County records). Roll call all ayes, motion passed.

Motion by Coon, 2nd by Willrich to approve Resolution 2022-45 – correcting the addresses of five lots in Meadow View Acres Plat One from “Fairview Drive” to “Fair View Drive” (to correct errors in County records). Roll call all ayes, motion passed.

Motion by Coon, 2nd by Willrich to approve Resolution 2022-46 – correcting the address on one lot in Pioneer Plat 1 from “Fairview Drive” to “Fair View Drive” (to correct an error in County records). Roll call all ayes, motion passed.

Motion by Willrich, 2nd by Coon to authorize and approve payment of final invoices for FY2022 pending review by the June review committee – Strutt and Coon. Motion passed 4-0.

There was no Annexation Discussion/Update at this time.

Mayor’s report-Beyer stated he had a friend visit recently who stated what a great looking community we have.

The meeting adjourned at 8:54 pm.

Michele Schaben, City Clerk

Claims

A King's Throne, LLC	June Serv	\$345.00
Access Systems Leasing	Copier	\$40.97
Access Systems	Copier	\$355.36
Acco	Repairs	\$4,124.40
Ventilation Services	Repairs	\$10,531.08
Agsource Cooperative Svcs	Tests	\$1,767.75
Ahlers & Cooney, PC	May Serv	\$156.00
Baker & Taylor Co.	Books	\$689.35
Bay Bridge Administrators	Insurance	\$100.42
Bomgaars	Supplies	\$111.96
Brown, Fagen & Rouse	June Retainer	\$2,600.00
Busby, Kate	Reimburse	\$100.00
Center Point Large Print	Books	\$281.12
Centurylink	May Serv	\$767.52

Compass Minerals America	Salt	\$4,150.26
Concrete Impressions, LLC	Concrete	\$44,940.00
Core & Main	Repairs	\$633.10
Culligan Water System	June Serv	\$28.86
Curt Strutz	Programming	\$385.00
Dallas County News	Subscription	\$46.80
Dallas County Treasurer	May Serv	\$18,165.06
Dallas County Treasurer	Annual Serv	\$1,200.00
Deaton Truck and Auto Inc	Repairs	\$3,929.77
Delta Dental	Insurance	\$26.64
Delta Dental	Insurance	\$467.00
Digital Stew Services	May Serv	\$467.25
Dirks, Mckenna	Supplies	\$39.46
Ed M Feld Equip. Co., Inc	May Serv	\$1,094.60
EFTPS	Taxes	\$3,411.93
EFTPS	Taxes	\$3,618.94
EFTPS	Taxes	\$4,416.43
Fire Service Training Bureau	Training	\$100.00
Gatehouse- Db Iowa Holdings	Publications	\$663.28
Gatehouse- Db Iowa Holdings	Publications	\$513.37
GIS Benefits	Insurance	\$39.88
GIS Benefits	Insurance	\$24.92
Heartland Co-Op	May Serv	\$1,719.51
HSA Cory, Rochelle	Hsa	\$100.00
HSA Hofland, Joel	Hsa	\$50.00
HSA Riesselman, Cindy	Hsa	\$290.00
HSA Scrivner, April	Hsa	\$50.00
HSA Slaughter, Brian	Hsa	\$200.00
Iowa Finance Authority	Bonds	\$54,798.30
Iowa Finance Authority	Bonds	\$103,690.00
Iowa Landscape Supply	Walnut Streetscape	\$2,507.50
Iowa One Call	May Serv	\$53.10
Ipers	Ipers	\$4,885.73
Iron Mountain	May Serv	\$91.90
Jetco Inc	Repairs	\$2,996.22
Karen Mccleary	May Serv	\$675.00
Robert King	Reimburse	\$30.17
Kinman Glass	Repairs	\$528.36
Leaf	Copier	\$159.72
Leaf	Copier	\$159.72
Eddie Leedom	May Serv	\$328.82
Linde Gas & Equipment Inc.	May Serv	\$159.42
Macumber, Olivia	Reimburse	\$21.35
Mc2 Inc.	Reimburse	\$426.00
Menards	Repairs	\$1,237.14

Micromarking LLC	Books	\$269.44
Midamerican Energy	May Serv	\$5,330.71
Midco Diving & Marine Svc, Inc	May Serv	\$2,198.00
Minburn Communications	June Serv	\$54.99
Moss Bros, Inc	Supplies	\$9.25
Municipal Supply Inc	Supplies	\$2,304.00
Nationwide Retirement Sol	Deferred Comp	\$450.00
ODP Business Solutions LLC	Supplies	\$128.26
Dallas Center Post Office	Annual Box Rental	\$62.00
Rhinehart Excavating, Inc	Rock	\$26,270.00
Sail DC	Insurance	\$1,500.00
Treasurer - State of Iowa	Taxes	\$2,053.19
Treasurer - State of Iowa	Taxes	\$1,257.50
Science Center of Iowa	Programming	\$200.00
Secretary Of State	Notary Public Fee	\$30.00
Sensus USA Inc.	Software Support	\$1,949.94
Spracher Sewer Service	Drainage District #76	\$350.00
Swank Movie Licensing USA	Movie License	\$397.00
Swimming Pool Program	Plan Review	\$1,705.00
Tallgrass Land Stewardship	Walnut Streetscape	\$8,298.25
UMB Bank Na	Bonds	\$69,296.00
UMB Bank Na	Bonds	\$180,397.50
UMB Bank Na	Bonds	\$115,058.75
UHS Premium Billing	Insurance	\$362.62
UHS Premium Billing	Insurance	\$7,704.48
Unplugged Wireless	Programming	\$238.00
USA Blue Book	Supplies	\$679.53
Veenstra & Kimm	May Serv	\$11,155.05
Verizon Wireless	May Serv	\$280.07
Treasurer - State of Iowa	Taxes	\$1,065.00
Waste Management	May Serv	\$21,567.95
Waters Edge Aquatic Design	Pool Design	\$99,630.00
Wells Fargo	Supplies/Postage	\$1,461.54
Westrum Leak Detection	May Serv	\$692.50
Buse & Vrieze LLC	May Serv	\$1,190.00
	Accounts Payable Total	\$851,087.96

General	\$137,817.87
Capital Improvement	\$15,762.00
Rut	\$2,839.73
T&A(Eb)	\$10,924.17
Burnett Project	\$13,913.00
Debt Service	\$304,491.80
Cap Improve Pool	\$101,491.00
Water	\$137,679.30
Sewer	\$115,953.27
Storm District	\$10,215.82
Total Funds	\$851,087.96

Revenues

General Total	\$92,864.40
T&A(Ft) Total	\$3.50
T&A(Sc) Total	\$1.15
Capital Improvement Total	\$48.19
T&A(SI) Total	\$19.41
Rut Total	\$10,962.48
T&A(Eb) Total	\$4,498.58
Local Option Sales Tax Total	\$38,481.96
Tif Total	\$2,029.30
Burnett Project Total	\$132.33
T&A (Burnett Cap Improve) Total	\$51.84
Debt Service Total	\$18,230.03
Cap Improve Pool Total	\$150,000.00
Cap Imprv-Arpa	\$40.21
T&A(B) Total	\$0.86
T&A(Y) Total	\$0.85
Water Total	\$41,748.56
Sewer Total	\$31,989.12
Storm District Total	\$4,880.93
Total Revenue by Fund	\$395,983.70

The Dallas Center City Council met in special session June 27, 2022 at 7:30 am. Mayor Beyer called the meeting to order. Council members present included Amy Strutt, Daniel Willrich, Angie Beaudet and Ryan Kluss. Ryan Coon was not present.

Motion by Kluss, 2nd by Beaudet to approve the agenda. Motion passed 4-0.

Motion by Kluss, 2nd by Strutt to approve hiring first-year lifeguards Mya Williamson, William Kielty, Ellie Carlton and Colby Schwantes at 12:50/hour effective June 27, 2022, pending background checks and lifeguard.

Motion by Strutt, 2nd by Beaudet to approve hiring Neela Williamson as additional admissions staff at \$10.50/hour effective June 27, 2022. Motion passed 4-0.

Motion by Strutt, 2nd by Kluss to approve Resolution 2022-51 authorizing a fund transfer to Capital Improvement Pool. Roll call all ayes, motion passed.

The meeting adjourned at 7:31 am.

Michele Schaben, City Clerk

TREASURER'S REPORT
CALENDAR 6/2022, FISCAL 12/2022

FUND	LAST REPORT ON HAND	REVENUES	EXPENSES	CHANGE IN LIABILITY	ENDING BALANCE
001 GENERAL	718,918.36	70,859.09	220,217.81	.00	569,559.64
011 T&A (PD) BENEVOLENT	.00	.00	.00	.00	.00
015 T&A(FT)	369,621.34	803.09	.00	.00	370,424.43
021 T&A(SC)	14,811.07	40.77	1,000.00	.00	13,851.84
029 CAPITAL IMPROVEMENT	185,450.26	40,361.07	.00	.00	225,811.33
041 T&A(SL)	7,161.29	1.43	.00	.00	7,162.72
110 RUT	193,953.32	33,379.81	6,320.62	.00	221,012.51
112 T&A(EB)	28,329.96	81,608.17	17,747.97	.00	92,190.16
119 EMERGENCY LEVY FUND	.00	.00	.00	.00	.00
121 LOCAL OPTION SALES TAX	904,033.34	40,188.68	423,122.99	.00	521,099.03
125 TIF	39,807.16	2,011.20	25,310.92	.00	16,507.44
166 T&A(REC PROGRAM) REV	.00	.00	.00	.00	.00
167 BURNETT PROJECT	627,760.57	107.98	13,913.00	.00	613,955.55
168 T&A(BC)	.00	.00	.00	.00	.00
169 T&A(BURNETT CAP IMPROVE)	316,528.41	463.51	.00	.00	316,991.92
177 T&A(PD)	.00	.00	.00	.00	.00
180 REC TRAIL	.00	.00	.00	.00	.00
200 DEBT SERVICE	125,322.07	10,397.29	55,048.30	.00	80,671.06
301 CAP IMPROVE WASTEWATER	.00	.00	.00	.00	.00
308 CAP IMPROVE - LIBRARY	.00	.00	.00	.00	.00
309 CAP IMPROVE POOL	34,940.00	300,038.90	140,908.00	.00	194,070.90
310 CAP IMPRV-AMERICAN RESCUE	133,069.60	26.66	.00	.00	133,096.26
501 T&A(B)	15,598.33	.72	.00	.00	15,599.05
502 T&A(Y)	13,567.96	.71	.00	.00	13,568.67
600 WATER	424,307.02	39,559.56	32,733.42	.00	431,133.16
602 WATER CAPITAL OUTLAY	252,743.79	.00	.00	.00	252,743.79
610 SEWER	702,411.70	31,204.19	127,700.69	.00	605,915.20
740 STORM DISTRICT	65,753.79	5,011.36	12,469.52	.00	58,295.63
Report Total	5,174,089.34	656,064.19	1,076,493.24	.00	4,753,660.29

BALANCE SHEET
CALENDAR 6/2022, FISCAL 12/2022

ACCOUNT NUMBER	ACCOUNT TITLE	MTD BALANCE	YTD BALANCE
001-000-1110	CHECKING-GENERAL	8,144.58-	15,473.88
011-000-1110	CHECKING-T&A(PD) BENEVOLENT	.00	.00
015-000-1110	CHECKING-T&A(FT)	.00	.00
021-000-1110	CHECKING-T&A(SC)	.00	.00
029-000-1110	CHECKING-DEPR POLICE	.00	.00
029-000-1111	CHECKING-DEPR NON RUT EQUIP	.00	.00
029-000-1112	CHECKING-DEPR PARK	.00	.00
029-000-1113	CHECKING-DEPR SWIM POOL	.00	.00
029-000-1114	CHECKING-DEPR P/W BLDG	15,762.00	.00
029-000-1115	CHECKING-DEPR FD EQUIP	.00	.00
041-000-1110	CHECKING-T&A(SL)	222.75-	.00
110-000-1110	CHECKING-RUT	4,803.06-	.00
110-000-1111	CHECKING-DEPR RUT EQUIP	.00	.00
110-000-1112	CHECKING-SIDEWALK PROJ	.00	.00
112-000-1110	CHECKING-T&A(EB)	16,788.37-	7,956.57
119-000-1110	CHECKING-EMERG LEVY	.00	.00
121-000-1110	CHECKING-LOST	71,012.27-	.00
121-000-1111	CHECKING-LOST PROP TAX RELIEF	.00	.00
121-000-1112	CHECKING-LOST SWIM POOL	.00	.00
125-000-1110	CHECKING-TIF	2,020.25-	.00
166-000-1110	CHECKING-T&A(REC PROGRAM)	.00	.00
167-000-1110	CHECKING-T&A(BURNETT REC)	.00	.00
167-000-1111	CHECKING-T&A(BURNETT REC/POOL)	.00	.00
168-000-1110	CHECKING-T&A(BURNETT LIBRARY)	.00	.00
169-000-1110	CHECKING-T&A(BURNETT CAP IMP)	.00	.00
177-000-1110	CHECKING-T&A(PD) FORFEITURE	.00	.00
180-000-1110	CHECKING-REC TRAIL	.00	.00
200-000-1110	CHECKING-DEBT SERVICE	54,798.00-	.00
305-000-1110	CHECKING-PLAYGROUND EQUIP	.00	.00
307-000-1110	CHECKING-2012 HWY 44 TURN LANE	.00	.00
301-000-1110	CHECKING-CAP IMPROVE SEWER	.00	.00
308-000-1110	CHECKING-CAP IMPROVE - LIBRARY	.00	.00
309-000-1110	CHECKING-CAP IMPROVE POOL	.50	.00
310-000-1110	CHECKING-CAP IMPRV ARPA	.00	.00
501-000-1110	CHECKING-T&A(B)	.00	.00
502-000-1110	CHECKING-T&A(Y)	.00	.00
600-000-1110	CHECKING-WATER	18,306.92-	19,715.78
600-000-1111	CHECKING-WATER SINKING	.00	.00
600-000-1112	CHECKING-T&A(M)	.00	.00
600-000-1113	CHECKING-WATER IMPROVEMENT	.00	.00
600-000-1114	CHECKING-WATER RESERVE	.00	.00
602-000-1110	CHECKING-WATER CAP OUTLAY	.00	.00
610-000-1110	CHECKING-SEWER	22,885.13-	13,415.71
610-000-1111	CHECKING-SEWER SINKING	103,690.00-	.00
610-000-1112	CHECKING-SEWER RESERVE	.00	.00
610-000-1113	CHECKING-SEWER IMPROVEMENT	.00	.00
740-000-1110	CHECKING-STORM DISTRICT	969.23-	3,016.74
	CHECKING TOTAL	287,878.06-	59,578.68

BALANCE SHEET
CALENDAR 6/2022, FISCAL 12/2022

ACCOUNT NUMBER	ACCOUNT TITLE	MTD BALANCE	YTD BALANCE
001-000-1120	PETTY CASH	.00	150.00
	PETTY CASH TOTAL	.00	150.00
001-000-1160	SAVINGS-GENERAL	231,214.14-	213,935.76
011-000-1160	SAVINGS-T&A(PD) BENEVOLENT	.00	.00
015-000-1160	SAVINGS-T&A(FT)	803.09	15,424.43
021-000-1160	SAVINGS-T&A(SC)	959.23-	3,851.84
029-000-1160	SAVINGS-DEPR POLICE	.00	.00
029-000-1161	SAVINGS-DEPR NON RUT EQUIP	6.93	34,577.81
029-000-1162	SAVINGS-DEPR PARK	1.30	6,499.74
029-000-1163	SAVINGS-DEPR SWIM POOL	14.55	72,633.05
029-000-1164	SAVINGS-DEPR P/W BLDG	24,574.94	105,341.58
029-000-1165	SAVINGS-DEPR FIRE	1.35	6,759.15
041-000-1160	SAVINGS-T&A(SL)	224.18	7,162.72
110-000-1160	SAVINGS-RUT	31,854.48	182,214.83
110-000-1161	SAVINGS-DEPR RUT EQUIP	7.77	38,797.68
110-000-1162	SAVINGS-SIDEWALK PROJ	.00	.00
112-000-1160	SAVINGS-T&A(EB)	80,648.57	84,233.59
119-000-1160	SAVINGS-EMERG LEVY	.00	.00
121-000-1160	SAVINGS-LOST	376,569.05-	.00
121-000-1161	SAVINGS-LOST PROP TAX RELIEF	.00	.00
121-000-1162	SAVINGS-LOST SWIM POOL	489,647.01	521,099.03
125-000-1160	SAVINGS-TIF	21,279.47-	16,507.44
166-000-1160	SAVINGS-T&A(REC PROGRAM)	.00	.00
167-000-1160	SAVINGS-T&A(BURNETT REC)	13,873.65-	196,402.38
167-000-1161	SAVINGS-T&A(BURNETT REC/POOL)	68.63	342,553.17
168-000-1160	SAVINGS-T&A(BURNETT LIBRARY)	.00	.00
169-000-1160	SAVINGS-T&A(BURNETT CAP IMP)	100,463.51	316,991.92
177-000-1160	SAVINGS-T&A(PD)FORFEITURE	.00	.00
180-000-1160	SAVINGS-REC TRAIL	.00	.00
200-000-1160	SAVINGS-DEBT SERV	10,146.99	80,671.06
305-000-1160	SAVINGS-PLAYGROUND EQUIP	.00	.00
307-000-1160	SAVINGS-2012 HWY 44 TURN LANE	.00	.00
301-000-1160	SAVINGS-CAP IMPROVE SEWER	.00	.00
308-000-1160	SAVINGS-CAP IMPROVE - LIBRARY	.00	.00
309-000-1160	SAVINGS-CAP IMPROVE POOL	159,130.40	194,070.90
310-000-1160	SAVINGS-CAP IMPRV ARPA	26.66	133,096.26
501-000-1160	SAVINGS-T&A(B)	.72	3,599.05
502-000-1160	SAVINGS-T&A(Y)	.71	3,568.67
600-000-1160	SAVINGS-WATER	15,141.19	388,504.72
600-000-1161	SAVINGS-WATER SINKING	9,991.87	8,371.10
600-000-1162	SAVINGS-T&A(M)	.00	4,053.88
600-000-1163	SAVINGS-WATER IMPROVEMENT	.00	10,487.68
600-000-1164	SAVINGS-WATER RESERVE	.00	.00
602-000-1160	SAVINGS-WATER CAP OUTLAY	.00	252,743.79
610-000-1160	SAVINGS-SEWER	181,036.37-	363,673.16
610-000-1161	SAVINGS-SEWER SINKING	11,115.00	15,483.67
610-000-1162	SAVINGS-SEWER RESERVE	.00	.00
610-000-1163	SAVINGS-SEWER IMPROVEMENT	.00	13,342.66

BALANCE SHEET
CALENDAR 6/2022, FISCAL 12/2022

ACCOUNT NUMBER	ACCOUNT TITLE	MTD BALANCE	YTD BALANCE
740-000-1160	SAVINGS-STORM DISTRICT	6,488.93-	55,278.89
	SAVINGS TOTAL	----- 102,449.01	----- 3,691,931.61
001-000-1170	CD#47719-GENERAL	.00	250,000.00
001-000-1171	CD#47831-GENERAL	90,000.00	90,000.00
015-000-1170	CD#47831-T&A (FT)	.00	200,000.00
015-000-1171	CD#47719-T&A (FT)	.00	155,000.00
021-000-1170	CD#47831-T&A (SC)	.00	10,000.00
029-000-1170	CD-DEPR POLICE	.00	.00
029-000-1171	CD-DEPR NON RUT EQUIP	.00	.00
029-000-1172	CD-DEPR PARK	.00	.00
029-000-1173	CD-DEPR SWIM POOL	.00	.00
029-000-1174	CD-DEPR P/W BLDG	.00	.00
029-000-1175	CD#-DEPR P/W BLDG	.00	.00
029-000-1176	CD-DEPR FIRE	.00	.00
110-000-1170	CD-RUT	.00	.00
110-000-1171	CD-DEPR RUT EQUIP	.00	.00
121-000-1172	CD-LOST SWIM POOL	425,000.00-	.00
121-000-1173	CD-LOST SWIM POOL	.00	.00
167-000-1170	CD#47719-T&A(BURNETT REC)	.00	75,000.00
167-000-1171	CD-T&A(BURNETT REC/POOL)	.00	.00
167-000-1172	CD-T&A(BURNETT REC)	.00	.00
168-000-1170	CD-T&A(BURNETT LIBRARY)	.00	.00
169-000-1170	CD-T&A(BURNETT CAP IMPR)	.00	.00
169-000-1171	CD-T&A(BURNETT CAP IMPR)	100,000.00-	.00
308-000-1170	CD-CAP IMPROVE LIBRARY	.00	.00
310-000-1170	CD-CAP IMPRV ARPA	.00	.00
501-000-1170	CD#47719-T&A(B)	.00	12,000.00
502-000-1170	CD#47719-T&A(Y)	.00	10,000.00
600-000-1170	CD-WATER	.00	.00
600-000-1171	CD-WATER	.00	.00
610-000-1170	CD#47831-SEWER	200,000.00	200,000.00
	CD'S TOTAL	----- 235,000.00-	----- 1,002,000.00
	TOTAL CASH	=====	=====
		420,429.05-	4,753,660.29
		=====	=====

BUDGET REPORT
CALENDAR 6/2022, FISCAL 12/2022

PCT OF FISCAL YTD 100.0%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT EXPENDED
001-110-6010	POLICE-WAGES	.00	.00	.00	.00
001-110-6181	POLICE-CLOTHING	.00	.00	.00	.00
001-110-6210	POLICE-DUES,M'SHIPS, SPE	.00	.00	.00	.00
001-110-6230	POLICE-TRAINING	.00	.00	.00	.00
001-110-6310	POLICE-OFFICE RENTAL/MAI	.00	.00	.00	.00
001-110-6331	POLICE-VEHICLE OPERATION	.00	.00	.00	.00
001-110-6332	POLICE-VEHICLE/EQUIP REP	.00	.00	.00	.00
001-110-6371	POLICE-UTILITIES	.00	.00	.00	.00
001-110-6373	POLICE-TELEPHONE	.00	.00	.00	.00
001-110-6413	PAYMENTS - OTHER AGENCIE	157,564.00	13,130.33	157,015.71	99.65
001-110-6419	POLICE-TECHNOLOGY SERVIC	.00	.00	.00	.00
001-110-6499	POLICE-RESERVE OFFICERS	.00	.00	.00	.00
001-110-6505	POLICE-PIONEER GRANT	.00	.00	.00	.00
001-110-6506	POLICE-OFFICE SUPPLIES	.00	.00	.00	.00
001-110-6507	POLICE-OPERATING SUPPLIE	.00	.00	.00	.00
001-110-6599	POLICE-PUBLIC RELATIONS	.00	.00	.00	.00
011-110-6599	T&A(PD) BENEVOLENT	787.00	.00	.00	.00
029-110-6799	DEPR-POLICE EXPENSE	.00	.00	.00	.00
112-110-6110	POLICE-FICA	9,770.00	814.16	9,724.42	99.53
112-110-6130	POLICE-IPERS	11,890.00	985.51	11,788.83	99.15
112-110-6150	POLICE-GROUP INSURANCE	36,953.00	3,079.44	36,934.33	99.95
112-110-6155	POLICE-CITY SHARE HSA	.00	.00	.00	.00
112-110-6160	POLICE-WORKER'S COMP	1,078.00	89.82	1,077.84	99.99
112-110-6170	POLICE-UNEMPLOYMENT	190.00	15.80	187.20	98.53
112-110-6181	POLICE-UNIFORM ALLOWANCE	600.00	50.00	550.00	91.67
177-110-6505	T&A(PD) FORFEITURES EXPE	.00	.00	.00	.00
	POLICE TOTAL	218,832.00	18,165.06	217,278.33	99.29
001-150-6010	FIRE DEPT-SALARIES	15,000.00	.00	3,510.00	23.40
001-150-6150	FIRE DEPT-GROUP INSURANC	750.00	.00	.00	.00
001-150-6210	FIRE DEPT-DUES	300.00	.00	391.00	130.33
001-150-6230	FIRE DEPT-TRAINING	3,000.00	100.00	344.60	11.49
001-150-6310	FIRE DEPT-BUILDING MAINT	2,500.00	.00	503.75	20.15
001-150-6331	FIRE DEPT-VEHICLE OPERAT	3,000.00	411.43	1,775.56	59.19
001-150-6332	FIRE DEPT-VEHICLE MAINT/	11,000.00	149.28	3,810.17	34.64
001-150-6373	FIRE DEPT-TELEPHONE	1,600.00	139.01	1,649.69	103.11
001-150-6412	FIRE DEPT-HEALTH/FITNESS	1,000.00	.00	.00	.00
001-150-6415	FIRE DEPT-HYDRANT RENT	.00	.00	.00	.00
001-150-6419	FIRE DEPT-TECHNOLOGY SER	4,000.00	229.90	4,698.84	117.47
001-150-6505	FIRE DEPT-PAGERS/REPAIRS	5,000.00	238.00	895.52	17.91
001-150-6507	FIRE DEPT-OPERATING SUPP	3,000.00	1,259.98	2,072.32	69.08
001-150-6599	FIRE DEPT-REPAIRS/SUPP N	58,000.00	.00	6,473.13	11.16
015-150-6505	T&A(FT)-EXPENSES	.00	.00	.00	.00
029-150-6504	DEPR-FD MINOR EQUIPMENT	55,000.00	.00	53,639.00	97.53
112-150-6110	FIRE-FICA	1,148.00	.00	268.68	23.40
112-150-6130	FIRE-IPERS	559.00	.00	16.72	2.99
112-150-6150	FIRE-GROUP INSURANCE	.00	.00	2,073.00	.00
112-150-6155	FIRE-CITY SHARE HSA	.00	.00	2.37	.00
112-150-6160	FIRE-WORKER'S COMP	6,500.00	.00	4,000.00	61.54
	FIRE TOTAL	171,357.00	2,527.60	86,124.35	50.26
001-170-6407	BUILDING INSPECTION FEES	50,000.00	6,302.40	30,760.20	61.52
	BUILDING INSPECTIONS TOT	50,000.00	6,302.40	30,760.20	61.52

BUDGET REPORT
CALENDAR 6/2022, FISCAL 12/2022

PCT OF FISCAL YTD 100.0%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT EXPENDED
001-190-6499	ANIMAL IMPOUNDMENT	500.00	.00	.00	.00
	ANIMAL CONTROL TOTAL	500.00	.00	.00	.00
	PUBLIC SAFETY TOTAL	440,689.00	26,995.06	334,162.88	75.83
001-210-6010	STREETS-WAGES	47,376.00	3,332.85	25,062.00	52.90
001-210-6210	PARKS-DUES	.00	.00	.00	.00
001-210-6230	STREETS-EDUCATION/TRAINI	700.00	.00	177.00	25.29
001-210-6332	STREETS-VEHICLE MAINT	.00	.00	.00	.00
001-210-6417	STREETS-PROJECTS	115,670.00	.00	115,670.00	100.00
001-210-6419	STREETS-TECHNOLOGY SERV	1,800.00	30.01	960.12	53.34
001-210-6499	STREETS-CONTRACT LABOR	1,000.00	.00	546.00	54.60
001-210-6507	STREETS-SUPPLIES R16	.00	.00	.00	.00
001-210-6599	STREETS-MISC SUPPLIES	1,500.00	.00	453.49	30.23
021-210-6417	T&A(SC)-REFUNDS	1,000.00	1,000.00	1,000.00	100.00
029-210-6710	DEPR-NON RUT EQUIP	35,000.00	.00	34,033.17	97.24
110-210-6331	RUT-VEHICLE OPERATIONS	3,000.00	271.98	3,366.81	112.23
110-210-6407	RUT-ENGINEERING	.00	.00	.00	.00
110-210-6408	RUT-LIABILITY INSURANCE	.00	.00	.00	.00
110-210-6417	RUT-STREET REPAIRS/MAINT	109,400.00	1,638.17	105,034.53	96.01
110-210-6425	RUT-SIDEWALK IMPROVEMENT	2,000.00	.00	376.00	18.80
110-210-6490	RUT-FAIR VIEW DR SIDEWAL	13,000.00	.00	8,293.40	63.80
110-210-6504	RUT-STREET EQUIP	.00	.00	.00	.00
110-210-6710	RUT-DEPR EQUIP EXPENSES	35,000.00	.00	34,033.18	97.24
112-210-6110	STREETS-FICA - STREETS	3,624.00	254.97	1,947.89	53.75
112-210-6130	STREETS-IPERS	4,472.00	313.53	2,354.85	52.66
112-210-6150	STREETS-GROUP INSURANCE	11,926.00	930.21	10,965.55	91.95
112-210-6155	CITY SHARE- HSA	2,325.00	29.01	1,370.99	58.97
112-210-6160	STREETS-WORKER'S COMP	5,000.00	.00	3,525.00	70.50
112-210-6170	STREETS-UNEMPLOYMENT	.00	.00	.00	.00
112-210-6181	STREETS-UNIFORM ALLOWANC	400.00	.00	400.00	100.00
	ROADS, BRIDGES, SIDEWALK	394,193.00	7,800.73	349,569.98	88.68
110-230-6371	RUT-STREET LIGHTS	22,000.00	1,367.75	17,170.97	78.05
110-230-6509	RUT-STREET SIGNS	2,500.00	.00	1,156.26	46.25
	STREET LIGHTING TOTAL	24,500.00	1,367.75	18,327.23	74.81
110-250-6331	RUT-SNOW REM VEHICLE OPE	3,500.00	.00	1,037.12	29.63
110-250-6332	RUT-SNOW REM VEHICLE REP	4,000.00	.00	86.04	2.15
110-250-6499	RUT-SNOW REM CONTRACT LA	4,000.00	3,042.72	4,962.72	124.07
110-250-6599	RUT-SNOW REM SUPPLIES	10,000.00	.00	9,490.94	94.91
	SNOW REMOVAL TOTAL	21,500.00	3,042.72	15,576.82	72.45
001-290-6010	GARBAGE-WAGES	16,098.00	1,882.79	13,660.57	84.86
001-290-6411	GARBAGE-COURT CLAIMS	2,195.00	.00	2,195.00	100.00
001-290-6418	GARBAGE-SALES TAX	8,000.00	490.31	6,176.06	77.20
001-290-6499	GARBAGE-FEES	246,846.00	21,567.95	240,937.19	97.61
001-290-6506	GARBAGE-OFFICE SUPPLIES	1,200.00	.00	1,276.05	106.34
001-290-6508	GARBAGE-POSTAGE	1,500.00	.00	1,400.00	93.33
112-290-6110	GARBAGE-FICA	1,231.00	144.03	1,044.93	84.88
112-290-6130	GARBAGE-IPERS	1,520.00	177.75	1,286.17	84.62
112-290-6150	GARBAGE-GROUP INSURANCE	10,552.00	456.62	6,446.63	61.09
112-290-6155	GARBAGE-CITY SHARE HSA	1,850.00	19.84	983.72	53.17

BUDGET REPORT
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PCT OF FISCAL YTD 100.0%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT EXPENDED
	GARBAGE TOTAL	290,992.00	24,739.29	275,406.32	94.64
001-299-6010	GARAGE-WAGES	29,458.00	3,317.70	28,719.14	97.49
001-299-6310	GARAGE-BUILDING REPAIRS	10,000.00	49.00	10,706.33	107.06
001-299-6331	GARAGE-VEHICLE OPERATION	3,500.00	271.98	3,491.36	99.75
001-299-6332	GARAGE-VEHICLE REPAIRS	26,000.00	4,664.11	23,757.89	91.38
001-299-6371	GARAGE-UTILITIES	3,500.00	170.03	3,828.59	109.39
001-299-6373	GARAGE-TELEPHONE	.00	.00	.00	.00
001-299-6399	GARAGE-MINOR REPAIRS/MAI	4,500.00	.00	3,651.89	81.15
001-299-6490	STREET TREES	28,000.00	1,190.00	27,808.00	99.31
001-299-6507	GARAGE-OPERATING SUPPLIE	5,000.00	443.00	5,023.27	100.47
029-299-6799	DEPR-P/W BLDG EXPENSE	65,000.00	.00	20,896.40	32.15
112-299-6110	GARAGE-FICA	2,254.00	253.85	2,197.23	97.48
112-299-6130	GARAGE-IPERS	2,781.00	311.82	2,681.55	96.42
112-299-6150	GARAGE-GROUP INSURANCE	7,884.00	581.70	6,866.90	87.10
112-299-6155	GARAGE-CITY SHARE HSA	1,463.00	29.01	1,446.39	98.86
112-299-6160	GARAGE-WORKER'S COMP	1,600.00	.00	1,445.00	90.31
	OTHER PUBLIC WORKS TOTAL	190,940.00	11,282.20	142,519.94	74.64
	PUBLIC WORKS TOTAL	922,125.00	48,232.69	801,400.29	86.91
001-350-6501	MOSQUITO SPRAYING	8,000.00	.00	7,250.00	90.63
	WATER,AIR,MOSQUITO CONTR	8,000.00	.00	7,250.00	90.63
001-399-6590	COVID-19 EXPENSES	.00	.00	.00	.00
	OTHER HEALTH/SOCIAL SERV	.00	.00	.00	.00
	HEALTH & SOCIAL SERVICES	8,000.00	.00	7,250.00	90.63
001-410-6010	LIBRARY-WAGES	89,269.00	9,307.81	78,783.52	88.25
001-410-6230	LIBRARY-TRAINING/EDUCATI	250.00	.00	60.00	24.00
001-410-6310	LIBRARY-BLDG REPAIR/MAIN	8,000.00	1,100.00	7,214.33	90.18
001-410-6320	LIBRARY-GROUNDS MAINT	500.00	17.08	17.08	3.42
001-410-6340	LIBRARY-COMPUTER MAINT	6,000.00	59.17	2,230.12	37.17
001-410-6371	LIBRARY-UTILITIES	16,000.00	607.65	8,727.86	54.55
001-410-6373	LIBRARY-TELEPHONE	2,500.00	308.71	3,814.98	152.60
001-410-6390	LIBRARY-DALLAS CO FOUND	.00	.00	.00	.00
001-410-6419	LIBRARY-TECHNOLOGY SERV	1,400.00	159.72	1,448.44	103.46
001-410-6502	LIBRARY-BOOKS	16,000.00	1,766.11	12,250.22	76.56
001-410-6505	LIBRARY-OFFICE FURNITURE	2,000.00	379.99	548.56	27.43
001-410-6507	LIBRARY-SUPPLIES/PROG/DU	6,500.00	919.85	6,523.55	100.36
001-410-6508	LIBRARY-POSTAGE	1,000.00	.00	96.01	9.60
001-410-6599	LIBRARY-EQUIPMENT	.00	.00	.00	.00
041-410-6502	T&A(SL)-EXPENSES	.00	.00	.00	.00
112-410-6110	LIBRARY-FICA	6,829.00	712.07	6,027.01	88.26
112-410-6130	LIBRARY-IPERS	8,427.00	878.62	7,436.99	88.25
112-410-6150	LIBRARY-GROUP INSURANCE	20,688.00	1,896.07	22,667.38	109.57
112-410-6155	LIBRARY-CITY SHARE HSA	5,000.00	100.00	5,000.00	100.00
112-410-6160	LIBRARY-WORKER'S COMP	250.00	.00	143.00	57.20
121-410-6770	LOST-CAP OUTLAY LIBRARY	.00	.00	.00	.00
168-410-6721	T&A(BURNETT LIBRARY)-EXP	.00	.00	.00	.00

BUDGET REPORT
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PCT OF FISCAL YTD 100.0%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT EXPENDED
501-410-6502	T&A BOOKS-EXPENSE	.00	.00	.00	.00
	LIBRARY TOTAL	190,613.00	18,212.85	162,989.05	85.51
001-430-6010	PARKS-WAGES	45,721.00	7,829.95	50,611.32	110.70
001-430-6210	PARKS-DUES	.00	.00	.00	.00
001-430-6230	PARKS-EDUCATION/TRAINING	200.00	.00	.00	.00
001-430-6310	PARKS-BLDG MAINT/REPAIR	12,000.00	5,141.38	5,478.51	45.65
001-430-6320	PARKS-GROUND MAINT/REPAI	17,000.00	559.00	11,762.48	69.19
001-430-6331	PARKS-VEHICLE OPERATION	2,000.00	531.00	2,882.02	144.10
001-430-6350	PARKS-EQUIP REPAIRS	1,000.00	9.25	959.45	95.95
001-430-6371	PARKS-UTILITIES	2,500.00	135.66	1,767.30	70.69
001-430-6385	PARKS-PRAIRIE MEADOW GRA	.00	.00	.00	.00
001-430-6390	PARKS-DALLAS COUNTY FOUN	5,000.00	5,000.00	5,000.00	100.00
001-430-6399	PARKS-PARK EQUIP/MAINT	20,000.00	.00	14,547.24	72.74
001-430-6450	PARKS-TREE MAINT	8,500.00	.00	8,540.00	100.47
001-430-6460	TREES PLEASE GRANT EXPEN	2,000.00	.00	2,016.00	100.80
001-430-6461	TREES FOREVER GRANT EXPE	1,500.00	.00	1,265.50	84.37
001-430-6495	PARKS-ACTIVITIES	200.00	266.97	266.97	133.49
001-430-6505	PARKS-WELLMARK GRANT	25,000.00	23,027.00	23,027.00	92.11
001-430-6507	PARKS-MISC OPERATING SUP	2,000.00	3,254.17	5,499.08	274.95
029-430-6720	DEPR-PARK EXPENSES	.00	.00	.00	.00
112-430-6110	PARKS-FICA	3,498.00	599.00	3,871.80	110.69
112-430-6130	PARKS-IPERS	3,523.00	526.93	4,297.49	121.98
112-430-6150	PARKS-GROUP INSURANCE	2,078.00	160.64	1,880.89	90.51
112-430-6155	PARKS-CITY SHARE HSA	413.00	20.01	1,083.81	262.42
112-430-6160	PARKS-WORKER'S COMP	675.00	.00	992.00	146.96
112-430-6181	PARKS-UNIFORM ALLOWANCE	400.00	.00	.00	.00
167-430-6320	T&A(BURNETT REC)-PARK IM	80,000.00	13,913.00	13,913.00	17.39
305-430-6505	PLAYGROUND-EXPENSES	.00	.00	.00	.00
	PARKS TOTAL	235,208.00	60,973.96	159,661.86	67.88
001-440-6010	SWIM POOL-WAGES	52,650.00	15,135.56	40,095.70	76.16
001-440-6230	SWIM POOL-TRAINING	500.00	285.00	460.00	92.00
001-440-6310	SWIM POOL-EQUIP/BLDG REP	10,000.00	1,174.90	1,331.35	13.31
001-440-6350	SWIM POOL-OPER EQUIP REP	1,000.00	.00	.00	.00
001-440-6371	SWIM POOL-UTILITIES	3,500.00	164.23	2,950.89	84.31
001-440-6373	SWIM POOL-TELEPHONE	500.00	29.55	347.92	69.58
001-440-6418	SWIM POOL-SALES TAX	2,500.00	454.37	1,419.32	56.77
001-440-6501	SWIM POOL-CHEM/INSPEC	6,000.00	3,326.45	4,207.50	70.13
001-440-6507	SWIM POOL-OPERATING SUPP	3,000.00	705.60	1,640.69	54.69
029-440-6599	DEPR-POOL DONATION EXPEN	.00	.00	.00	.00
029-440-6710	DEPR-SWIM POOL EXPENSES	.00	.00	.00	.00
112-440-6110	SWIM POOL-FICA	4,028.00	1,157.89	3,067.40	76.15
112-440-6130	SWIM POOL-IPERS	722.00	120.45	824.37	114.18
112-440-6150	SWIM POOL-GROUP INS	4,015.00	76.08	1,416.34	35.28
112-440-6155	SWIM POOL-CITY SHARE HSA	663.00	4.01	249.58	37.64
112-440-6160	SWIM POOL-WORKER'S COMP	2,000.00	.00	664.00	33.20
166-440-6599	T&A(REC PROGRAM) EXPENSE	.00	.00	.00	.00
167-440-6801	T&A(BURNETT REC) PRINCIP	.00	.00	.00	.00
169-440-6750	T&A(BURNETT CAP IMPR)-PA	55,000.00	.00	.00	.00
180-440-6320	REC TRAIL-EXPENSES	.00	.00	.00	.00
180-440-6380	REC TRAIL-PROJ MAIN ST G	.00	.00	.00	.00
180-440-6407	ENGINEERING	.00	.00	.00	.00

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ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT EXPENDED
180-440-6499	REC TRAIL-TRAILHEAD ARTW	.00	.00	.00	.00
180-440-6801	REC TRAIL-BURNETT PRINC	.00	.00	.00	.00
180-440-6851	REC TRAIL-BURNETT INT	.00	.00	.00	.00
502-440-6505	T&A YOUTH-EXPENSES	.00	.00	.00	.00
	RECREATION TOTAL	146,078.00	22,634.09	58,675.06	40.17
	CULTURE & RECREATION TOT	571,899.00	101,820.90	381,325.97	66.68
001-520-6210	ECON DEV-DUES	4,500.00	.00	4,057.50	90.17
001-520-6371	ECON DEV-UTILITIES	150.00	.00	162.05	108.03
001-520-6402	ECON DEV-ADVERTISING/SIG	1,000.00	.00	.00	.00
001-520-6407	ECON DEV-ENGINEERING	40,000.00	.00	22,647.48	56.62
001-520-6413	ECON DEV-PAYMENT OTHER A	7,500.00	.00	1,734.00	23.12
001-520-6470	ECON DEV-COMPLIANCE	10,000.00	347.07	4,813.74	48.14
001-520-6490	ECON DEV-MISC EXPENSE	3,000.00	.00	.00	.00
001-520-6495	ECON DEV-ACTIVITIES	.00	.00	7,248.00	.00
001-520-6499	ECON DEV-OTHER PROF SERV	5,000.00	.00	2,407.00	48.14
001-520-6761	ECON DEV-WALNUT ST INTER	100,000.00	42,089.25	42,089.25	42.09
125-520-6411	TIF-LEGAL EXPENSES	.00	.00	.00	.00
125-520-6499	TIF-PIONEER REBATE AGREE	.00	.00	.00	.00
125-520-6799	TIF-STREETSCAPE	.00	.00	.00	.00
169-520-6499	T&A(BURNETT CAP IMP)-WAL	25,000.00	.00	.00	.00
	ECONOMIC DEVELOPMENT TOT	196,150.00	42,436.32	85,159.02	43.42
001-540-6371	P&Z-UTILITIES	.00	.00	.00	.00
001-540-6407	P&Z ENGINEERING	45,000.00	5,436.45	35,289.85	78.42
001-540-6414	P&Z-PUBLICATIONS	100.00	76.88	76.88	76.88
001-540-6490	P&Z-MISC	.00	.00	.00	.00
	PLANNING & ZONING TOTAL	45,100.00	5,513.33	35,366.73	78.42
	COMMUNITY & ECONOMIC DEV	241,250.00	47,949.65	120,525.75	49.96
001-610-6010	MAYOR/COUNCIL-WAGES	9,600.00	400.00	9,600.00	100.00
001-610-6210	MAYOR/COUNCIL-DUES	1,500.00	.00	1,169.00	77.93
001-610-6230	MAYOR/COUNCIL-TRAINING	.00	.00	300.00	.00
001-610-6401	MAYOR/COUNCIL-AUDITS	10,000.00	15,573.36	15,573.36	155.73
001-610-6414	MAYOR/COUNCIL-PUBLICATIO	6,000.00	436.49	6,516.25	108.60
001-610-6419	MAYOR/COUNCIL-TECHNOLOGY	4,000.00	59.94	3,037.21	75.93
001-610-6490	MAYOR/COUNCIL-BONDS/DUES	15,000.00	1,000.00	1,512.00	10.08
001-610-6599	MAYOR/COUNCIL-MISC EXPEN	14,000.00	23.85	5,658.42	40.42
112-610-6110	MAYOR/COUNCIL-FICA	734.00	30.60	466.56	63.56
112-610-6130	MAYOR/COUNCIL-IPERS	725.00	.00	407.80	56.25
112-610-6160	MAYOR/COUNCIL-WORKER'S C	.00	.00	.00	.00
	MAYOR/COUNCIL/CITY MGR T	61,559.00	17,524.24	44,240.60	71.87
001-620-6010	CLERK-WAGES	63,957.00	6,893.66	56,353.89	88.11
001-620-6210	CLERK-DUES	150.00	.00	75.00	50.00
001-620-6230	CLERK-EDUCATION/TRAINING	2,000.00	.00	1,641.21	82.06
001-620-6350	CLERK-EQUIPMENT REPAIRS	500.00	.00	.00	.00
001-620-6373	CLERK-TELEPHONE/RADIOS	3,100.00	240.25	2,922.63	94.28
001-620-6419	CLERK-TECHNOLOGY SERVICE	15,000.00	421.80	9,890.32	65.94

BUDGET REPORT
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ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT EXPENDED
001-620-6490	CLERK-CONTRACT LABOR	1,000.00	371.25	1,292.50	129.25
001-620-6505	CLERK-OFFICE EQUIP PURCH	4,000.00	1,248.47	2,115.98	52.90
001-620-6507	CLERK-MISC OPERATING SUP	4,300.00	438.33	3,177.70	73.90
001-620-6508	CLERK-POSTAGE/BOX RENT	1,500.00	422.07	1,810.23	120.68
112-620-6110	CLERK-FICA	4,893.00	527.34	4,311.00	88.11
112-620-6130	CLERK-IPERS	6,038.00	650.75	5,313.10	87.99
112-620-6150	CLERK-GROUP INSURANCE	26,329.00	1,702.94	21,724.25	82.51
112-620-6155	CLERK-CITY SHARE HSA	5,174.00	47.50	2,927.37	56.58
112-620-6160	CLERK-WORKER'S COMP	375.00	.00	292.00	77.87
	CLERK/TREASURER/ADM TOTA	138,316.00	12,964.36	113,847.18	82.31
001-630-6403	ELECTIONS-EXPENSES	2,000.00	.00	1,092.67	54.63
	ELECTIONS TOTAL	2,000.00	.00	1,092.67	54.63
001-640-6405	ATTORNEY-MISC EXP	3,000.00	.00	2,481.26	82.71
001-640-6411	ATTORNEY-RETAINER	31,200.00	2,600.00	31,200.00	100.00
	LEGAL SERVICES/ATTORNEY	34,200.00	2,600.00	33,681.26	98.48
001-650-6310	MEMORIAL HALL-BLDG MAINT	5,000.00	390.87	6,250.23	125.00
001-650-6320	MEMORIAL HALL-MISC EXPEN	1,300.00	133.71	1,584.97	121.92
001-650-6371	MEMORIAL HALL-UTILITIES	6,500.00	258.60	5,875.36	90.39
001-650-6373	MEMORIAL HALL-TELEPHONE	600.00	50.00	550.00	91.67
001-650-6399	MEMORIAL HALL-CAPITAL OU	.00	.00	.00	.00
001-650-6409	MEMORIAL HALL-JANITOR SE	4,300.00	260.00	3,120.00	72.56
001-650-6499	MEMORIAL HALL-ELEV MAINT	1,200.00	.00	1,147.24	95.60
	CITY HALL/GENERAL BLDGS	18,900.00	1,093.18	18,527.80	98.03
001-660-6408	GENERAL-LIABILITY INSURA	53,000.00	.00	58,289.00	109.98
	TORT LIABILITY TOTAL	53,000.00	.00	58,289.00	109.98
001-699-6490	MISC UNALLOCATED REIMB	5,000.00	19.32	15,226.98	304.54
	OTHER GENERAL GOVERNMENT	5,000.00	19.32	15,226.98	304.54
	GENERAL GOVERNMENT TOTAL	312,975.00	34,201.10	284,905.49	91.03
307-210-6407	ENGINEERING	.00	.00	.00	.00
307-210-6499	OTHER CONTRACTUAL SERV	.00	.00	.00	.00
200-210-6801	DS PRINC-2005 STREETS	.00	.00	.00	.00
200-210-6802	DS PRINC-TIF FAIRVIEW	.00	.00	.00	.00
200-210-6803	DS PRINC-2011 STREETS	62,000.00	.00	62,000.00	100.00
200-210-6851	DS INT-2005 STREETS	.00	.00	.00	.00
200-210-6852	DS INT-TIF FAIRVIEW	.00	.00	.00	.00
200-210-6853	DS INT-2011 STREETS	14,592.00	.00	14,592.00	100.00
200-210-6899	DS BOND REGISTRATION FEE	1,100.00	.00	600.00	54.55
	ROADS, BRIDGES, SIDEWALK	77,692.00	.00	77,192.00	99.36
305-430-6385	PLAYGROUND-PRAIRE MDWS G	.00	.00	.00	.00
305-430-6390	PLAYGROUND-DALLAS CNTY G	.00	.00	.00	.00
	PARKS TOTAL	.00	.00	.00	.00
200-440-6804	DS PRINC 2022 POOL	.00	.00	.00	.00
	RECREATION TOTAL	.00	.00	.00	.00
200-815-6801	DS PRINC-2001 EDS	.00	.00	.00	.00
200-815-6802	DS PRINC-2001 SRF	.00	.00	.00	.00
200-815-6803	DS PRINC-2020 SRF	48,000.00	44,969.17	44,969.17	93.69
200-815-6851	DS INT-2001 EDS	.00	.00	.00	.00
200-815-6852	DS INT-2001 SRF	.00	.00	.00	.00

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ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT EXPENDED
200-815-6853	DS INT-2020 SRF	19,128.00	8,600.49	17,022.66	88.99
200-815-6899	DS BOND REGISTRATIONS FE	2,732.00	1,228.64	2,431.81	89.01
	SEWER/SEWAGE DISPOSAL TO	69,860.00	54,798.30	64,423.64	92.22
200-865-6801	DS PRINC-2016 SW STORM	145,000.00	.00	145,000.00	100.00
200-865-6851	DS INT-2016 SW STORM	70,795.00	.00	70,795.00	100.00
200-865-6899	DS BOND REGISTRATION	600.00	250.00	500.00	83.33
	STORM DISTRICT TOTAL	216,395.00	250.00	216,295.00	99.95
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	DEBT SERVICE TOTAL	363,947.00	55,048.30	357,910.64	98.34
308-410-6770	CAP IMPROVEMENT-LIBRARY	.00	.00	.00	.00
	LIBRARY TOTAL	.00	.00	.00	.00
309-440-6407	CAP IMPROVE POOL-ENGINEE	75,000.00	140,752.00	255,812.00	341.08
309-440-6799	CAP IMPROVE POOL-EXPENSE	50,000.00	156.00	156.00	.31
	RECREATION TOTAL	125,000.00	140,908.00	255,968.00	204.77
310-750-6374	CAP IMPRV ARPA-EXPENSES	132,333.00	.00	.00	.00
	CAPITAL PROJECTS TOTAL	132,333.00	.00	.00	.00
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	CAPITAL PROJECTS TOTAL	257,333.00	140,908.00	255,968.00	99.47
600-810-6010	WATER-WAGES	80,856.00	9,784.81	80,943.76	100.11
600-810-6110	WATER-FICA	6,185.00	748.58	6,222.96	100.61
600-810-6130	WATER-IPERS	7,633.00	920.59	7,603.94	99.62
600-810-6150	WATER-GROUP INSURANCE	20,368.00	1,090.75	14,458.03	70.98
600-810-6155	WATER-CITY SHARE HSA	3,763.00	62.35	3,128.56	83.14
600-810-6160	WATER-WORKER'S COMP	2,500.00	.00	1,622.00	64.88
600-810-6181	WATER-UNIFORM ALLOWANCE	400.00	.00	400.00	100.00
600-810-6210	WATER-DUES	1,500.00	.00	1,304.95	87.00
600-810-6230	WATER-TRAINING	1,500.00	.00	890.00	59.33
600-810-6310	WATER-EQUIP/REPAIRS/MAIN	55,000.00	8,484.72	48,415.99	88.03
600-810-6320	WATER-WELL MAINTENANCE	25,000.00	1,000.00	8,000.00	32.00
600-810-6331	WATER-VEHICLE OPERATIONS	2,000.00	116.56	1,442.93	72.15
600-810-6332	WATER-VEHICLE REPAIRS	500.00	.00	.00	.00
600-810-6340	WATER-OFFICE EQUIP	.00	.00	.00	.00
600-810-6350	WATER-CAPITAL PROJECTS	.00	.00	.00	.00
600-810-6371	WATER-UTILITIES	22,000.00	1,267.53	19,831.82	90.14
600-810-6373	WATER-TELEPHONE	1,000.00	.00	357.13	35.71
600-810-6374	T&A(M)DEPOSIT REFUND	13,000.00	1,144.21	13,531.36	104.09
600-810-6401	WATER-AUDIT	.00	.00	.00	.00
600-810-6407	WATER-ENGINEERING	.00	.00	.00	.00
600-810-6408	WATER-INSURANCE	8,200.00	.00	12,055.00	147.01
600-810-6411	WATER-LEGAL	20,000.00	.00	9,807.91	49.04
600-810-6418	WATER-SALES TAX EXPENSE	32,000.00	2,154.36	28,669.94	89.59
600-810-6419	WATER-TECHNOLOGY SERVICE	7,000.00	1,023.57	4,475.44	63.93
600-810-6499	WATER-TESTS	10,000.00	71.25	5,199.65	52.00
600-810-6501	WATER-SALT/CHEMICALS	33,000.00	4,150.26	17,946.99	54.38
600-810-6506	WATER-OFFICE SUPPLIES	1,700.00	84.60	1,532.10	90.12
600-810-6507	WATER-OPERATING SUPPLIES	3,000.00	416.70	578.37	19.28
600-810-6508	WATER-POSTAGE	1,500.00	.00	1,400.00	93.33

BUDGET REPORT
CALENDAR 6/2022, FISCAL 12/2022

PCT OF FISCAL YTD 100.0%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT EXPENDED
600-810-6599	WATER-MISC EXP	4,000.00	212.58	3,293.91	82.35
600-810-6780	WATER-CAPITAL IMPROVEMEN	.00	.00	.00	.00
600-810-6801	WATER DEBT-PRINC 1996	.00	.00	.00	.00
600-810-6802	WATER DEBT PRINC 1999	.00	.00	.00	.00
600-810-6803	WATER DEBT-PRINC 2008 WT	.00	.00	.00	.00
600-810-6854	WATER DEPT-INT 2008 WTR	.00	.00	.00	.00
600-810-6805	WATER DEBT-PRINC 2021	110,000.00	.00	110,000.00	100.00
600-810-6855	WATER DEBT-INT 2021	9,438.00	.00	9,302.48	98.56
600-810-6851	WATER DEBT-INT 1996	.00	.00	.00	.00
600-810-6852	WATER DEBT-INT 1999	.00	.00	.00	.00
600-810-6899	WATER-BOND REGISTRATION	1,063.00	.00	300.00	28.22
602-810-6407	WATER CAP OUTLAY-ENGINEE	59,000.00	.00	27,446.58	46.52
602-810-6780	WATER CAP OUTLAY-UTIL SY	510,000.00	.00	248,542.00	48.73
	WATER TOTAL	1,053,106.00	32,733.42	688,703.80	65.40
610-815-6010	SEWER-WAGES	76,516.00	9,414.13	76,626.84	100.14
610-815-6110	SEWER-FICA	5,853.00	720.04	5,892.20	100.67
610-815-6130	SEWER-IPERS	7,223.00	885.66	7,199.25	99.67
610-815-6150	SEWER-GROUP INSURANCE	21,730.00	1,254.00	16,285.84	74.95
610-815-6155	SEWER-CITY SHARE HSA	4,349.00	88.27	4,407.21	101.34
610-815-6160	SEWER-WORKER'S COMP	2,500.00	.00	1,279.00	51.16
610-815-6181	SEWER-UNIFORM ALLOWANCE	400.00	.00	400.00	100.00
610-815-6210	SEWER-DUES	350.00	.00	.00	.00
610-815-6230	SEWER-EDUCATION/TRAINING	1,000.00	.00	250.00	25.00
610-815-6310	SEWER-BLDG REPAIR/MAINT	500.00	49.00	83.89	16.78
610-815-6320	SEWER-GROUND REPAIR/MAIN	2,500.00	.00	.00	.00
610-815-6331	SEWER-VEHICLE OPERATIONS	1,600.00	116.56	1,442.94	90.18
610-815-6332	SEWER-VEHICLE REPAIRS	.00	.00	.00	.00
610-815-6340	SEWER-OFFICE EQUIP	.00	.00	.00	.00
610-815-6350	SEWER-OPERATION/MAINT	10,000.00	4,362.20	6,835.04	68.35
610-815-6371	SEWER-UTILITIES	23,000.00	1,676.26	22,975.11	99.89
610-815-6373	SEWER-TELEPHONE	.00	.00	.00	.00
610-815-6374	SEWER DEPOSITS	2,000.00	.00	1,200.00	60.00
610-815-6407	SEWER-ENGINEERING	3,800.00	1,209.00	6,561.34	172.67
610-815-6408	SEWER-INSURANCE	12,000.00	.00	16,055.00	133.79
610-815-6411	SEWER-LEGAL	.00	.00	.00	.00
610-815-6418	SEWER-SALES TAX EXPENSE	9,823.00	505.80	6,883.63	70.08
610-815-6419	SEWER-TECHNOLOGY SERVICE	7,000.00	1,078.55	5,791.20	82.73
610-815-6499	SEWER-TESTS	13,000.00	2,547.75	14,034.25	107.96
610-815-6506	SEWER-OFFICE SUPPLIES	200.00	84.60	1,532.26	766.13
610-815-6507	SEWER-SUPPLIES	500.00	.00	200.00	40.00
610-815-6508	SEWER-POSTAGE	1,500.00	.00	1,400.00	93.33
610-815-6599	SEWER-ADMIN EXPENSES	2,000.00	18.87	335.63	16.78
610-815-6767	SEWER-FAIR VIEW DR SAN S	.00	.00	.00	.00
610-815-6780	SEWER-CAPITAL OUTLAY PRO	72,860.00	.00	72,854.55	99.99
610-815-6801	SEWER DEBT-PRINC-2001 ED	.00	.00	.00	.00
610-815-6802	SEWER DEBT-PRINC 1999	.00	.00	.00	.00
610-815-6803	SEWER DEBT-PRINC WASS	.00	.00	.00	.00
610-815-6804	SEWER DEBT-PRINC 2019 SR	74,000.00	74,000.00	74,000.00	100.00
610-815-6851	SEWER DEBT-INT 2001 EDS	.00	.00	.00	.00
610-815-6853	SEWER DEBT-INT WASS	.00	.00	.00	.00
610-815-6852	SEWER DEBT-INT-1999	.00	.00	.00	.00

BUDGET REPORT
CALENDAR 6/2022, FISCAL 12/2022

PCT OF FISCAL YTD 100.0%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT EXPENDED
610-815-6854	SEWER DEBT-INT 2019 SRF	51,958.00	25,978.75	51,957.50	100.00
610-815-6899	SEWER DEBT-REGISTRAR FEE	7,422.00	3,711.25	7,422.50	100.01
	SEWER/SEWAGE DISPOSAL TO	415,584.00	127,700.69	403,905.18	97.19
740-865-6379	STORM DISTRICT-MAINT/REP	25,000.00	12,331.16	35,371.06	141.48
740-865-6407	STORM DISTRICT-ENGINEER	.00	.00	.00	.00
740-865-6411	STORM DISTRICT-LEGAL	.00	.00	.00	.00
740-865-6418	STORM DISTRICT-SALES TAX	1,300.00	108.36	1,418.20	109.09
740-865-6419	STORM DISTRICT-TECH SERV	1,000.00	30.00	960.02	96.00
740-865-6765	STORM DISTRICT-CAPITAL P	.00	.00	.00	.00
740-865-6801	STORM DISTRICT DEBT-PRIN	.00	.00	.00	.00
740-865-6851	STORM DISTRICT DEBT-INTE	.00	.00	.00	.00
740-865-6899	STORM DISTRICT DEBT-REGI	.00	.00	.00	.00
	STORM DISTRICT TOTAL	27,300.00	12,469.52	37,749.28	138.28
	ENTERPRISE FUNDS TOTAL	1,495,990.00	172,903.63	1,130,358.26	75.56
001-910-6910	GENERAL-TRANSFERS OUT	119,772.00	.00	114,874.01	95.91
011-910-6910	T&A(PD)BENEVOLENT-TRANSF	.00	.00	787.32	.00
029-910-6910	DEPR-TRANSFER OUT	.00	.00	.00	.00
110-910-6910	RUT-TRANSFERS OUT	.00	.00	.00	.00
112-910-6910	T&A(EB)-TRANSFER OUT	.00	.00	.00	.00
119-910-6910	EMERGENCY-TRANSFER OUT	.00	.00	.00	.00
121-910-6910	LOST-TRANSFER OUT	314,489.00	423,122.99	624,701.99	198.64
125-910-6910	TIF-TRANSFER OUT	141,237.00	25,310.92	143,122.04	101.33
167-910-6910	T&A(BURNETT REC)-TRANSFE	.00	.00	.00	.00
168-910-6910	T&A(BURNETT LIB)-TRANSFE	.00	.00	.00	.00
169-910-6910	T&A(BURNETT CAP IMP) TRA	.00	.00	.00	.00
180-910-6910	REC TRAIL-TRANSFER OUT	.00	.00	.00	.00
200-910-6910	TRANSFER OUT	.00	.00	.00	.00
307-910-6911	TRANSFER OUT - TIF	.00	.00	.00	.00
301-910-6910	CAP IMPR WASTEWTR-TRANSF	.00	.00	.00	.00
308-910-6910	CAP IMPROVE LIBRY-TRANSF	.00	.00	.00	.00
309-910-6910	CAP IMPROV POOL-TRANSFER	.00	.00	.00	.00
310-910-6910	CAP IMPRV ARPA-TRANSFER	.00	.00	.00	.00
600-910-6910	WATER-TRANSFERS OUT	6,000.00	.00	6,000.00	100.00
602-910-6910	WATER CAP OUTLAY-TRANSFE	.00	.00	.00	.00
610-910-6910	SEWER-TRANSFERS OUT	6,000.00	.00	6,000.00	100.00
740-910-6910	STORM DISTRICT-TRANSFER	.00	.00	.00	.00
	TRANSFERS TOTAL	587,498.00	448,433.91	895,485.36	152.42
	TRANSFER OUT TOTAL	587,498.00	448,433.91	895,485.36	152.42
	TOTAL EXPENSES BY FUNCTI	5,201,706.00	1,076,493.24	4,569,292.64	87.84



June 2022

Dallas Center Calls for Service

Create Date/Time	Call Type	Location
6/1/2022 7:50	CIVIL PAPER	303 11TH ST, DALLAS CENTER
6/1/2022 8:10	MEDICAL/AMBULANCE TRIP	1006 LINDEN ST, DALLAS CENTER
6/1/2022 19:22	ABANDONED VEHICLE	101 PERCIVAL AVE, DALLAS CENTER
6/1/2022 21:46	CIVIL DISPUTE	101 PERCIVAL AVE, DALLAS CENTER
6/1/2022 23:26	FOLLOW UP INVESTIGATION	101 PERCIVAL AVE, DALLAS CENTER
6/2/2022 9:46	ALARM	504 14TH ST, DALLAS CENTER
6/2/2022 15:16	FOLLOW UP INVESTIGATION	101 PERCIVAL AVE, DALLAS CENTER
6/2/2022 19:17	FOLLOW UP INVESTIGATION	101 PERCIVAL AVE, DALLAS CENTER
6/3/2022 8:44	911 HANGUP	240 TH ST / ORDER DR, DALLAS CENTER
6/3/2022 20:38	TRAFFIC STOP	2500 240TH ST, DALLAS CENTER
6/4/2022 7:56	911 HANGUP	800 LINDEN ST, DALLAS CENTER
6/4/2022 7:58	911 HANGUP	240 TH ST / ORDER DR, DALLAS CENTER
6/4/2022 21:25	SUSPICIOUS	1201 WALNUT ST, DALLAS CENTER
6/5/2022 13:56	VEHICLE UNLOCK	301 KELLOGG AVE, DALLAS CENTER
6/6/2022 16:56	TRAFFIC STOP	2400 240TH ST, DALLAS CENTER
6/7/2022 7:46	SUSPICIOUS	2393 240TH ST, DALLAS CENTER
6/7/2022 9:52	911 HANGUP	240 TH ST / ORDER DR, DALLAS CENTER
6/7/2022 17:15	MEDICAL/AMBULANCE TRIP	705 10TH ST, DALLAS CENTER
6/8/2022 1:10	ALARM	1202 SUGAR GROVE AVE, DALLAS CENTER
6/8/2022 20:40	DISTURBANCE	1107 SUGAR GROVE AVE 20, DALLAS CENTER
6/9/2022 8:40	MEDICAL/AMBULANCE TRIP	202 HATTON AVE, DALLAS CENTER
6/9/2022 14:55	911 MISDIAL	400 14 TH ST, DALLAS CENTER
6/10/2022 19:23	RETURN PHONE CALL	1502 WALNUT ST, DALLAS CENTER
6/10/2022 22:24	MEDICAL/AMBULANCE TRIP	2306 230TH ST, DALLAS CENTER
6/11/2022 2:01	911 MISDIAL	RHINEHART AVE / SUGAR GROVE AVE, DALLAS CENTER
6/12/2022 0:02	ALARM	1202 SUGAR GROVE AVE, DALLAS CENTER
6/12/2022 12:16	MEDICAL/AMBULANCE TRIP	1806 LINDEN ST 5, DALLAS CENTER
6/13/2022 11:20	MEDICAL/AMBULANCE TRIP	FAIRVIEW DR / NORTHVIEW DR, DALLAS CENTER
6/13/2022 12:23	THEFT	1308 WALNUT ST, DALLAS CENTER
6/13/2022 12:53	911 HANGUP	SUGAR GROVE AVE / QUINLAN AVE, DALLAS CENTER
6/13/2022 13:16	FORGERY/FRAUD	590 SUGAR GROVE AVE, DALLAS CENTER
6/14/2022 8:29	MEDICAL/AMBULANCE TRIP	2306 230TH ST, DALLAS CENTER

6/14/2022 12:29	WARRANT CHECK	1806 LINDEN ST 5, DALLAS CENTER
6/14/2022 14:20	ANIMAL CONTROL	1008 8TH ST, DALLAS CENTER
6/14/2022 23:18	EXTRA WATCH	203 PERCIVAL AVE, DALLAS CENTER
6/15/2022 6:34	MEDICAL/AMBULANCE TRIP	1006 LINDEN ST 415, DALLAS CENTER
6/15/2022 8:06	ORDINANCE VIOLATIONS	1005 8TH ST, DALLAS CENTER
6/15/2022 9:36	FORGERY/FRAUD	590 SUGAR GROVE AVE, DALLAS CENTER
6/15/2022 14:16	WELFARE CHECK	1406 LAUREL ST, DALLAS CENTER
6/15/2022 14:49	WELFARE CHECK	1406 LAUREL ST, DALLAS CENTER
6/15/2022 23:51	ALARM	1202 SUGAR GROVE AVE, DALLAS CENTER
6/16/2022 19:30	CIVIL PAPER	1806 LINDEN ST 7, DALLAS CENTER
6/17/2022 6:50	MEDICAL/AMBULANCE TRIP	1406 LAUREL ST, DALLAS CENTER
6/17/2022 7:29	CIVIL PAPER	1408 WALNUT ST 2, DALLAS CENTER
6/17/2022 12:18	RETURN PHONE CALL	203 PERCIVAL AVE, DALLAS CENTER
6/17/2022 20:01	RETURN PHONE CALL	1806 LINDEN ST 3, DALLAS CENTER
6/18/2022 8:27	TRAFFIC CONTROL	1600 SUGAR GROVE AVE, DALLAS CENTER
6/18/2022 13:11	RETURN PHONE CALL	1006 VINE ST, DALLAS CENTER
6/18/2022 21:53	MEDICAL/AMBULANCE TRIP	1006 LINDEN ST 413, DALLAS CENTER
6/19/2022 2:04	SUSPICIOUS	707 10TH ST, DALLAS CENTER
6/19/2022 8:48	911 HANGUP	1204 LINDEN ST, DALLAS CENTER
6/19/2022 14:49	DOMESTIC	104 14TH ST, DALLAS CENTER
6/19/2022 16:31	PUBLIC ASSIST	104 14TH ST, DALLAS CENTER
6/20/2022 11:45	CIVIL PAPER	1806 LINDEN ST 7, DALLAS CENTER
6/20/2022 12:06	CIVIL PAPER	1408 WALNUT ST 2, DALLAS CENTER
6/21/2022 17:42	MEDICAL/AMBULANCE TRIP	1403 SUGAR GROVE AVE, DALLAS CENTER
6/21/2022 18:24	WARRANT CHECK	701 HATTON AVE, DALLAS CENTER
6/21/2022 20:45	ALARM	101 14TH ST, DALLAS CENTER
6/22/2022 13:40	TRAFFIC HAZARD	2500 240TH ST, DALLAS CENTER
6/23/2022 10:14	MEDICAL/AMBULANCE TRIP	2306 230TH ST, DALLAS CENTER
6/23/2022 13:24	FOLLOW UP INVESTIGATION	113 LAKE SHORE DR, DALLAS CENTER
6/23/2022 17:52	911 HANGUP	MAPLE ST / 15 TH ST, DALLAS CENTER
6/24/2022 13:37	CIVIL PAPER	906 8TH ST, DALLAS CENTER
6/24/2022 17:54	MOTORIST ASSIST	2500 240TH ST, DALLAS CENTER
6/25/2022 10:57	911 HANGUP	1500 MAPLE ST, DALLAS CENTER
6/26/2022 21:13	TRAFFIC STOP	1607 SUGAR GROVE AVE, DALLAS CENTER
6/27/2022 13:15	CIVIL PAPER	906 8TH ST, DALLAS CENTER
6/28/2022 13:52	911 HANGUP	1300 LAUREL ST, DALLAS CENTER
6/28/2022 14:14	MEDICAL/AMBULANCE TRIP	1706 ASH ST, DALLAS CENTER
6/29/2022 13:48	TRAFFIC STOP	2500 240TH ST, DALLAS CENTER
6/29/2022 15:33	THEFT	605 10TH ST, DALLAS CENTER
6/29/2022 17:17	ATV COMPLAINT	10TH ST / ASH ST, DALLAS CENTER
6/29/2022 17:59	INFORMATION	1006 VINE ST, DALLAS CENTER

6/30/2022 9:11	MOTORIST ASSIST	1200 13TH ST, DALLAS CENTER
6/30/2022 17:18	TRAFFIC STOP	CIRCLE DR / VINE ST, DALLAS CENTER
Total	DC 393 HOURS PATROL, 10 HOURS ON CALLS, 403 HOURS TOTAL, 320 HOURS REQUIRED	75

FIRE & EMS REPORT

June 2022

Total calls : 25

FIRE 10 total

3 structure fire

2 Fire Alarm

2 outside fire

1 Vehicle fire

3 special assignment

EMS 15 Total

15 calls for service (10 City/5 Rural)

JUNE 2022 CODE ENFORCEMENT REPORT DALLAS CENTER

CASE #	ADDRESS	VIOLATION	DATE OF VIOLATION	REINSPECT DATE	COMMENTS	COMPLIED
		BEGIN 2017				
		BEGIN 2019				
2019-065	1201 Walnut	Junk & Vehicles	5/29/2019	6/13/2019 8/2/19 9/30/21	Advisory 6/19/19 sent new pictures- 7/17/19 Certified - 9/10/21 Certified	
		BEGIN-2020				
2020-139	804 Fairview	Junk	10/20/2020	10/27/2020 11/18/20 12/18/20 1/4/21 6/17/21 7/8/21	M- 11/2/20 Advisory-12/1/20 Certified- 12/21/20 FINAL 5/26/21 new violations Cert.- 6/22/21 FINAL 8-2-21 Refer to city	
2020-166	1506 Cherry	Junk	12/10/2020	12/15/2020 1/2/21 1/21/21 2/18/21 3/18/21 7/8/21	M- 12/17/20 Advisoy- 1/5/21 Certified- 2/2/21 FINAL- 3/1/21 FINAL ii	
		BEGIN 2021				
2021-021	1201 Vine	Junk & Vehicles	2/22/2021	3/4/2021 3/18/21 5/14/21 6/17/21	M- 3/1/21 Advisory- 4/28/21 Certified- 5/26/21 FINAL	

2021-113	1607 Laurel	Vehicle & Parking	8/31/2021	9/16/2021 11/11/21 12/9/21 4/8/22 6/7/22	Advisory- 10/26/21 Certified- 11/23/21 FINAL 5/24/22 F	
2021-135	1229 Maple	Junk	11/23/2021	12/9/2021 1/6/22 5/26/22	Advisory- 12/21/21 Certified new Advisory	6/15/2022
		BEGIN 2022				
2022-031	805 Percival	Junk & Vehicles	3/29/2022	4/14/2022 6/30/22	Advisory- 6/15/22 Certified	
2022-032	1005 Sugar Grove	Vehicle	4/12/2022	4/28/2022	Advisory	6/15/2022
2022-033	606 Vine	Parking	4/12/2022	4/28/2022	Advisory- 5/24/22 Certified	6/15/2022
2022-041	1600 Linden	Junk	4/26/2022	5/10/2022	M	6/29/2022
2022-044	1711 Cherry	Junk	4/26/2022	5/10/2022	M	6/15/2022
2022-049	1003-8	Junk	5/10/2022	5/24/2022	M	6/15/2022
2022-050	1509 Sycamore	Parking	5/10/2022	5/24/2022	M	6/15/2022
2022-051	1607 Sugar Gr	Parking	5/10/2022	5/24/2022	M	
2022-053	304 Kellogg	Junk	5/10/2022	5/24/2022	M	6/15/2022
2022-054	1101 Walnut	Junk	5/24/2022	6/7/2022	M	
2022-055	1229 Maple	Grass	5/24/2022	5/31/2022	Advisory	6/15/2022
2022-056	201-14	Grass	5/24/2022	5/31/2022	Advisory	6/15/2022
2022-057	1600 Linden	Grass	5/24/2022	5/31/2022	Advisory	6/29/2022
2022-058	1706 Cherry	Junk	5/24/2022	6/7/2022	M	6/15/2022
2022-059	906 Ash	Grass	6/15/2022	6/22/2022	Advisory	6/29/2022
2022-060	704-10	Junk	6/15/2022	6/28/2022	M	6/29/2022
2022-061	701 Oak Ct.	Grass	6/15/2022	6/22/2022	Advisory	
2022-062	702 Oak Ct.	Grass	6/15/2022	6/22/2022	Advisory	
2022-063	704 Oak Ct.	Grass	6/15/2022	6/22/2022	Advisory	
2022-064	602 Oak Ct.	Grass	6/15/2022	6/22/2022	Advisory	
2022-065	604 Oak Ct.	Grass	6/15/2022	6/22/2022	Advisory	
2022-066	601 Oak Ct.	Grass	6/15/2022	6/22/2022	Advisory	
2022-067	902-8	Junk	6/15/2022	6/28/2022	M	6/29/2022
2022-068	1701 Sugar Grove	Junk	6/15/2022	6/28/2022	M	6/29/2022

2022-069	105-10	Vehicle	6/29/2022	7/15/2022	Advisory	
2022-070	1003-8	Junk	6/29/2022	7/12/2022	M	
2022-071	1301 Ash	Junk	6/29/2022	7/12/2022	M	
2022-072	1419 Walnut	Grass	6/29/2022	6/29/2022	Advisory	
2022-073	1413 Walnut	Vehicle	6/29/2022	7/15/2022	Advisory	
2022-074	1413 Walnut	Grass	6/29/2022	6/29/2022	Advisory	
2022-075	1409 Walnut	Grass	6/29/2022	6/29/2022	Advisory	
2022-076						

Monthly Water Report

Date	Jun-22																						
Water Plant																							
Total Gal.>	4,495,600	Max	210,300	Min	103,000	Avg	149,900	Gpm	257														
Total Hrs.>	293.2	Max	14.3	Min	6.2	Avg	9.8																
Last Month.>	4,772,400	Max	212,400	Min	72,000	Avg	141,000	Gpm	259														
Last Year.>		Max		Min		Avg		Gpm															
Lbs.of Chlorine	649	Lbs of Fluoride	42	Gallons of salt brine	7,265																		
Chlorine.Mg/l	0.57	Fluoride.Mg/l	0.6	Hardness. Mg/l	68	Iron. Mg/l	0.01	Nitrate.Mg/l															
Well																							
Date	6/21/2022																						
	S	R	DD	Gpm	S	R	DD	Gpm	S	R	DD	Gpm	S	R	DD	Gpm	S	R	DD	Gpm			
Well # 7	28	12	14	110																			
Well # 9	28	16	12	120																			
Well # 10	32	10	22	110																			
Well # 11	30	8	22	230																			
Water Meters																							
	New Installs			Read In																			
	Replace Meter			Read Out																			
	Replace Radio			Shut off For nonpayment																			
	Read																						
	Repair																						
Fire Hydrants																							
	New Install			Flush Hyd			Repair Hyd																
Water Plant																							
Water Tower																							
Reservoir																							
6/5/2022 - Inspection of reservoir done by Midco.																							
Dist. System																							
Wells																							
6/21/22 - tested wells 7-9-10-11 no issues																							
Other																							

Progress Estimate - Unit Price Work

Contractor's Application

For (Contract):		Walnut Street Streetscape Phase 1										Application Number: 2		
Application Period:		Through 6/14/2022										Application Date: 6/14/2022		
A		B				C		D		E		F		G
Bid Item No.	Item Description	Contract Information				Estimated Quantity Installed	Value of Work Installed to Date	Materials Presently Stored (not in C)	Total Completed and Stored to Date (D + E)	% (F / B)	Balance to Finish (B - F)			
		Item Quantity	Units	Unit Price	Total Value of Item (\$)									
1	OFF-SITE TOPSOIL	105	CY	\$55.00	\$5,775.00	105	\$5,775.00		\$5,775.00	100.0%				
2	EXCAVATION, CLASS 10	85	CY	\$40.00	\$3,400.00	85	\$3,400.00		\$3,400.00	100.0%				
3	SIDEWALK REMOVAL	191	SY	\$30.00	\$5,730.00	191	\$5,730.00		\$5,730.00	100.0%				
4	PLANTS - SHRUBS	10	EA	\$75.00	\$750.00	10	\$750.00		\$750.00	100.0%				
5	PLANTS - PERENNIALS	185	EA	\$25.00	\$4,625.00	185	\$4,625.00		\$4,625.00	100.0%				
6	PLANTS - GRASSES	173	EA	\$25.00	\$4,325.00	173	\$4,325.00		\$4,325.00	100.0%				
7	PLANTS - OVERSTORY TREE	14	EA	\$450.00	\$6,300.00	14	\$6,300.00		\$6,300.00	100.0%				
8	PLANTS - UNDERSTORY TREE	3	EA	\$450.00	\$1,350.00	3	\$1,350.00		\$1,350.00	100.0%				
9	MOBILIZATION	1	LS	\$8,500.00	\$8,500.00	0.8	\$6,800.00		\$6,800.00	80.0%	\$1,700.00			
10	LIMESTONE BENCH INSTALL	8	EA	\$150.00	\$1,200.00	8	\$1,200.00		\$1,200.00	100.0%				
11	COMPACTED STONE	1	LS	\$105.00	\$105.00	1	\$105.00		\$105.00	100.0%				
12	WALL STONE EDGING (CHANGE ORDER #1)	1	LS	\$1,305.00	\$1,305.00	1	\$1,305.00		\$1,305.00	100.0%				
Totals					\$43,365.00		\$41,665.00		\$41,665.00	96.1%	\$1,700.00			

Date of Issuance: July 12, 2022

Effective Date: July 12, 2022

PROJECT: WALNUT STREET STREETScape PHASE 1	ENGINEER'S PROJECT NUMBER: 21-25229
OWNER: CITY OF DALLAS CENTER	DATE OF CONTRACT:
CONTRACTOR: TALLGRASS LAND STEWARDSHIP CO.	OWNER'S CONTRACT NUMBER:

The Contract Documents are modified as follows upon execution of this Change Order:

Description:

Change Order is for contractor supply and install of filter sock.

Attachments:

CHANGE IN CONTRACT PRICE:	CHANGE IN CONTRACT TIMES:
----------------------------------	----------------------------------

Original Contract Price:

\$40,755.00

(Increase) (Decrease) from previously approved

Change Orders Number 0 to 1

\$1,305.00

Contract Price prior to this Change Order:

\$42,060.00

(Increase) (Decrease) of this Change Order:

\$330.00

Contract Price Incorporating this Change Order:

\$42,390.00

Original Contract Times: Working Days Calendar Days

Substantial Completion (day or dates): September 30, 2022

Ready for Final Payment (day or dates): October 31, 2022

(Increase) (Decrease) from previously approved

Change Orders Number to

Substantial completion (day or dates):

Ready for Final Payment (day or dates):

Contract Times prior to this Change Order:

Substantial Completion (day or dates): September 30, 2022

Ready for Final Payment (day or dates): October 31, 2022

(Increase) (Decrease) of this Change Order:

Substantial Completion (day or dates):

Ready for Final Payment (day or dates):

Contract Times with all approved Change Orders:

Substantial Completion (day or dates): September 30, 2022

Ready for Final Payment (day or dates): October 31, 2022

RECOMMENDED:

I+S GROUP

By: 
Engineer (Authorized Signature)

Date: 7/5/2022

ACCEPTED:

CITY OF DALLAS CENTER

By: _____
Owner (Authorized Signature)

Date:

ACCEPTED:

TALLGRASS LAND STEWARDSHIP CO

By: _____
Contractor (Authorized Signature)

Date:

ITEM NO.	DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	Amount	
					Increase	Decrease
13	FILTER SOCK	LF	60	\$5.50	\$330.00	

TOTALS

NET CHANGE IN CONTRACT PRICE

INCREASE (DECREASE) IN CONTRACT TIME, days

\$330.00	\$0.00
\$330.00	

Justification For Changes:

Change Order is for contractor supply and install of filter sock.

Contractor's Application for Payment No.

3

Application Period: Through 07/05/2022	Application Date: 7/12/2022
To (Owner): City of Dallas Center	From (Contractor): Tallgrass Land Stewardship Co.
Project: Walnut Street Streetscape Phase 1	Via (Engineer): ISG, Inc.
Owner's Contract No.:	Contractor's Project No.: Walnut Street Streetscape Phase 1
	Engineer's Project No.: 21-25229

**Application For Payment
Change Order Summary**

Approved Change Orders			
Number	Additions	Deductions	
1	\$1,305.00		1. ORIGINAL CONTRACT PRICE..... \$ \$40,755.00
2	\$330.00		2. Net change by Change Orders..... \$ \$1,635.00
			3. Current Contract Price (Line 1 ± 2)..... \$ \$42,390.00
			4. TOTAL COMPLETED AND STORED TO DATE
			(Column F total on Progress Estimates)..... \$ \$41,995.00
			5. RETAINAGE:
			a. 5% X \$41,995.00 Work Completed..... \$ \$2,099.75
			b. 5% X _____ Stored Material..... \$ _____
			c. Total Retainage (Line 5.a + Line 5.b)..... \$ \$2,099.75
			6. AMOUNT ELIGIBLE TO DATE (Line 4 - Line 5.c)..... \$ \$39,895.25
			7. LESS PREVIOUS PAYMENTS (Line 6 from prior Application)..... \$ \$39,581.75
			8. AMOUNT DUE THIS APPLICATION..... \$ \$313.50
			9. BALANCE TO FINISH, PLUS RETAINAGE
			(Column G total on Progress Estimates + Line 5.c above)..... \$ \$2,494.75
TOTALS	\$1,635.00		
NET CHANGE BY CHANGE ORDERS		\$1,635.00	

Contractor's Certification

The undersigned Contractor certifies, to the best of its knowledge, the following:

(1) All previous progress payments received from Owner on account of Work done under the Contract have been applied on account to discharge Contractor's legitimate obligations incurred in connection with the Work covered by prior Applications for Payment;

(2) Title to all Work, materials and equipment incorporated in said Work, or otherwise listed in or covered by this Application for Payment, will pass to Owner at time of payment free and clear of all Liens, security interests, and encumbrances (except such as are covered by a bond acceptable to Owner indemnifying Owner against any such Liens, security interest, or encumbrances); and

(3) All the Work covered by this Application for Payment is in accordance with the Contract Documents and is not defective.

Contractor Signature

By: _____ Date: _____

Payment of: \$ \$313.50
(Line 8 or other - attach explanation of the other amount)

is recommended by: *[Signature]* ISG 7/5/2022
(Engineer) (Date)

Payment of: \$ \$313.50
(Line 8 or other - attach explanation of the other amount)

is approved by: _____
(Owner) (Date)

Approved by: _____
Funding or Financing Entity (if applicable) (Date)

Progress Estimate - Unit Price Work

Contractor's Application

For (Contract): Walnut Street Streetscape Phase 1						Application Number: 3					
Application Period: Through 07/05/2022						Application Date: 7/12/2022					
A				B	C	D	E	F		G	
Item		Contract Information				Estimated Quantity Installed	Value of Work Installed to Date	Materials Presently Stored (not in C)	Total Completed and Stored to Date (D + E)	% (F / B)	Balance to Finish (B - F)
Bid Item No	Description	Item Quantity	Units	Unit Price	Total Value of Item (\$)						
1	OFF-SITE TOPSOIL	105	CY	\$55.00	\$5,775.00	105	\$5,775.00		\$5,775.00	100.0%	
2	EXCAVATION, CLASS 10	85	CY	\$40.00	\$3,400.00	85	\$3,400.00		\$3,400.00	100.0%	
3	SIDEWALK, REMOVAL	191	SY	\$30.00	\$5,730.00	191	\$5,730.00		\$5,730.00	100.0%	
4	PLANTS - SHRUBS	10	EA	\$75.00	\$750.00	10	\$750.00		\$750.00	100.0%	
5	PLANTS - PERENNIALS	185	EA	\$25.00	\$4,625.00	185	\$4,625.00		\$4,625.00	100.0%	
6	PLANTS - GRASSES	173	EA	\$25.00	\$4,325.00	173	\$4,325.00		\$4,325.00	100.0%	
7	PLANTS - OVERSTORY TREE	14	EA	\$450.00	\$6,300.00	14	\$6,300.00		\$6,300.00	100.0%	
8	PLANTS - UNDERSTORY TREE	3	EA	\$450.00	\$1,350.00	3	\$1,350.00		\$1,350.00	100.0%	
9	MOBILIZATION	1	LS	\$8,500.00	\$8,500.00	0.8	\$6,800.00		\$6,800.00	80.0%	\$1,700.00
10	LIMESTONE BENCH INSTALL	8	EA	\$150.00	\$1,200.00	8	\$1,200.00		\$1,200.00	100.0%	
11	COMPACTED STONE	1	LS	\$105.00	\$105.00	1	\$105.00		\$105.00	100.0%	
12	WALL STONE EDGING (CHANGE ORDER #1)	1	LS	\$1,305.00	\$1,305.00	1	\$1,305.00		\$1,305.00	100.0%	
13	FILTER SOCK	60	LF	\$5.50	\$330.00	60	\$330.00		\$330.00	100.0%	
Totals					\$43,695.00		\$41,995.00		\$41,995.00	96.1%	\$1,700.00

ORDINANCE NO. 574

AN ORDINANCE AMENDING SECTION 165.05 OF THE CODE OF ORDINANCES OF THE CITY OF DALLAS CENTER, IOWA, AS AMENDED, BY CHANGING THE ZONING CLASSIFICATION OF PROPERTY OWNED BY K&A INVESTMENTS, LLC (THE FUTURE NEIGHBORHOOD PLAT 2) WITHIN THE CITY LIMITS OF DALLAS CENTER, IOWA

BE IT ORDAINED by the City Council of the City of Dallas Center, Iowa, that:

SECTION 1. Purpose. The purpose of this Ordinance is to reclassify or rezone real estate situated in the City of Dallas Center, Iowa.

SECTION 2. Facts Found. The Council of the City of Dallas Center, Iowa, hereby makes the following findings:

1. Notice of a public hearing by the Planning and Zoning Commission was published in the Dallas County News, a newspaper of general circulation in the City of Dallas Center, on May 12, 2022, at least seven (7) days prior to the public hearing of said Commission on May 24, 2022.

2. After said public hearing on the 24th day of May, 2022, the Planning and Zoning Commission recommended to the Council that the zoning classification of four (4) certain parcels of real estate be changed from PUD (Planned United Development) Zoning District to (a) R-1-55 Flex (Single Family Residential) Zoning District; (b) R-1-60 Flex (Single Family Residential) Zoning District; (c) R-1-70 (Single-Family Residential) Zoning District, respectively; and (d) R-1-60 Flex (Single-Family Residential) Zoning District, respectively.

3. Notice of a public hearing by the City Council was published in the Dallas County News, a newspaper of general circulation in the City of Dallas Center, on June 2, 2022, at least seven (7) days prior

to the public hearing which was held by the Council on the 14th day of June, 2022.

4. The proposed change of zoning classification is consistent with the City's Comprehensive Plan.

SECTION 3. Amendment to Zoning Code. Section 165.05 (and the official Zoning Map attached thereto) of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, also referred to as the Zoning Code, is hereby amended by changing the zoning classification of the following described real estate from PUD (Planned Unit Development) Zoning District to R-1-55 Flex (Single Family Residential) Zoning District:

BEGINNING AT THE NE CORNER OF OUTLOT Y THE NEIGHBORHOOD OF DALLAS CENTER PLAT 1; THENCE S00°21'08"W, 323.00 FEET TO A POINT; THENCE N89°52'10"W, 878.51 FEET TO A POINT; THENCE S00°00'00"W, 3.00 FEET TO A POINT; THENCE N89°52'10"W, 190.86 FEET TO A POINT; THENCE N00°22'15"E, 323.00 FEET TO A POINT AT THE NW CORNER OF THE NEIGHBORHOOD OF DALLAS CENTER PLAT 1; THENCE S89°52'10"E, 1258.25 FEET TO THE POINT OF BEGINNING AND ALL CONTAINING 9.27 ACRES MORE OR LESS.

SECTION 4. Amendment to Zoning Code. Section 165.05 (and the official Zoning Map attached thereto) of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, also referred to as the Zoning Code, is hereby amended by changing the zoning classification of the following described real estate from PUD (Planned Unit Development) Zoning District to R-1-60 Flex (Single Family Residential) Zoning District:

STARTING AT A POINT OF REFERENCE AT THE NE CORNER OF OUTLOT Y THE NEIGHBORHOOD OF DALLAS CENTER PLAT 1; THENCE S00°21'08"W, 323.0 FEET TO THE POINT OF BEGINNING; THENCE S00°21'08"W, 311.01 FEET TO A POINT; THENCE S90°00'00"W, 187.07 FEET TO A POINT; THENCE S00°00'00"W, 5.57 FEET TO A POINT; THENCE N89°52'10"W, 878.51 FEET TO A POINT; THENCE N00°00'00"E, 11.00 FEET TO A POINT; THENCE N89°52'10"W, 192.84 FEET TO A POINT; THENCE N00°22'15"E, 306.00 FEET TO A POINT; THENCE S89°52'10"E, 190.86 FEET TO A POINT; THENCE N00°00'00"E, 3.00 FEET TO A POINT; THENCE S89°52'20"E, 878.51 FEET TO A POINT; THENCE S00°00'00"W, 3.43 FEET TO A POINT; THENCE N90°00'00"E, 188.89 FEET TO THE POINT OF BEGINNING AND ALL CONTAINING 9.14 ACRES MORE OR LESS.

SECTION 5. Amendment to Zoning Code. Section 165.05 (and the official Zoning Map attached thereto) of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, also referred to as the Zoning Code, is hereby amended by changing the zoning classification of the following described real estate from PUD (Planned Unit Development) Zoning District to R-1-70 (Single Family Residential) Zoning District:

BEGINNING AT THE SE CORNER OF OUTLOT Y, THE NEIGHBORHOOD OF DALLAS CENTER PLAT 1; THENCE N89°42'28"W, 124.86 FEET TO A POINT; THENCE S00°21'52"W, 18.05 FEET TO A POINT; THENCE N89°39'34"W, 1093.78 FEET TO A POINT; THENCE S00°22'15"W, 15.04 FEET TO A POINT; THENCE N89°39'34"W, 39.93 FEET TO A POINT BEING THE SW CORNER OF SAID OUTLOT Y; THENCE N00°22'15"E, 376.00 FEET TO A POINT; THENCE S89°52'10"E, 192.84 FEET TO A POINT; THENCE S00°00'00"W, 11.00 FEET TO A POINT; THENCE S89°52'10"E, 878.51 FEET TO A POINT; THENCE N00°00'00"E, 5.57 FEET TO A POINT; THENCE N90°00'00"E, 187.07 FEET TO A POINT; THENCE S00°21'08"W, 378.52 FEET TO THE POINT OF BEGINNING AND ALL CONTAINING 10.32 ACRES MORE OR LESS.

SECTION 6. Amendment to Zoning Code. Section 165.05 (and the official Zoning Map attached thereto) of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, also referred to as the Zoning Code, is hereby amended by changing the zoning classification of the following described real estate from PUD (Planned Unit Development) Zoning District to R-1-60 Flex (Single Family Residential) Zoning District:

BEGINNING AT THE NE CORNER OF OUTLOT Z, THE NEIGHBORHOOD OF DALLAS CENTER PLAT 1; THENCE S00°21'08"W, 412.00 FEET TO A POINT; THENCE N89°39'55"W, 125.08 FEET TO A POINT; THENCE S00°23'04"W, 112.89 FEET TO A POINT; THENCE N89°36'56"W, 601.25 FEET; THENCE N00°23'04"E, 98.90 FEET TO A POINT; THENCE N89°36'56"W, 402.22 FEET TO A POINT; THENCE N00°27'54"E, 325.36 FEET TO A POINT; THENCE N89°53'29"W, 130.80 FEET TO A POINT; THENCE N00°22'15"E, 215.94 FEET TO A POINT OF CURVATURE HAVING A RADIUS OF 35.00 FEET, A CHORD BEARING OF N45°21'20"E, AND A CHORD LENGTH OF 49.48 FEET TO A POINT; THENCE S89°39'35"E, 218.94 FEET TO A POINT; THENCE S00°31'12"W, 119.74 FEET TO A POINT; THENCE S89°37'08"E, 10.00 FEET TO A POINT; THENCE S89°39'36"E, 810.31 FEET TO A POINT; THENCE S89°39'55"E, 184.85 FEET TO THE POINT OF BEGINNING AND ALL CONTAINING 13.54 ACRES MORE OR LESS.

SECTION 7. Repealer. All Ordinances or parts of Ordinances in conflict with the provisions of this Ordinance are hereby repealed.

SECTION 8. Savings Clause. If any section, provision or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 9. Effective. This Ordinance shall be in full force and effect from and after its passage and publication as provided by law.

Passed by the City Council on the 12th day of July, 2022, and approved the 12th day of July, 2022.

Daniel Beyer, Mayor

ATTEST:

Shellie Schaben, City Clerk

P&Z Report – June 28, 2022

The Honorable Danny Beyer
and Members of the City Council
Dallas Center, IA 50063

Dear Mr. Mayor and Members of the Council:

The Dallas Center Planning & Zoning Commission met Tuesday, June 28, 2022 at 6:30 P.M. at Memorial Hall. Commission members Perry Gruver, Lauri Hart, Linda Licht, and Jim Pohl were present. Matt Ostanik was not physically present but participated by telephone. Abby Anderson and Thomas Strutt were not present at the meeting. City Attorney Ralph Brown and City Engineer Bob Veenstra also were present and participated. Because I was participating by phone, Vice Chair Perry Gruver chaired and ran the meeting.

Public Communications

Julie Becker and Box Haxton stated concerns about new developments.

Sugar Grove Custom Cars LLC at 1205 Laurel Street

The Commission reviewed and discussed proposed exterior improvements by Kevin Hogan and Sugar Grove Custom Cars LLC at 1205 Laurel Street. After discussion, Jim Pohl moved and Linda Licht seconded to recommend that City Council approve the site plan for 1205 Laurel Street. The motion passed 5-0.

Elite Electric Phase II at 1307 Sugar Grove Avenue

The Commission reviewed and discussed Elite Electric's proposed phase II project at 1307 Sugar Grove Avenue. The City Engineer provided information about parking requirements. Elite Electric has stated that the available parking on both of their properties, including parking behind the buildings, will exceed the minimum required parking for any possible use of the phase II building by adding 17 additional spaces on the north side of the building. After discussion, Linda Licht moved and Jim Pohl seconded to recommend that City Council approve the site plan (provided that any future use of the building must comply with the parking space requirements) and that the architectural requirements match the same architectural

materials and requirements as previously approved for the phase I project. The motion passed 5-0.

The Neighborhood Plat 2 – Preliminary Plat

The Commission discussed the preliminary plat submission for The Neighborhood. The preliminary plat appears to be consistent with all previous discussions about this development. After discussion, Jim Pohl moved and Linda Licht seconded to recommend that City Council approve the preliminary plat subject to the City Engineer's comments and subject to the paved street widths complying with the requirements of the City Code of Ordinances. The motion passed 5-0.

Skye View Estates – Preliminary Plat

The Commission continued discussion about the Skye View Estates preliminary plat that was submitted last month but that no action was taken on.

In May the Commission had discussed the width of the street in front of the Skye View Estates townhomes. This topic was also discussed at the June City Council meeting, and City Council expressed openness to P&Z further discussing this topic. The Commission had asked Charles Goodall and his engineer to provide more information, per the May P&Z minutes: "The Commission requested that Charles or his engineer provide a drawing showing the exact dimensions for lots, setbacks, right-of-way, and ranch vs. two-story floor plans so we can see the details involved with this issue."

At the time of our June meeting, Charles and his engineer had not provided this requested information and thus we were unable to continue discussion on the street width topic.

At the meeting, Charles also stated that revisions have been made to the park layout in the development but the changes were not shown on the Preliminary Plat being reviewed. I stated that I believe the new park layout should be reviewed and discussed with the Parks & Recreation Board as they had provided input last fall on the previous park layout. I contacted Mary Werch, the Park Board chair, before the P&Z meeting, and she suggested the August Park Board meeting would be best to discuss this. I suggested that we delay action on Skye View Estates until August pending feedback from the Park Board.

At the meeting, Charles requested that we continue with approval because he did not want the project to be delayed further. As a good faith gesture, the Commission agreed to vote on recommending approval of the previous preliminary plat – without any changes to parks – to allow it to proceed to City Council. Linda Licht moved and Jim Pohl seconded to recommend that City Council approve the

preliminary plat without any park changes subject to the City Engineer's comments and subject to the paved street widths complying with the requirements of the City Code of Ordinances. The motion passed 5-0.

During discussion on the motion, it was agreed that this recommendation is based in part on Charles and his engineer's verbal representation that the park land in the development meets the City's parkland dedication requirements and that written calculations to document the exact area of park land being dedicated would be provided after the meeting.

At the time of the writing of these minutes, a written submission has been received showing that the Preliminary Plat requires 8.28 acres of land for park land (excluding a calculation for the apartment building area) and a total of 8.36 acres of park land will be dedicated. When the area of the Preliminary Plat set aside for the proposed apartment buildings is further planned, the park land dedication for that area will need to be addressed by the developer with the City.

"Most Dallas Center House" Photo Competition

The Commission discussed an idea from Perry Gruver to hold a "most Dallas Center house" photo competition as part of Fall Festival. The intent of the competition is to solicit exterior photos of existing Dallas Center homes and to get input from the community about what it means to be a "Dallas Center house". The ideas submitted from the public would help inform future conversations about how to shape the architecture of new developments to preserve and enhance Dallas Center's character and uniqueness.

After discussion, it was moved and seconded to proceed with the photo competition idea. The motion passed 5-0.

Respectfully submitted,
Matt Ostanik
P&Z Commission Chair

RESOLUTION NO. 2022-55

A RESOLUTION APPROVING THE SITE PLAN FOR EXTERIOR IMPROVEMENTS AT 1205 LAUREL STREET, DALLAS CENTER

WHEREAS, Kevin Hogan and Sugar Grove Custom Cars, LLC have submitted a Site Plan for exterior improvements to the property at 1205 Laurel Street generally involving the addition of concrete surfacing, pursuant to Chapter 158 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, which plan was reviewed by the Planning and Zoning Commission on June 28, 2022; and

WHEREAS, the City Engineer provided review comments and recommendations dated June 9, 2022, a copy of which is attached hereto, to the Planning and Zoning Commission, which comments and recommendations were accepted by the Commission; and

WHEREAS, the Commission recommended that any requirements for onsite stormwater management be waived, and that the Site Plan be approved; and

WHEREAS, the Council has reviewed the recommendations of the Planning and Zoning Commission, and adopts its recommendation.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DALLAS CENTER, IOWA, that the Council accepts the recommendations of the Planning and Zoning Commission; that any requirements for onsite stormwater management be waived; and the Site Plan submitted by Kevin Hogan and Sugar Grove Custom Cars, LLC is approved.

IT IS FURTHER RESOLVED that a representative of the applicant is required to contact the Dallas Center Public Works Director for an inspection prior to the pouring of concrete to ensure the concrete is sloped appropriately.

IT IS FURTHER RESOLVED that notification is hereby given to the applicant that Section 158.13 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, provides that the approval of this Site Plan shall expire and terminate 365 days after Council approval unless a building permit (if required) has been issued for the construction provided for in the Site Plan. The Council may, upon written request of the applicant,

extend the time for the issuance of the required building permit for 60 additional days. In the event the building permit for construction provided for in a Site Plan expires or is cancelled, then the Site Plan approval shall thereupon terminate.

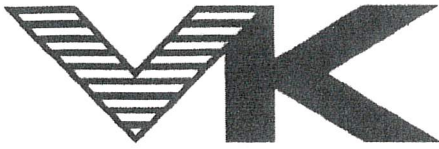
IT IS FURTHER RESOLVED that further notification is hereby given to the applicant that Section 158.11 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended provides that when there is any change in the location, size, design, conformity or character of the buildings and other improvements, an amendment to the Site Plan must be submitted to the City and reviewed by the Planning and Zoning Commission and approved by the City Council in the same manner as an original Site Plan.

PASSED, APPROVED, AND ADOPTED by the City Council of the City of Dallas Center, Iowa, on this 12th day of July, 2022.

Daniel Beyer, Mayor

ATTEST:

Shellie Schaben, City Clerk



VEENSTRA & KIMM INC.

3000 Westown Parkway
West Des Moines, Iowa 50266

515.225.8000 // 800.241.8000
www.v-k.net

June 9, 2022

Cindy Riesselman
City Clerk
City of Dallas Center
1502 Walnut Street
P.O. Box 396
Dallas Center, Iowa 50063

DALLAS CENTER, IOWA
1205 LAUREL STREET
REVISED SITE PLAN

Enclosed is a revised submittal of the site plan for the exterior improvements at 1205 Laurel Street. The revised site plan includes one modification from the previous site plan.

With the revised submittal an area 42 feet long and 16 feet wide along the north side of the building will be left in green space rather than being paved. The revised site plan indicates this area reduces the impervious area by 728 square feet. However, the actual reduction for the 42'x16' area is 672 square feet.

With this modification the site plan meets the requirement for 20% open space as the revised open space area would be 7,830 square feet or more than the 7,753 square feet required in the C-2 zoning district.

A second issue raised in the review comments was a request for clarification regarding the stormwater drainage on the north side of the building in the area of the new concrete. On June 9, 2022 the writer spoke with Chris Knoll relative to the stormwater drainage. Chris Knoll indicated the intent is to convey the stormwater drainage westerly to the small diameter tile located along 13th Street.

Chris Knoll indicated there does not appear to be sufficient fall to drain the new concrete area overland to 13th Street. The plan would be to install a small diameter storm sewer with intakes that would extend from the City storm sewer easterly under the center of the new pavement. The pavement would be designed with an inverted crown to slope to the intakes located in the center of the 16 foot wide pavement. Although the details have not been finalized it is anticipated there would be 2 to 4 intakes located in the new concrete slab.

Cindy Riesselman

June 9, 2022

Page 2

From a conceptual perspective the proposed plan would address the concern of avoiding surface runoff flowing northerly to the adjoining property. As is typical in much of Dallas Center the City's storm sewer system is less than adequate. However, routing stormwater drainage to existing smaller diameter storm sewers is often the only viable alternative to collect and convey stormwater. Although there are limitations in the capacity of the existing storm sewer system the concept outlined by Chris Knoll would address the writer's concern.

Typically, the City would request the underground storm sewer system be shown on the site plan. However, the proposed improvements are relatively simple and straightforward. Once the design of the system has been completed the site plan could be modified to show the proposed plan.

The writer would note because the concrete on the north side of the building does not require a driveway permit or a building permit there is no clearly established mechanism for the City to confirm whether the construction is in accordance with the verbal description of the drainage plan provided by Chris Knoll. In approving the site plan the City may wish to impose a requirement or condition that would help assure the work is done properly. One approach would be to require an as constructed plan. This approach would be similar to the approach the City used on the single family residential lot at 602 Northview Drive. Another approach would be to condition the approval on a representative of the City being able to inspect the work prior to the pouring of the concrete to ensure the concrete is sloped appropriately.

If you have any questions or comments concerning the project, please contact the writer at 515-225-8000, or bveenstra@v-k.net.

VEENSTRA & KIMM, INC.



H. R. Veenstra Jr.

HRVJr:rdp

212

Cc: Ralph Brown, Brown, Fagen & Rouse

Ralph Brown

From: Sugar Man <[REDACTED]>
Sent: Thursday, June 9, 2022 8:03 AM
To: [REDACTED]; criesselman@dallascenter.com; [REDACTED]
Cc: [REDACTED]; Ralph Brown, [REDACTED]
Subject: Revised Site Plan
Attachments: Precision building (site plan) (3).pdf

Attached is a revised site plan. We have eliminated the 54 x 16 ft. concrete surface that was to tie into the existing drive. But have kept 12 ft. of it as an extension of the new concrete. Leaving us with a 42 x 16 ft. of additional green space that was not shown on the last submitted Site Plan.

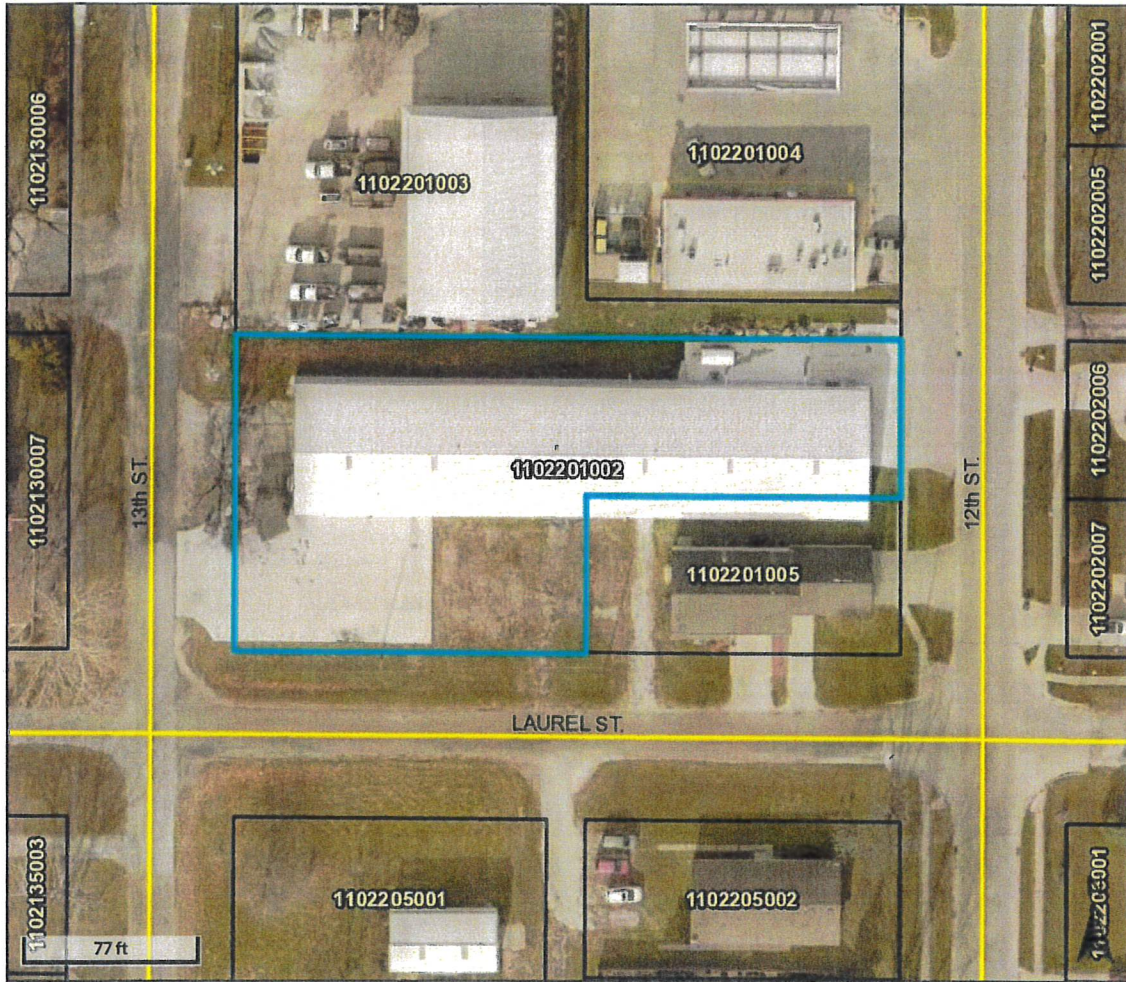
I have met with Chris Knoll and he has a suggested plan relating to storm water control. I would ask that he be called at 515-321-7217 to discuss it. He is copied on this email as Knoll Farms.

A Fence Permit application has been approved and paid for. However, we won't go ahead with a Fence until we have the rest of the project sorted out and approved.

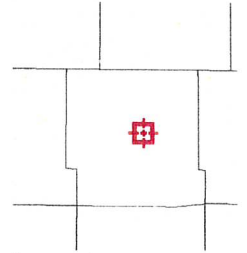
As in the past Chris will apply for the permit needed to work on the approach from the street.

Please advise if there is anything more that I need to do to get this project moving through the approval process.


Jim Woodsmall



Overview



Legend

-  Parcels
-  City Limits

Parcel ID	1102201002	Alternate ID	n/a	Owner Address	HOGAN, KEVIN E
Sec/Twp/Rng	2-79-27	Class	C		1205 LAUREL PO BOX 158
Property Address	1205 LAUREL ST DALLAS CENTER	Acreage	n/a		DALLAS CENTER, IA 50063
District	560000				
Brief Tax Description	HUBER & VANDERCOOKS ADD LTS 2 7 & 8 BLK 68 & ALLEY BETWEEN LOTS <i>(Note: Not to be used on legal documents)</i>				

Date created: 6/23/2022
Last Data Uploaded: 6/22/2022 10:48:18 PM

Developed by  Schneider
GEOSPATIAL

RESOLUTION NO. 2022-56

A RESOLUTION APPROVING THE SITE PLAN FOR CONSTRUCTION OF AN OFFICE BUILDING BY ELITE LAND HOLDINGS LLC AT 1307 SUGAR GROVE AVENUE

WHEREAS, Elite Land Holdings LLC has submitted a Site Plan for construction of a 4,660 square foot office building on the property at 1307 Sugar Grove Avenue, pursuant to Chapter 158 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, which plan was reviewed by the Planning and Zoning Commission on June 28, 2022; and

WHEREAS, the City Engineer provided review comments and recommendations dated June , 2022, a copy of which is attached hereto, to the Planning and Zoning Commission, which comments and recommendations were accepted by the Commission; and

WHEREAS, the Commission recommended that the Site Plan be approved subject to any future use of the office building complying with parking requirements of the Zoning Code, and subject to an additional seventeen (17) parking spaces being added to the north side of the building; and

WHEREAS, the Commission recommended that any requirements for onsite stormwater management be waived, and that the Site Plan be approved; and

WHEREAS, the Council has reviewed the recommendations of the Planning and Zoning Commission, and adopts its recommendations.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DALLAS CENTER, IOWA, that the Council accepts the recommendations of the Planning and Zoning Commission; that any requirements for onsite stormwater management be waived; and the Site Plan submitted by Elite Hand Holdings LLC is approved, subject to the conditions reported by the Planning and Zoning Commission and stated above.

IT IS FURTHER RESOLVED that the Site Plan approval is subject to any future use of the office building complying with parking requirements of the Zoning Code, and subject to an additional seventeen (17) parking spaces being added to the north side of the building.

IT IS FURTHER RESOLVED that this Resolution shall become effective upon the City Clerk's written confirmations from the City Engineer that the conditions set forth in his letter of June 22, 2022, and referenced in this Resolution have been complied with by the applicant, and the City Clerk will provide copies of those written confirmations to the applicant with a copy of this Resolution.

IT IS FURTHER RESOLVED that notification is hereby given to the applicant that Section 158.13 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, provides that the approval of this Site Plan shall expire and terminate 365 days after Council approval unless a building permit (if required) has been issued for the construction provided for in the Site Plan. The Council may, upon written request of the applicant, extend the time for the issuance of the required building permit for 60 additional days. In the event the building permit for construction provided for in a Site Plan expires or is cancelled, then the Site Plan approval shall thereupon terminate.

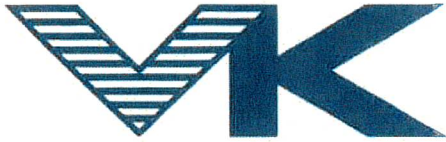
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PASSED, APPROVED, AND ADOPTED by the City Council of the City of Dallas Center, Iowa, on this 12th day of July, 2022.

Daniel Beyer, Mayor

ATTEST:

Shellie Schaben, City Clerk



VEENSTRA & KIMM INC.

3000 Westown Parkway
West Des Moines, Iowa 50266

515.225.8000 // 800.241.8000
www.v-k.net

June 22, 2022

Cindy Riesselman
City Clerk
City of Dallas Center
1502 Walnut Street
P.O. Box 396
Dallas Center, Iowa 50063

DALLAS CENTER, IOWA
ELITE LAND HOLDINGS LLC
1307 SUGAR GROVE AVENUE
SITE PLAN/ARCHITECTURAL PLAN
REVIEW COMMENTS

Enclosed is a copy of the site plan submitted on June 21, 2022 for the Elite Land Holdings LLC building at 1307 Sugar Grove Avenue. Also enclosed is a copy of the architectural plan submitted for the building.

Based on review of the site plan and architectural plan the following comments are offered:

1. The project involves the construction of a 4,660 square foot office building as indicated on the architectural plan the building is configured for two tenant spaces.
2. The site is located immediately adjacent to and interconnected with the existing Elite parcel located immediately to the west.
3. Utility Note 1 on Sheet C4 indicates the construction is to be in accordance with the 2022 SUDAS specifications. This note is satisfactory.
4. Driveway access to the site involves the shared use of the existing driveway located along the west property line. This driveway aligns with the intersection of 14th Street and Sugar Grove Avenue.
5. The site plan shows 17 parking stalls located in the new parking lot along the south side of the proposed building.

BUILDING RELATIONSHIPS ENGINEERING SOLUTIONS

6. The required number of parking stalls is set forth in the City's zoning ordinance. The required number of parking stalls is based on the occupancy of the building. If the City approves a site plan without an identified occupancy the future occupancy of the building must conform with the applicable parking standards.
7. About the least restrictive parking requirement under the zoning ordinance for this type of building is for professional office space at one stall for every 250 square feet of gross floor space. Under this standard 19 parking stalls would be required based on the square footage of the building. Other uses such as retail or food service generally require more parking stalls than required for a professional office use.

As currently presented, it would not appear the site plan would meet the minimum requirement for parking stalls for one of the least restrictive uses. The applicant may wish to consider the addition of parking stalls to meet that minimum requirement and may wish to consider how to address the parking requirement should a future use require a greater number of parking stalls.

8. The site plan shows a canopy and drive through area located on the west side of the building. Base on the configuration of the driveway along the west side of the building the drive through facility could accommodate a small number of queued vehicles.
9. The trash enclosure is located at the northwest corner of the building. Most commercial trash pick up involves a front loading truck. Although a front loading truck can access the trash enclosure it does not appear a front loading vehicle could turn around and exit the site other than driving through the canopied area along the west side of the building. The configuration of the driveway in relationship to the trash enclosure should be reviewed by the applicant to ensure there is proper vehicle movement.
10. The site plan shows a five foot wide sidewalk located along the frontage of the property.
11. For a commercial area it is recommended the sidewalk have an ADA compliant ramp at the driveway along with a detectable warning pad.
12. The site plan shows a 1-inch water service extending from the building southerly across Highway 44 to connect to the existing water main. The site plan shows the service to be installed with trenchless installation in a steel encasement pipe. The applicant will need to obtain an appropriate Utility Accommodation Permit from the Iowa Department of Transportation.
13. The site plan shows a connection to the existing water main with a tapping sleeve and valve connection. That method of connection would not be typical for a 1-inch service connection. The more typical connection would be a 1-inch service corporation.

14. The site plan indicates the water main was not field located and is shown by approximation from a prior survey. The water main along this reach of Highway 44 is a 6-inch water main that was constructed in 1981. The water main is located south of the right-of-way. Enclosed is a copy of a plan drawing from the 1981 Highway 44 water main relocations completed by the City of Dallas Center. The site plan should show the water main based on its current location.
15. The City requires all site plans to show the nearest hydrant and hydrant coverage circles. The hydrant coverage circle is not shown on the site plan.
16. Sanitary sewer service is shown with a 6-inch service line extending south to connect to the existing sanitary sewer on the north side of Highway 44.
17. The site plan shows bends and a cleanout on the sewer service. The sewer service will need to comply with the applicable provisions of the International Plumbing Code.
18. The site plan shows the invert elevation of the east flowing 8-inch sanitary sewer on the north side of Highway 44 to be an assumed elevation. . Based on the slab on grade construction it is anticipated the sanitary sewer is of adequate depth. The applicant will need to confirm the invert elevation of the sanitary sewer is deep enough
19. The site plan shows an internal storm sewer system with nyoplast inlets located near the southeast corner, southwest corner and northwest corner of the buildings.
20. The storm sewer is shown as a 10-inch HDPE sewer that flows westerly and northerly and discharges overland on the applicant property just north of the northwest corner of the developed area of the property.
21. The topography of the area slopes northerly and the storm sewer discharges on the parcel owned by the applicant. Any overland flow from the site should be dissipated by the time it reaches a property line.
22. The site plan does not show any provisions for stormwater detention or stormwater management. Technically this parcel is subject to the City's stormwater management requirements that generally require stormwater detention to reduce the peak rate of discharge. The City does not have storm sewer in this direct area. However, there appears to be a storm sewer located along Highway 44 in Iowa Department of Transportation right-of-way. Because the site slopes northerly away from Highway 44 it would appear difficult to grade the site in a manner that would provide stormwater detention and be tributary to the Highway 44 storm sewer. The City has been willing to waive the requirement for stormwater detention in areas that the lack a suitable outlet for stormwater. Also, the stormwater discharges northerly away from the developed area of the City.

Cindy Riesselman

June 22, 2022

Page 4

23. If the project disturbs more than one acre the project will require a Storm Water Pollution Prevention Plan (SWPPP) and General Permit No. 2. The applicant will be responsible to obtain the permit if more than one acre is disturbed. The City is not responsible to obtain or enforce the provisions of the stormwater permit. If less than one acre is disturbed the applicant will need to provide appropriate erosion control. Because of the direction of overland flowage it would appear the runoff from the site will remain on the applicant's property.
24. No lighting plan was provided as part of the site plan. The applicant should provide information on any exterior lighting to confirm that it complies with the provisions of Section 158.05.
25. The site plan does not indicate any landscaping in the form of plants or trees being provided as part of the site plan.
26. The southerly portion of the site where the development is proposed is zoned C2. The adjoining properties are also zoned C2. Buffering requirements between different zoning districts are not required.
27. The architectural plan indicates the proposed building would be similar to the existing Elite building located on the parcel immediately to the west. The building on the parcel to the west was developed under the current architectural standards. The approval for the existing building occurred in mid-2019. Given the relatively recent approval of the existing building to the west it would appear logical to reach the conclusion the proposed building of the same style would be in conformance with the architectural standards.

If you have any questions or comments concerning the project, please contact the writer at 515-225-8000, or bveenstra@v-k.net.

VEENSTRA & KIMM, INC.



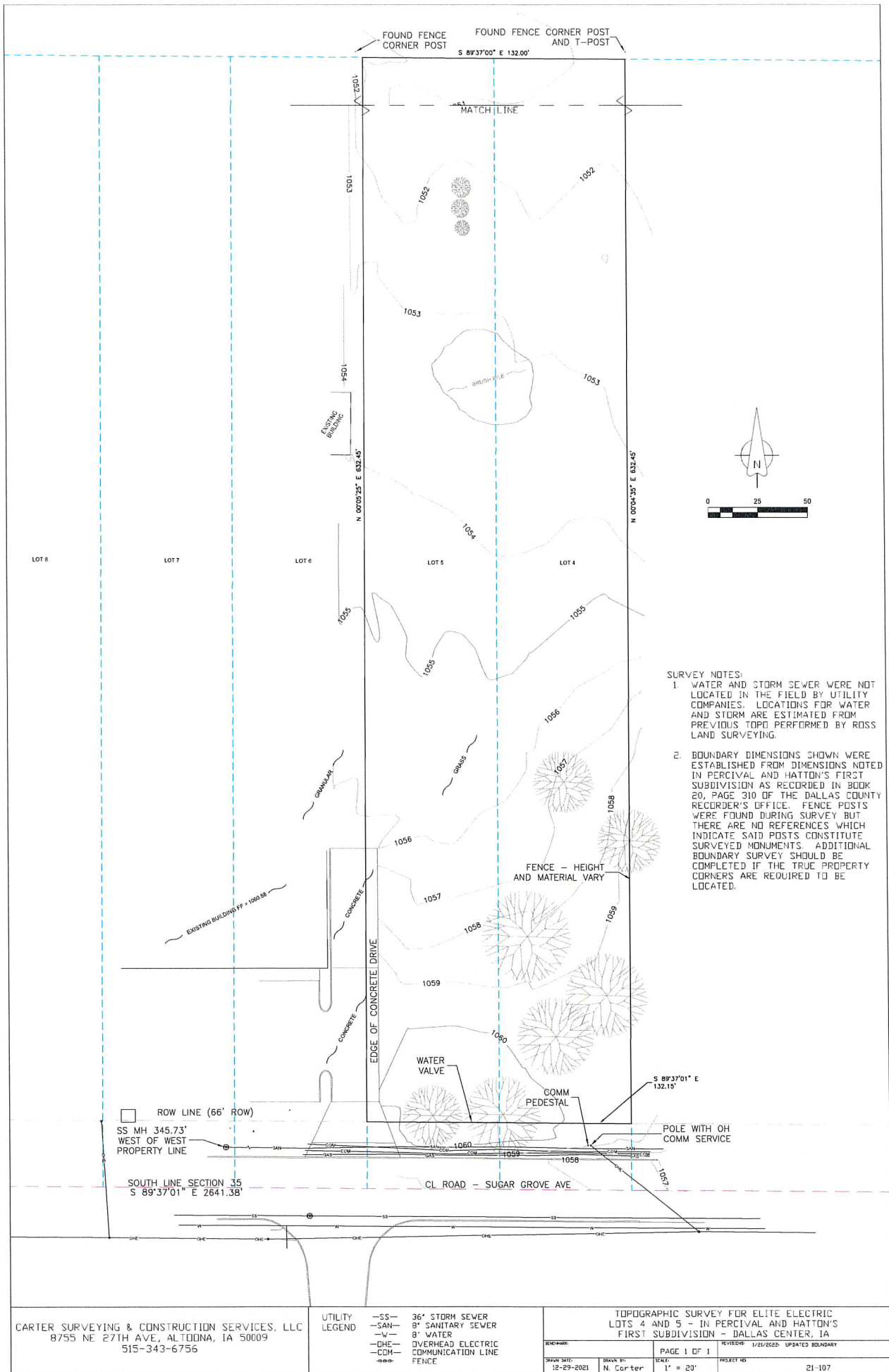
H. R. Veenstra Jr.

HRVJr:rdp

212

Enclosure

Cc: Ralph Brown, Brown, Fagen & Rouse
Larson Engineering Inc.



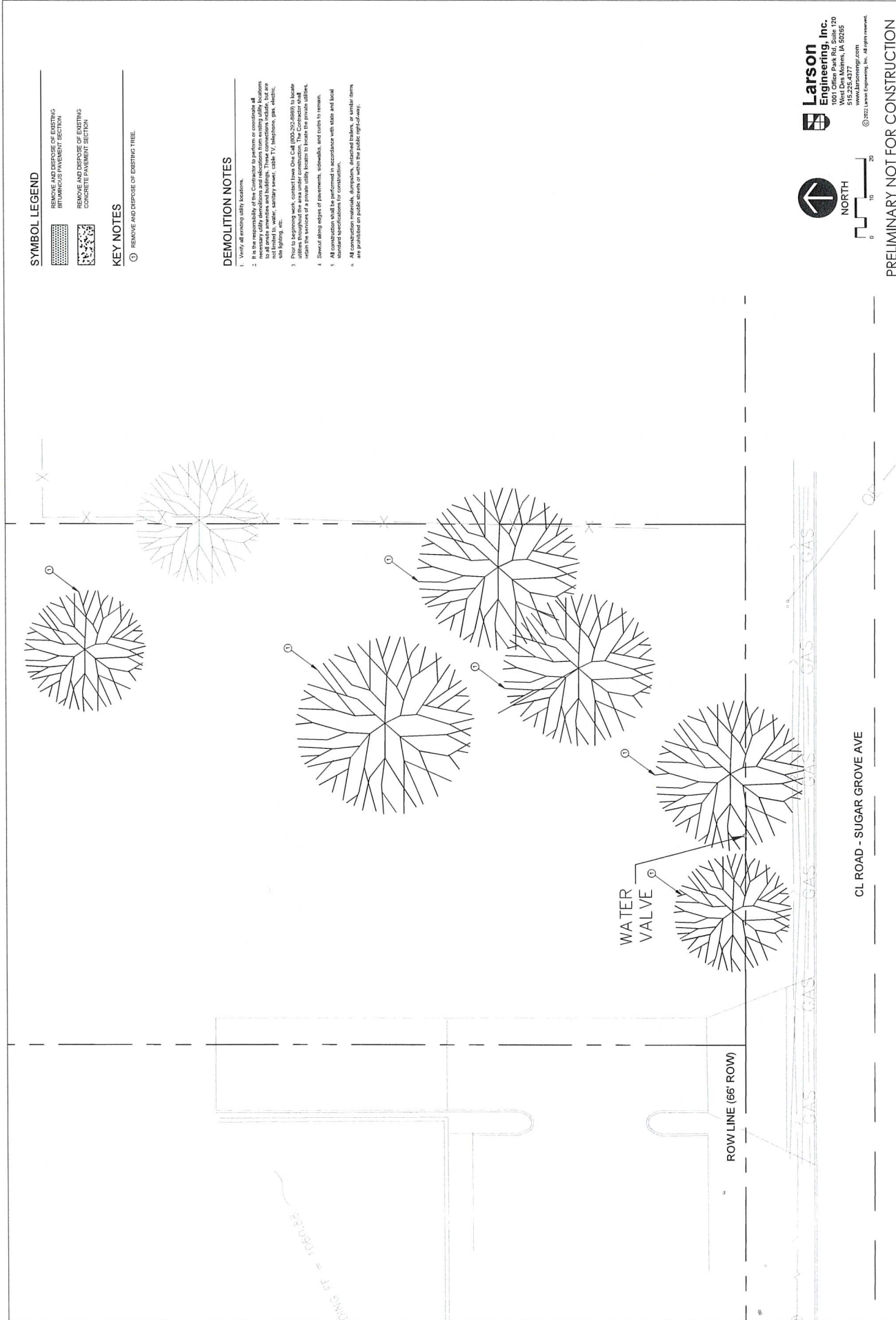
- SURVEY NOTES:**
1. WATER AND STORM SEWER WERE NOT LOCATED IN THE FIELD BY UTILITY COMPANIES. LOCATIONS FOR WATER AND STORM ARE ESTIMATED FROM PREVIOUS TOPO PERFORMED BY ROSS LAND SURVEYING.
 2. BOUNDARY DIMENSIONS SHOWN WERE ESTABLISHED FROM DIMENSIONS NOTED IN PERCIVAL AND HATTON'S FIRST SUBDIVISION AS RECORDED IN BOOK 20, PAGE 310 OF THE DALLAS COUNTY RECORDER'S OFFICE. FENCE POSTS WERE FOUND DURING SURVEY BUT THERE ARE NO REFERENCES WHICH INDICATE SAID POSTS CONSTITUTE SURVEYED MONUMENTS. ADDITIONAL BOUNDARY SURVEY SHOULD BE COMPLETED IF THE TRUE PROPERTY CORNERS ARE REQUIRED TO BE LOCATED.

CARTER SURVEYING & CONSTRUCTION SERVICES, LLC
 8755 NE 27TH AVE, ALTOONA, IA 50009
 515-343-6756

UTILITY LEGEND	--SS-- 36" STORM SEWER --SAN-- 8" SANITARY SEWER --W-- 8" WATER --DHE-- OVERHEAD ELECTRIC --COM-- COMMUNICATION LINE -+--+ FENCE
----------------	---

TOPOGRAPHIC SURVEY FOR ELITE ELECTRIC
 LOTS 4 AND 5 - IN PERCIVAL AND HATTON'S
 FIRST SUBDIVISION - DALLAS CENTER, IA

REVISION:	REVISION: 1/21/2022 - UPDATED BOUNDARY
DATE: 12-29-2021	SCALE: 1" = 20'
DRAWN BY: N. Carter	PROJECT NO: 21-107



SYMBOL LEGEND

- REMOVE AND DISPOSE OF EXISTING BITUMINOUS PAVEMENT SECTION
- REMOVE AND DISPOSE OF EXISTING CONCRETE PAVEMENT SECTION

KEY NOTES

- 1 REMOVE AND DISPOSE OF EXISTING TREE

DEMOLITION NOTES

1. Verify all existing utility locations.
2. All construction shall be performed in accordance with all necessary safety conditions and regulations from existing utility locations to all power, gas, water, sewer, storm, and other utilities, but are not limited to: safety barriers, safety lighting, etc.
3. Prior to beginning work, contact Iowa One Call (800-252-8689) to locate utilities throughout the area and/or construction. The Contractor shall obtain a copy of the One Call report and shall adhere to the safety protocols outlined in the report.
4. Shovel along edges of pavements, sidewalks, and curbs to remove.
5. All construction shall be performed in accordance with state and local regulations.
6. All construction materials, equipment, detached trailers, or similar items are prohibited on public streets or within the public right-of-way.

Larson Engineering, Inc.
 1001 Office Park Rd, Suite 120
 West Des Moines, IA 50065
 www.larsoneng.com



PRELIMINARY NOT FOR CONSTRUCTION



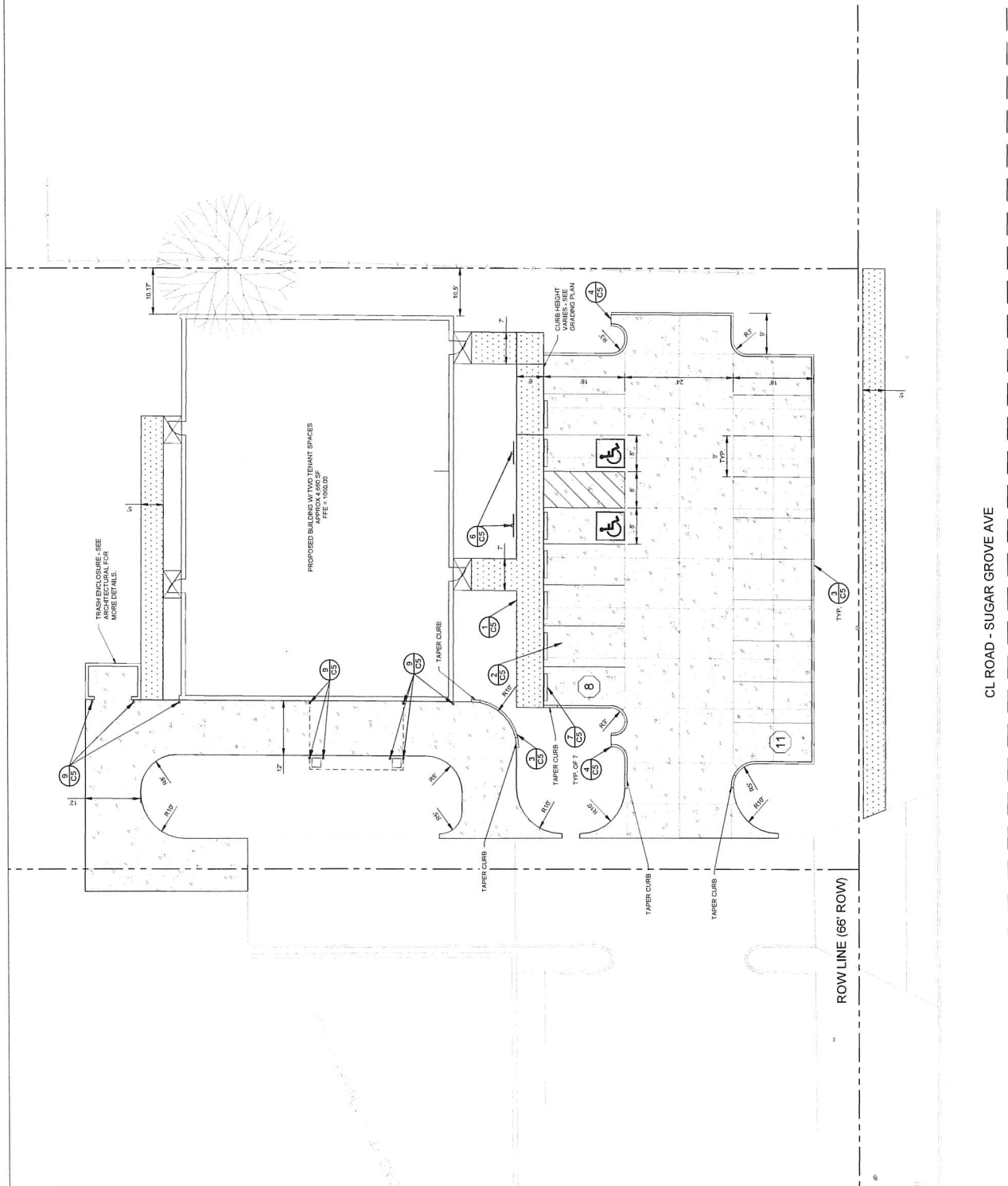
SYMBOL LEGEND

- NEW 5" CONCRETE OVER FT BASE AGGREGATE. SEE DETAIL 1(C).
- NEW 5" CONCRETE OVER FT BASE AGGREGATE. SEE DETAIL 2(C).

WHERE APPLICABLE, DIMENSIONS ARE FROM BACK OF CURB TO BACK OF CURB OR BACK OF CURB TO END OF STALL LINE.

NOTES

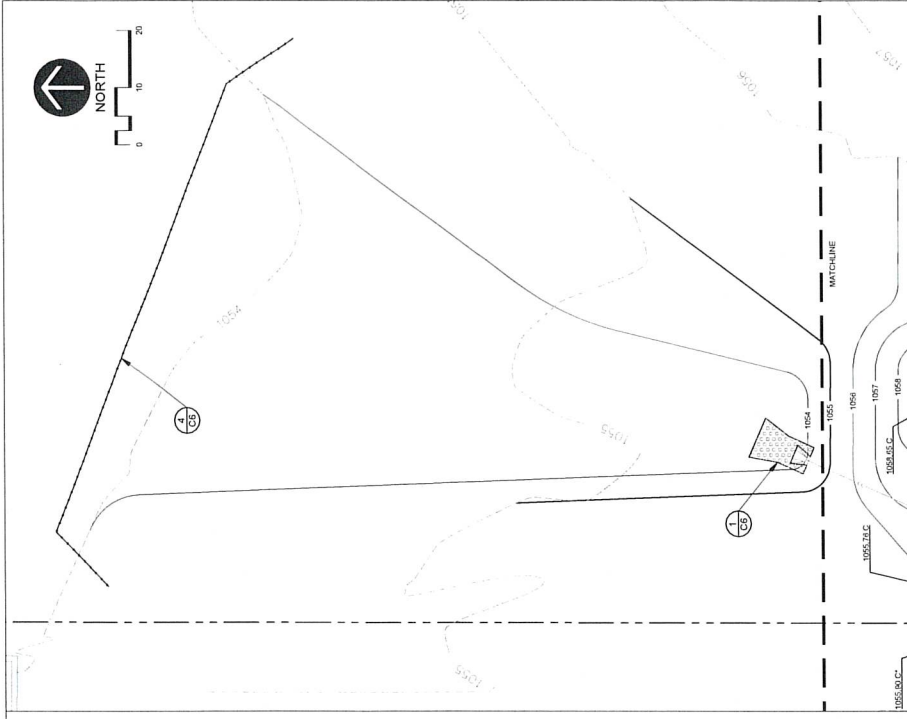
- ALL WORK PERFORMED SHALL MEET THE STANDARDS OUTLINED IN THE ENCLOSED SPECIFICATIONS AND SHALL BE IN ACCORDANCE WITH THE IOWA DEPARTMENT OF TRANSPORTATION (SDAS) STANDARD SPECIFICATIONS UNLESS NOTED OTHERWISE.
- CONCRETE SHALL BE PLACED AND FINISHED TO THE PROPOSED FINISH ELEVATION. THE CONCRETE MIX DESIGN SHALL BE COMPOSED OF PORTLAND CEMENT, COARSE AND FINE AGGREGATE, WATER, AND AN AIR-ENTRAPPING ADMIXTURE, AND SHALL BE TESTED TO MEET THE REQUIREMENTS OF SECTION 202.02 OF THE STANDARD SPECIFICATIONS.
- EXPANSION JOINT MATERIAL SHALL BE BECCO-DOM POLYETHYLENE CLOSED CELL EXPANSION JOINT FILLER WITH PERFORATED REINFORCING TENDON JOINT STRIP.



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 1001 Office Park Rd, Suite 120
 West Des Moines, IA 50265
 www.larsonengr.com
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CL ROAD - SUGAR GROVE AVE

PRELIMINARY NOT FOR CONSTRUCTION



INSET A, NORTH GRADING

LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS - MAJOR INTERVAL
- PROPOSED CONTOURS - MINOR INTERVAL
- PROPOSED CONTOURS - 0.5' INTERVAL
- PROPOSED CONTOURS - GRADE SLOPE
- SILT FENCE
- RIP-RAP / ROCK CONST. ENTRANCE
- INLET PROTECTION
- CONCRETE WASHOUT STATION
- POST ABERRATIONS
- TC - TOP OF CURB
- DL - OUTER LINE
- C - CONCRETE
- EO - EMERGENCY OVERFLOW
- BV - BOTTOM OF WALL (FAS)
- P1 - EXISTING TO BE VERIFIED

GRADING NOTES

- Tree protection consisting of snow fence or safety fence installed at the site line shall be in place prior to beginning any grading or demolition work at the site.
- Any proposed grading shall be fully verified by elevations and spot checks, with the Engineer for further instructions.
- Cutbacks shown in paved areas represent finish elevations.
- Remove all disturbed areas with a 1" good quality topsoil and seed.
- All construction shall be performed in accordance with state and local regulations.
- See Sheet C1 - Civil Details for Erosion Control Notes.

CL ROAD - SUGAR GROVE AVE

ROW LINE (66 ROW)

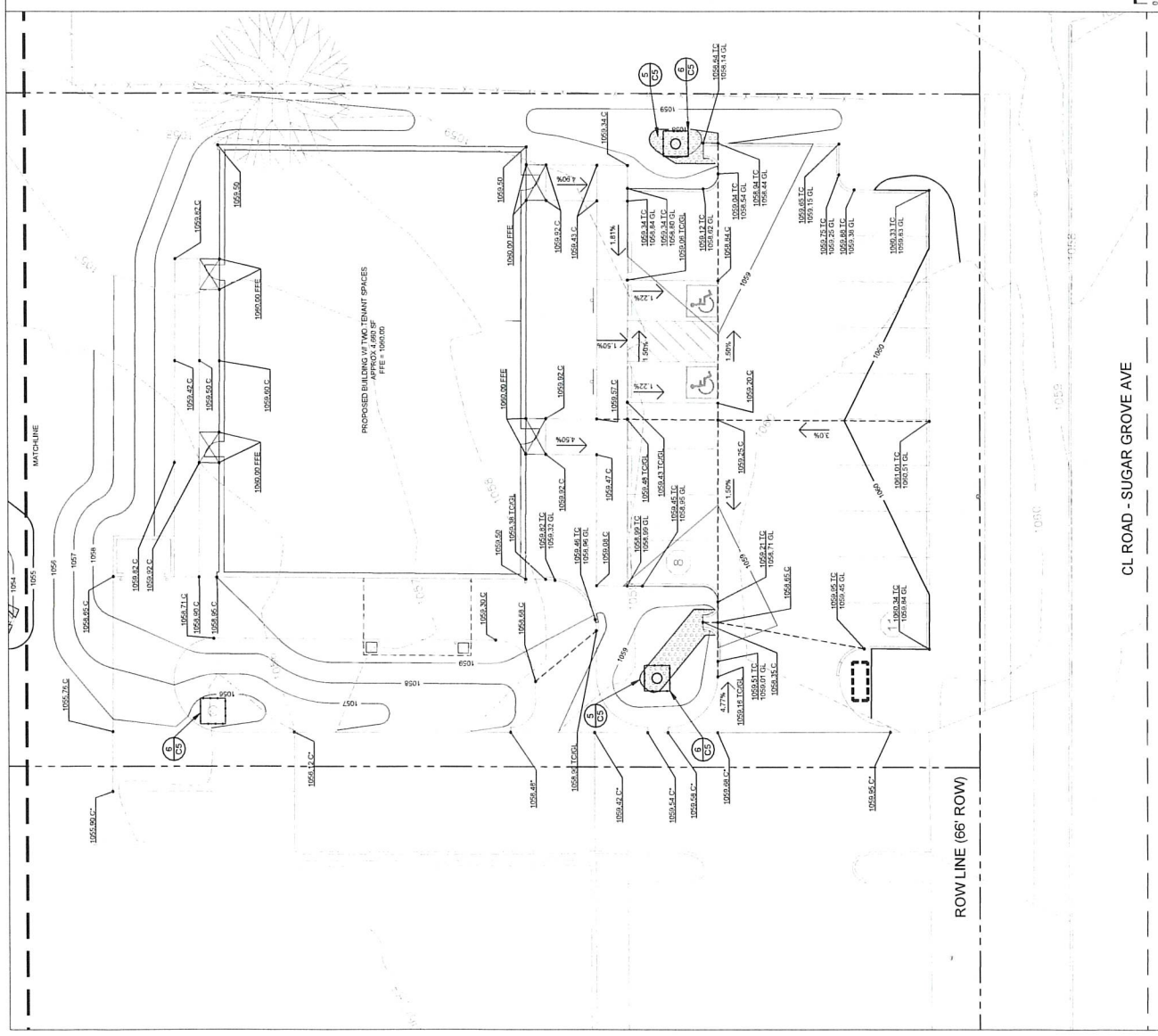
PRINT DATE: JUNE 21, 2022

SHRIMP NAME: GRADING AND EROSION CONTROL PLAN

ELITE LAND HOLDINGS, LLC
 COMMERCIAL BUILDING & DEVELOPMENT
 1353 SUGAR GROVE AVE
 DALLAS CENTER, IOWA 50063

STUDIO MELLE
 139 FOURTH STREET
 WEST DES MOINES, IOWA 50265

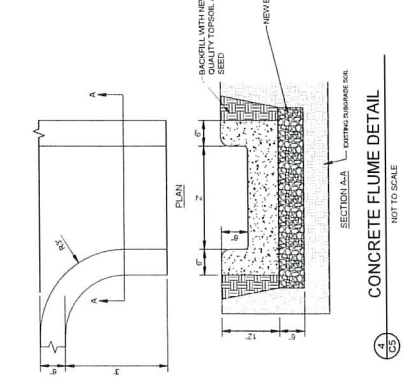
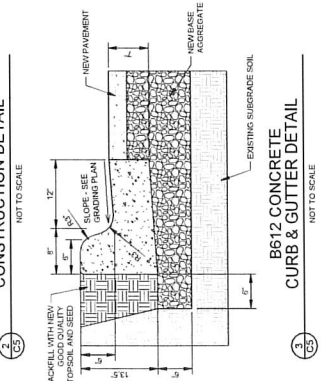
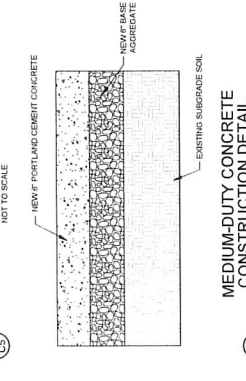
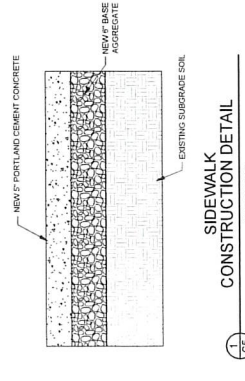
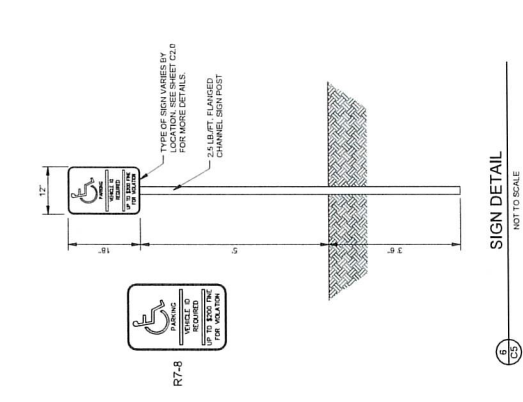
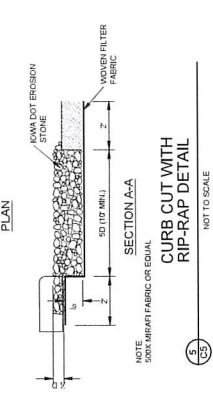
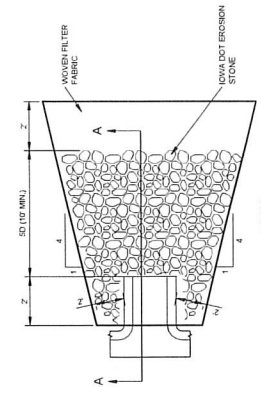
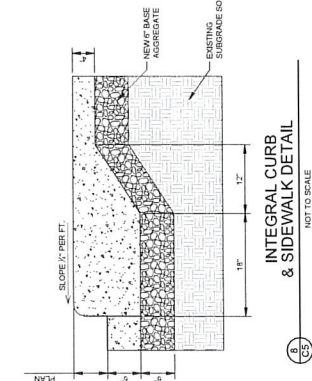
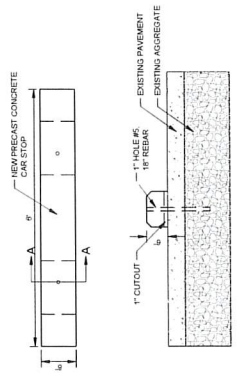
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 West Des Moines, IA 50065
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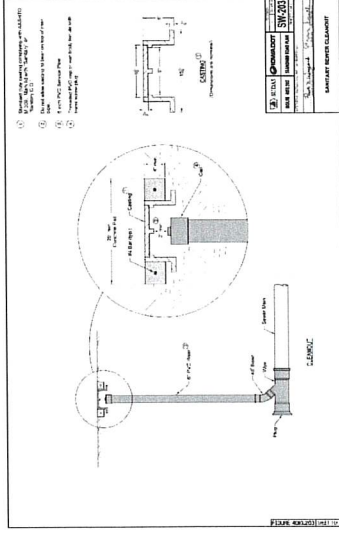
PRELIMINARY NOT FOR CONSTRUCTION

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PRELIMINARY NOT FOR CONSTRUCTION



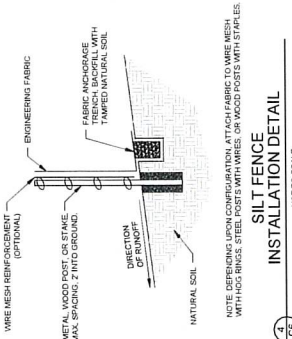
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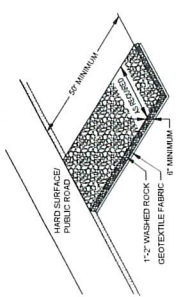
SW-203
SANITARY SEWER CLEANOUT
NOT TO SCALE

EROSION CONTROL NOTES

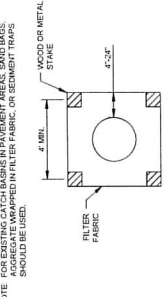
1. Owner and Contractor shall obtain Iowa DNR/DESDES permit. Contractor shall be responsible for all fees pertaining to this permit. The DNR/DES permit shall be kept onsite at all times.
2. Install temporary erosion control measures (silt fence, silt fence, and rock construction) extensively prior to beginning any excavation or foundation work at the site.
3. Erosion control measures shown on the erosion control plan are the absolute minimum. The contractor shall install temporary silt fences, sediment traps or basins, additional silt fence, and/or silt fence parallel to the contour as deemed necessary to further control erosion. All changes shall be recorded in a log (see 10.1.1).
4. All construction site entrances shall be surfaced with crushed rock across the entire width of the entrance and from the entrance to a point 50' into the construction zone.
5. The top of all fences shall be finished to a minimum of 4". The silt fence shall be compacted with a stationary plate compactor.
6. All grading operations shall be conducted in a manner to minimize the potential for site erosion. Sediment control practices must be established on all down gradient properties before any up gradient work begins.
7. All exposed soil areas must be stabilized as soon as possible to limit soil erosion but in no case later than 14 days after the construction activity. The stabilization shall be by hydroseeding or mulching with straw or hay. The stabilization shall be done in a manner to prevent erosion. Stabilization methods include, but are not limited to, mulching, straw, hay, and hydroseeding.
8. Pipe outlets must be provided with energy dissipation within 24 hours of connection to surface water.
9. All piping shall be installed with a filter material or soil separation construction shall be covered to prevent runoff from entering the storm sewer system. Catch basins necessary for the all storm water entering construction shall be covered with silt prevention.
10. All storm water entering construction shall be treated with silt prevention.
11. In areas where concentrated flow occurs (such as roads and areas in front of storm catch basins and outlets) the erosion control facilities shall be backed by stabilization structure to prevent those facilities from the concentrated flows.
12. Inspect the construction site once every seven days during active construction and within 24 hours after a rainfall event greater than 0.5 inches in 24 hours. All inspections shall be recorded in the DMR/DES.
13. All silt fences must be repaired, replaced, or supplemented when they become nonfunctional or the sediment reaches 1/3 of the height of the fence. These repairs must be made within 24 hours of discovery, or as soon as field conditions allow repairs. All repairs shall be recorded in the DMR/DES.
14. If sediment escapes the construction site, off-site accumulations of sediment must be removed in a manner and at a frequency sufficient to minimize off-site impacts.
15. All soils treated onto pavement shall be removed daily.
16. Temporary silt stockpiles must have silt fence or other effective sediment control, and cannot be placed in surface waters, including stormwater conveyance such as culverts and gullies systems, or channels and ditches unless there is a bypass in place for the stormwater.
17. Collected sediment, asphalt and concrete millings, building debris, paper, plastic, fabric, construction and demolition debris and other wastes must be disposed of properly and must comply with Iowa DNR disposal requirements.
18. Oil, grease, paint and any hazardous substances must be stored in approved secondary containment, to prevent spills, leaks or other discharges. Restrict access to storage areas.
19. Erosion control facilities shall be inspected and maintained throughout the project. Erosion control facilities shall be replaced or repaired as needed. Erosion control facilities shall be removed as soon as they are no longer needed. Erosion control facilities shall be removed as soon as they are no longer needed. Erosion control facilities shall be removed as soon as they are no longer needed.
20. All liquid and solid wastes generated by construction shall be contained in a leak-proof containment facility or impervious liner. The liquid and solid wastes must not contact the ground, and there must not be runoff from the concrete washout operations or areas. The containment facility shall be inspected and maintained throughout the project. Erosion control facilities shall be removed as soon as they are no longer needed.
21. Upon completion of the project and stabilization of all graded areas, all temporary erosion control facilities (silt fences, hay bales, etc.) shall be removed from the site.



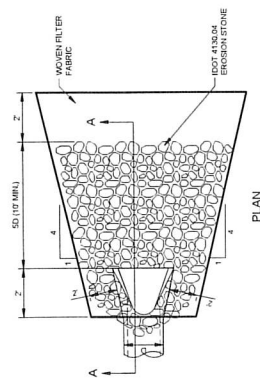
SILT FENCE
INSTALLATION DETAIL
NOT TO SCALE



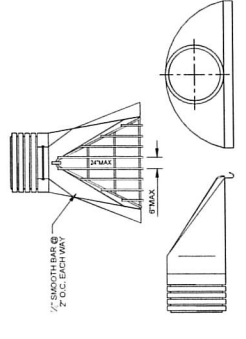
ROCK CONSTRUCTION ENTRANCE
NOT TO SCALE



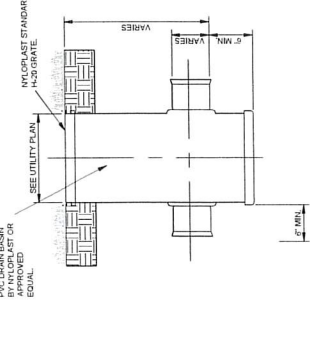
SILT FENCE INLET
SEDIMENT FILTER
NOT TO SCALE



RIP-RAP AT OUTLETS
NOT TO SCALE



FLARED END
SECTION DETAIL
NOT TO SCALE



DRAIN BASIN DETAIL
NOT TO SCALE

A2.0

PRINT DATE: JUNE 21, 2022
 SHEET NAME: BUILDING ELEVATIONS

ELITE LAND HOLDINGS, LLC
 COMMERCIAL
 153 SUGAR GROVE AVE
 BUILDING 5 SITE DEVELOPMENT
 WEST DES MOINES, IOWA 50063

STUDIO MEELE
 139 4TH STREET
 WEST DES MOINES, IOWA 50063

PRELIMINARY NOT FOR CONSTRUCTION

1 SOUTH ELEVATION
 SCALE: 3/16" = 1'-0"

TOTAL METAL SIDING: 98 SF (7%)
 TOTAL FIBER CEMENT: 194 SF (14%)
 TOTAL STONE: 57 SF (4%)
 TOTAL GLAZING: 478 SF (37%)
 TOTAL SURFACE AREA: 1,301 SF

TOTAL METAL SIDING: 97 SF (6%)
 TOTAL FIBER CEMENT: 192 SF (14%)
 TOTAL STONE: 57 SF (4%)
 TOTAL GLAZING: 483 SF (37%)
 TOTAL SURFACE AREA: 1,301 SF

2 NORTH ELEVATION
 SCALE: 3/16" = 1'-0"

TOTAL METAL SIDING: 98 SF (8%)
 TOTAL FIBER CEMENT: 78 SF (6%)
 TOTAL STONE: 111 SF (9%)
 TOTAL SURFACE AREA: 911 SF

3 EAST ELEVATION
 SCALE: 3/16" = 1'-0"

TOTAL METAL SIDING: 169 SF (19%)
 TOTAL FIBER CEMENT: 590 SF (63%)
 TOTAL STONE: 90 SF (10%)
 TOTAL SURFACE AREA: 811 SF

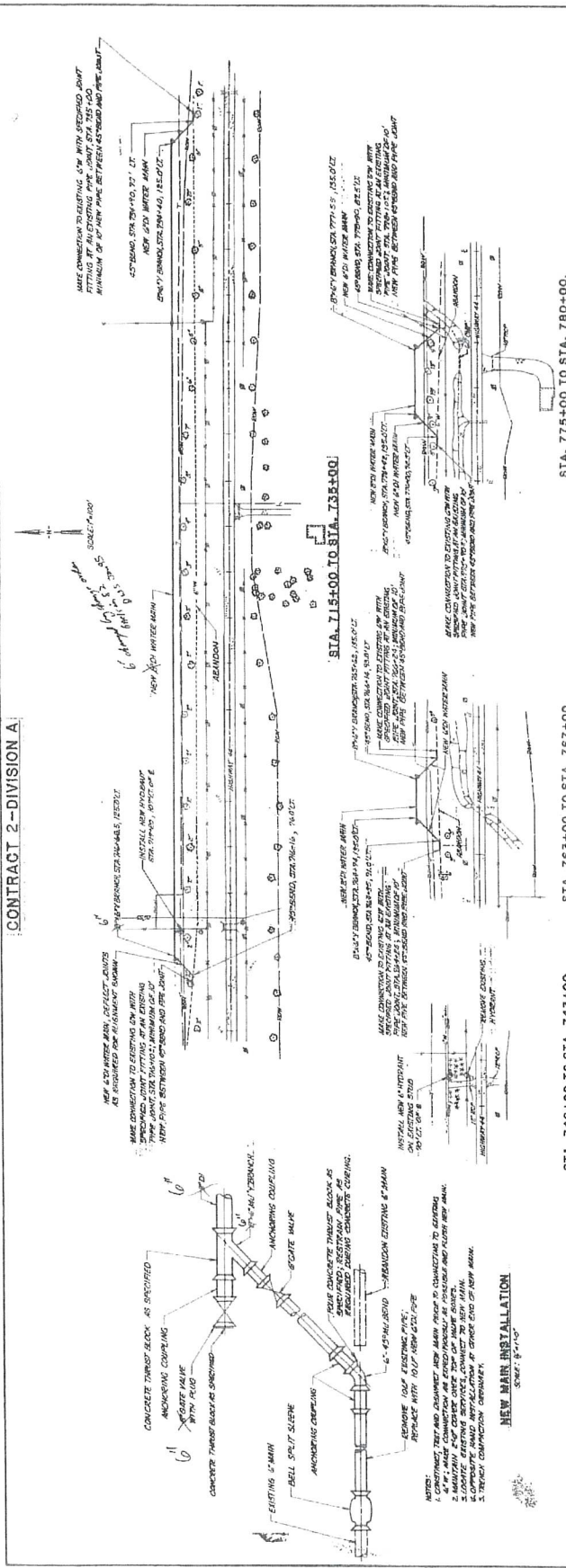
4 WEST ELEVATION
 SCALE: 3/16" = 1'-0"

MATERIAL AND COLOR KEY

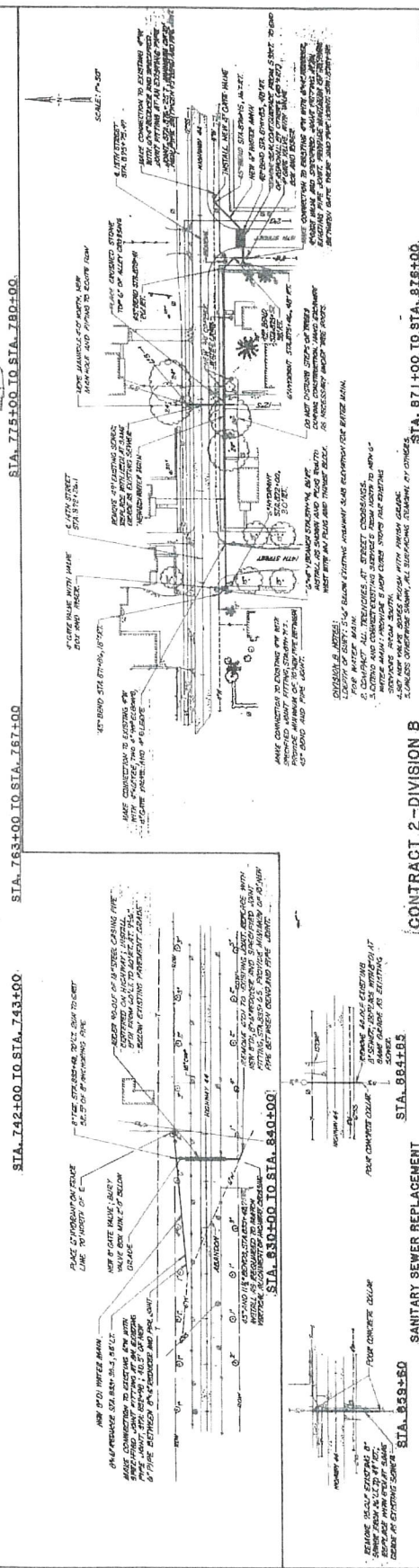
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- (2) 1/2" x 1/2" x 1/2" METAL SIDING
- (3) 1/2" x 1/2" x 1/2" METAL SIDING
- (4) 1/2" x 1/2" x 1/2" METAL SIDING
- (5) 1/2" x 1/2" x 1/2" METAL SIDING
- (6) 1/2" x 1/2" x 1/2" METAL SIDING
- (7) 1/2" x 1/2" x 1/2" METAL SIDING
- (8) 1/2" x 1/2" x 1/2" METAL SIDING
- (9) 1/2" x 1/2" x 1/2" METAL SIDING
- (10) 1/2" x 1/2" x 1/2" METAL SIDING
- (11) 1/2" x 1/2" x 1/2" METAL SIDING
- (12) 1/2" x 1/2" x 1/2" METAL SIDING
- (13) 1/2" x 1/2" x 1/2" METAL SIDING

STUDIO MEELE
 139 4TH STREET
 WEST DES MOINES, IOWA 50063

CONTRACT 2 - DIVISION A



CONTRACT 2 - DIVISION B

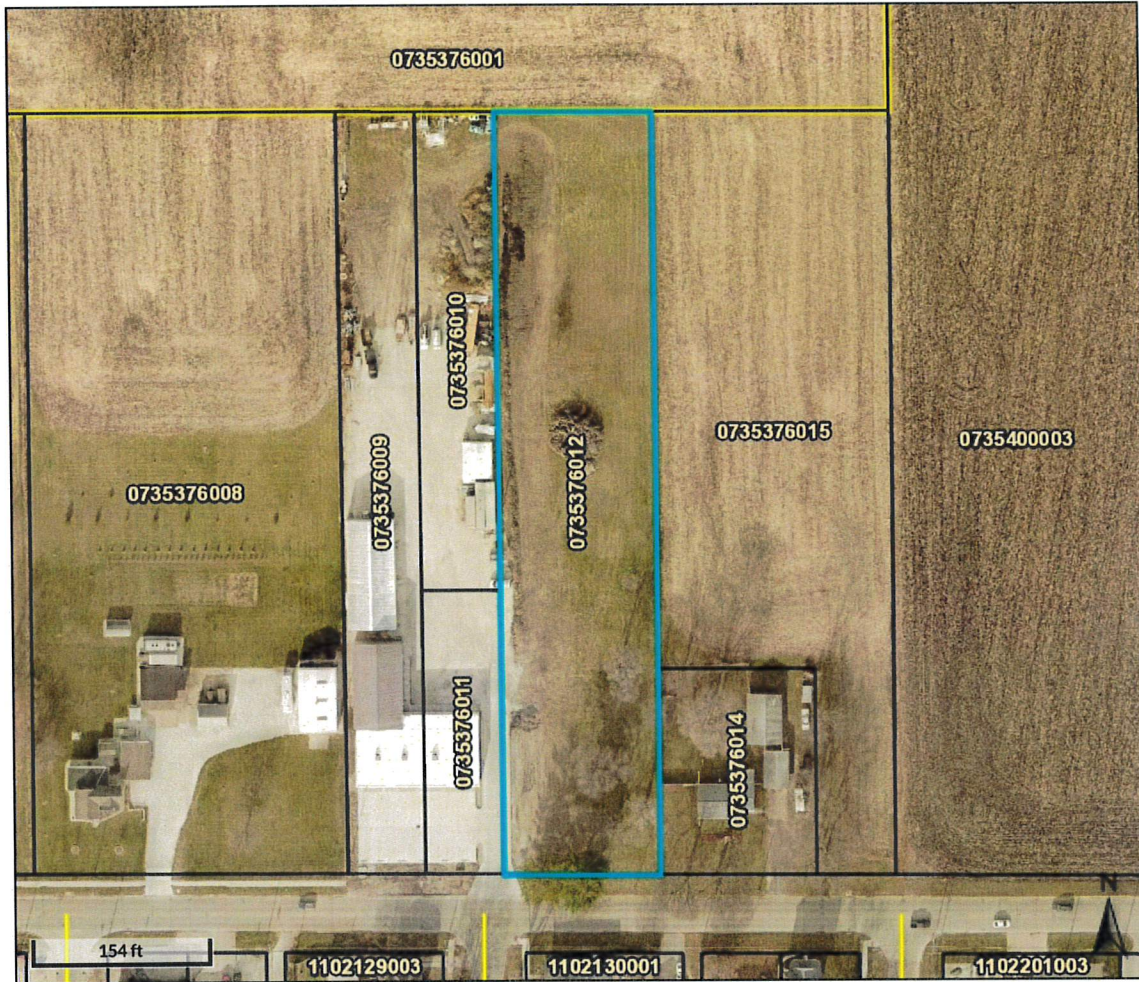


STATION	ELEVATION	DATE	REVISIONS
2+50.00	41.00	11/11/11	1. AS SHOWN

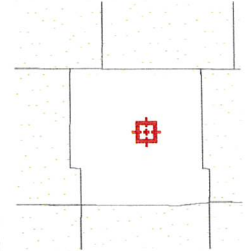
VEENSTRA & KIMM
ENGINEERS & PLANNERS
WEST DES MOINES, IOWA

UTILITY RELOCATION

DWG NO 8125-1
DATE 11/11/11



Overview



Legend

-  Parcels
-  City Limits

Parcel ID	0735376012	Alternate ID	n/a	Owner Address	ELITE LAND HOLDINGS, LLC
Sec/Twp/Rng	35-80-27	Class	R		1403 SUGAR GROVE AVE
Property Address	1307 SUGAR GROVE AVE	Acreage	n/a		DALLAS CENTER, IA 50063
	DALLAS CENTER				
District	560000				
Brief Tax Description	LOTS 4 & 5 & S1/2 SE SW				
	(Note: Not to be used on legal documents)				

Date created: 6/22/2022
 Last Data Uploaded: 6/22/2022 1:04:58 AM

Developed by  **Schneider**
 GEOSPATIAL

RESOLUTION NO. 2022-57

A RESOLUTION APPROVING THE ARCHITECTURAL PLAN FOR THE ELITE LAND HOLDINGS LLC OFFICE BUILDING AT 1307 SUGAR GROVE AVENUE

WHEREAS, Elite Land Holdings LLC has submitted an Architectural Plan for the Office Building at 1307 Sugar Grove Avenue pursuant to Chapter 158 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, which plans were reviewed by the Planning and Zoning Commission on June 28, 2022; and

WHEREAS, the Plan as submitted indicates the proposed building will be similar to the existing Elite building located on the parcel immediately to the west, the Architectural Plan for which was approved by Resolution No. 2019-25 on July 9, 2019. The wall construction materials were described as brick and metal siding, which materials are in compliance of Section 158.10 (1) of the Code of Ordinances of the City of Dallas Center, Iowa, as amended; and

WHEREAS, the Planning and Zoning Commission recommended approval of the Architectural Plan.

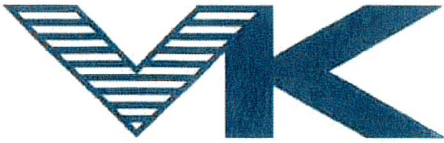
NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DALLAS CENTER, IOWA, that the Council accepts the recommendations of the Planning and Zoning Commission; and the Architectural Plan submitted by Elite Land Holdings LLC for the proposed office building is approved.

PASSED, APPROVED, AND ADOPTED by the City Council of the City of Dallas Center, Iowa, on this 12th day of July, 2022.

Daniel Beyer, Mayor

ATTEST:

Shellie Schaben, City Clerk



VEENSTRA & KIMM INC.

3000 Westown Parkway
West Des Moines, Iowa 50266

515.225.8000 // 800.241.8000
www.v-k.net

the neighborhood plat 2 preliminary plat review comments
June 21, 2022

Cindy Riesselman
City Clerk
City of Dallas Center
1502 Walnut Street
P.O. Box 396
Dallas Center, Iowa 50063

DALLAS CENTER, IOWA
THE NEIGHBORHOOD PLAT 2
PRELIMINARY PLAT
REVIEW COMMENTS

Enclosed is a copy of the preliminary plat of The Neighborhood Plat 2 received from Civil Engineering Consultants, Inc. on June 20, 2022. The writer has completed a review of the first submittal of the preliminary plat of The Neighborhood Plat 2 project.

The preliminary plat encompasses the northerly and southerly portions of The Neighborhood Plat 2 project. The preliminary plat illustrates the proposed development. The preliminary plat shows the general layout of the utilities and infrastructure to serve the plat. More detailed information on the infrastructure improvements will be presented in the construction plans for each individual plat as they move forward through the development process.

Based on review of the preliminary plat the following comments are offered:

1. The preliminary plat shows the three residential zoning areas and the bulk regulations for each of the zoning districts.
2. On Sheet 1 under General Note 1 Item a. should be modified to indicate notification is to be provided to both the City of Dallas Center and Veenstra & Kimm, Inc.
3. On Sheet 1 under NPDES/SWPPP Note 8 the City of Dallas Center does not currently require a CONSECO permit.

4. On Sheet 1 under NPDES/SWPPP Note 7 indicates the owner or contractor is required to obtain a General NPDES Permit No. 2. This would include preparation of a Stormwater Pollution Prevention Plan (SWPPP) Grading Note 8 indicates additional silt fencing may be required by the City after field inspection. The City of Dallas Center is not an MS4 permitted City. The City is not responsible and will not assume responsibility for monitoring and enforcement of erosion control provisions set forth in the SWPPP and General Permit No. 2. While the City may offer suggestions regarding erosion control during construction, the primary responsibility for erosion control and compliance with General Permit No. 2 rests with the owner and contractor. Although the City is not responsible for the enforcement of the erosion control Grading Note 8 is satisfactory as the City may request additional silt fence in certain circumstances.
5. The correct name of the existing street is Fair View Drive.
6. The preliminary plat shows Lot G as an extension of Northview Drive. Although not labeled, Lot G will be named Northview Drive.
7. In the northern part of The Neighborhood Plat 2 Lot A is shown as a street connection to Fair View Drive. The street in Lot A is shown to extend easterly to the plat boundary.
8. In the southern part of The Neighborhood Plat 2 none of the streets are shown to extend to the east plat boundary. The City will need to determine if a street should extend easterly to the plat boundary. Extending Northview Drive to the plat boundary would require a change in the lot configuration. From a traffic flow perspective extending Northview Drive to the plat boundary is not considered essential as Sycamore Street extends to the plat boundary only one block to the north. A more logical location for an extension of a street to the east plat boundary would be farther to the south at Lot I. However, Lot I is not a through street that connects to Fair View Drive. In the southern part of the plat the options relative to extending a street to the east plat boundary include, no street extension to the east plat boundary, extending Northview drive to the east plat boundary or extending Lot I to the east plat boundary. Of the three options extending Northview Drive to the east plat boundary appears to be the least preferable given the one block distance between Sycamore Street and Northview Drive.
9. The preliminary plat shows all of the street rights of way to be 60 feet.
10. The preliminary plat shows Lot B, Evelyn Avenue, to be 31 feet in both the northerly and southerly portions of the plat.
11. All of the other streets in the plat are shown to be 26 foot back to back.
- 12.

13. Under the City's current ordinance all streets within the plat would need to be 31 foot back to back. The only exception in the City's ordinance is for a cul-de-sac street which is allowed to be 26 foot back to back. However, none of the streets in The Neighborhood Plat 2 are configured as a cul-de-sac.
14. In both the northerly part and southerly part of the plat the rear yards of the lots on the east side of Evelyn Avenue are shown to drain overland to the east. For these lots the front yards drain westerly to Evelyn Avenue.
15. For the balance of the plat the general topography is the ground slope from east to west.
16. For the east west streets, Lot A, Lot B and Lot E the general grading plan is for the front yards to drain generally toward the street and the rear yards to drain generally to the west. On the west side of Lot D the front yards drain to the front and the rear yards generally drain to the west toward Fair View Drive.
17. In the south part of the plat between Lois Avenue and Evelyn Avenue the same general grading plan is shown with the front yards draining to the street and the rear yards draining westerly.
18. Along Northview Drive between the plat boundary and Lois Avenue the front yards are shown to drain toward the street and the rear yards are shown to drain away from the street. On the north side of Northview Drive the lots are shown to drain toward Outlot Z .
19. On the south side of Northview Drive the lots are shown to drain southerly to the townhome area.
20. Given the topography of the area the general grading plan appears satisfactory. It is noted at many locations both the front yard and rear yard areas of a lot may need to accommodate the drainage from an adjacent lot to the east. The final plat will need to include a notation indicating during individual lot development the grading plan must developed in a manner that accommodates the overland flow from the upstream lot to the without adversely impacting the upstream lot.
21. The preliminary plat shows the construction of 8-inch water mains along all of the streets.
22. In the northern part of the plat the 8-inch water main connects to the existing 12-inch water main along Fair View Drive and connects to the existing 8-inch water main along Evelyn Avenue at the southeast corner of the plat.
23. In the northern part of the plat the water main is shown to extend to the east plat boundary at the east end of Lot A.

24. In the southern part of the plat the 8-inch water main is shown to connect to the existing 12-inch water main on Fair View Drive and to connect to the existing water mains on Lois Avenue and Evelyn Avenue at the north plat boundary.
25. In the southern part of the plat the water main is not shown to extend to the east plat boundary. It would be preferable if the water main were to extend to the east plat boundary to accommodate future development to the east. The preferred location for an extension of the water main to east plat boundary would either be on Lot I or in the townhome area to the south of Lot I.
26. A drawing should be added to the preliminary plat showing the hydrant coverage circles.
27. The details regarding valving on the water mains will be addressed during the construction plan review.
28. The existing sanitary sewer on Fair View Drive is shown as an 8-inch diameter sewer. The sewer is a 12-inch diameter pipe.
29. The northerly part of the preliminary plat shows a sanitary sewer connecting to the existing sanitary sewer along Fair View Drive near the southwest corner of the plat. The sanitary sewer extends northeasterly through Outlot U to the intersection of Lot E and Lot D.
30. A sanitary sewer is shown to extend east on Lot E to west of Evelyn Avenue.
31. The sanitary sewer extends north on Lot D and east on Lot C and Lot A to Lot B. The sanitary sewer on Lot C extends south along Evelyn Avenue to serve the lots on the east side of Evelyn Avenue north of Lot E south of Lot C.
32. The sanitary sewer on Lot A extends south on Evelyn Avenue to serve the lots on the east side of Evelyn Avenue north of Lot C.
33. The preliminary plat shows a short reach of sanitary sewer extending north on Evelyn Avenue to serve Lots 33, 34 and 35.
34. The sanitary sewer in the southern part of the plat is shown to connect to the existing sanitary sewer on Fair View Drive at the southwest corner of Lot Z.
35. The sanitary sewer from the connection at the southwest corner of Outlot Z extends east on Outlot Z and south along the westerly part of Lot 119 to Northview Drive.
36. The sanitary sewer extends easterly on Northview Drive to Evelyn Avenue and north and south on Evelyn Avenue.

37. The branch of the sanitary sewer extends south on Lot H and east on Lot I.
38. The preliminary plat shows all of the storm sewer in the northern part of the plat discharges near the southwest corner of the plat between Lot 48 and Lot 49.
39. The preliminary plat does not provide any detail on how stormwater discharge in the southwest corner of the northerly plat will be handled. It is unclear whether the intent is to connect to the existing storm sewer or to consider another conveyance method from the discharge point. Although the preliminary plat does not require a detailed Stormwater Management Plan, the routing of stormwater discharge from the northern part of the plat needs to be addressed.
40. In the northern part of the plat a storm sewer is shown to extend north on Lot D to Lot A. Storm sewers extend east on Lot E, Lot C and Lot A to serve all of the northern part of the plat except for the areas east of Lot B, north of Lot A and west of Lot D that flow overland away from the streets within the northern part of the plat.
41. In the southern part of the plat a storm sewer is shown to connect to the existing East Dual Purpose Sewer along Northview Drive. This storm sewer extends east on Northview Drive to Evelyn Avenue.
42. A separate storm sewer is shown to be constructed along Lot I. This storm sewer discharges to the west of the intersection of Lot H and Lot I.
43. The development of this project is subject to the City's requirements regarding stormwater management including managing the release rate in a developed condition under a 100 year recurrence interval storm event to no greater than the discharge from a 5 year recurrence interval storm in the undeveloped condition. Although the City does not require the detailed Stormwater Management Plan to be submitted as part of the preliminary plat the general concept for providing stormwater management must be illustrated on the preliminary plat. The preliminary plat shows no provisions for stormwater detention and does not allow for even a general determination whether the stormwater management concept would be consistent with the City's requirements. Additional information regarding the concept for stormwater management must be included on the preliminary plat.
44. The preliminary plat shows Outlot U and Outlot V to accommodate sidewalk connections from Fair View Drive to Lot D.

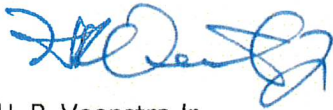
Cindy Riesselman

June 21, 2022

Page 6

If you have any questions or comments concerning the project, please contact the writer at 515-225-8000, or bveenstra@v-k.net.

VEENSTRA & KIMM, INC.

A handwritten signature in blue ink, appearing to read "H. R. Veenstra Jr.", with a stylized, cursive script.

H. R. Veenstra Jr.

HRVJr:rdp

212

Enclosure

Cc: Ralph Brown, Brown, Fagen & Rouse
Matt Ostanik, Planning & Zoning Commission

Civil Engineering Consultants, Inc. 3400 80th Street, Suite 112, Des Moines, Iowa 50322 515.276.4884, mail@cec.com

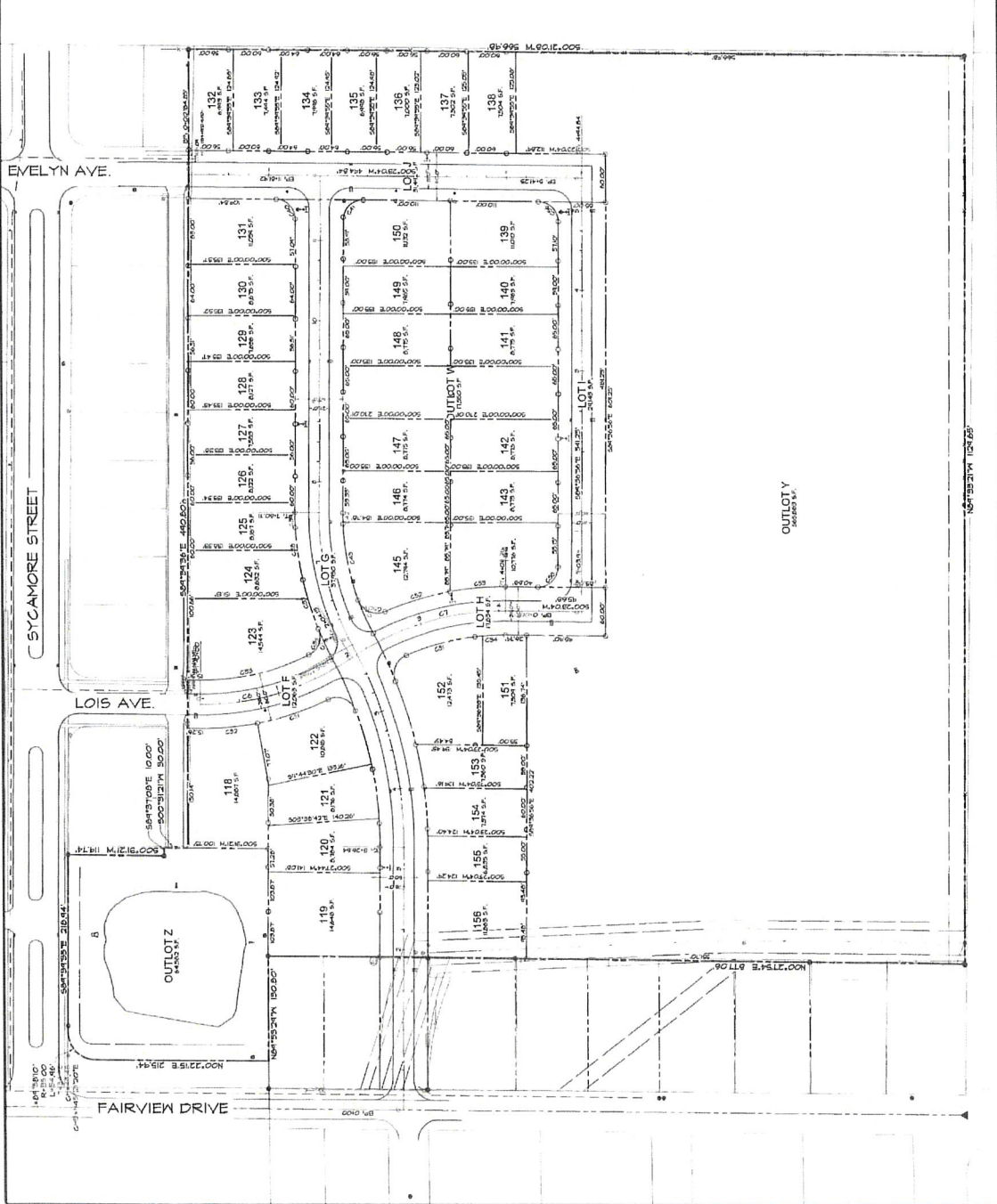
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 SCALE: 1"=60' (SECTION)

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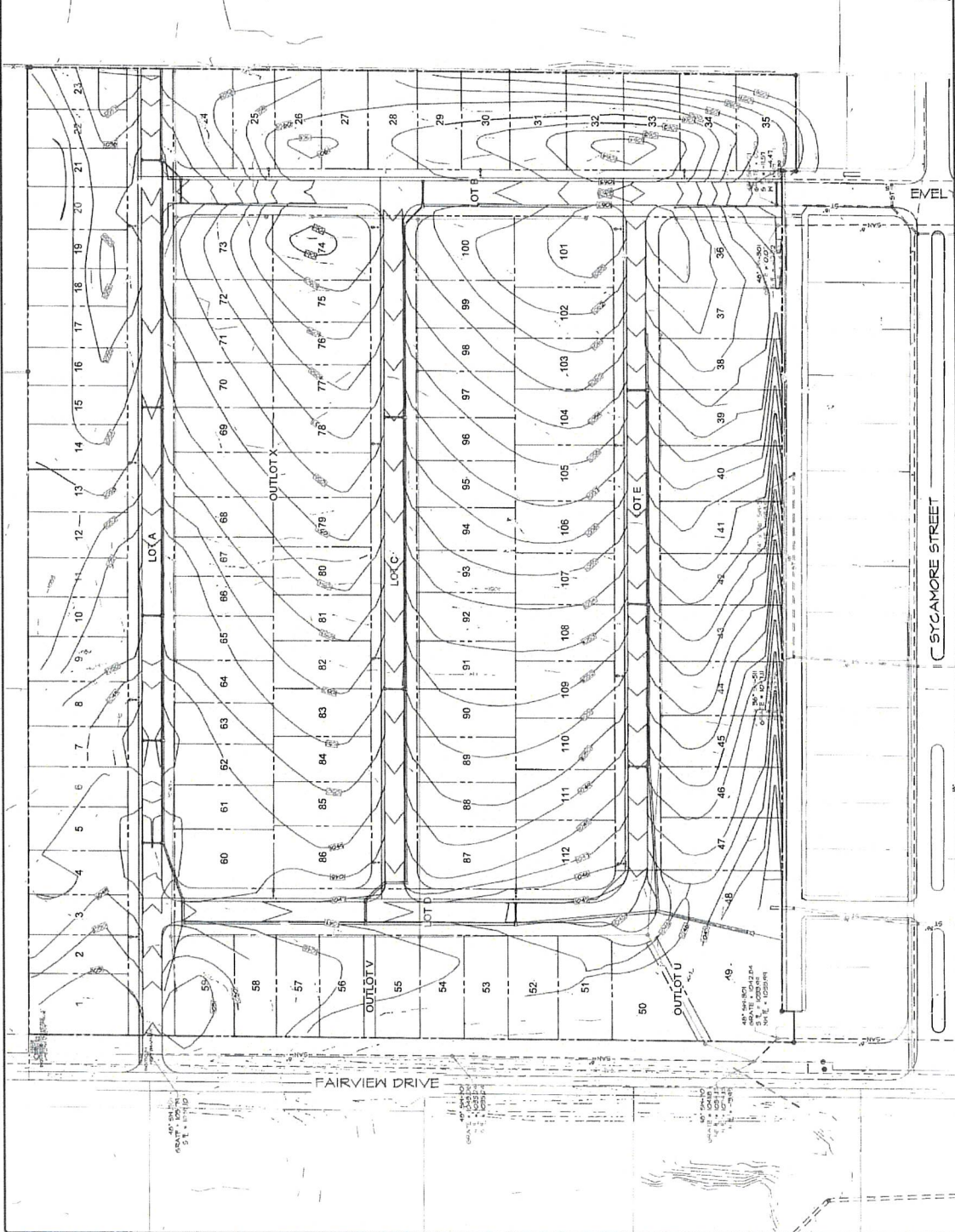
NORTH
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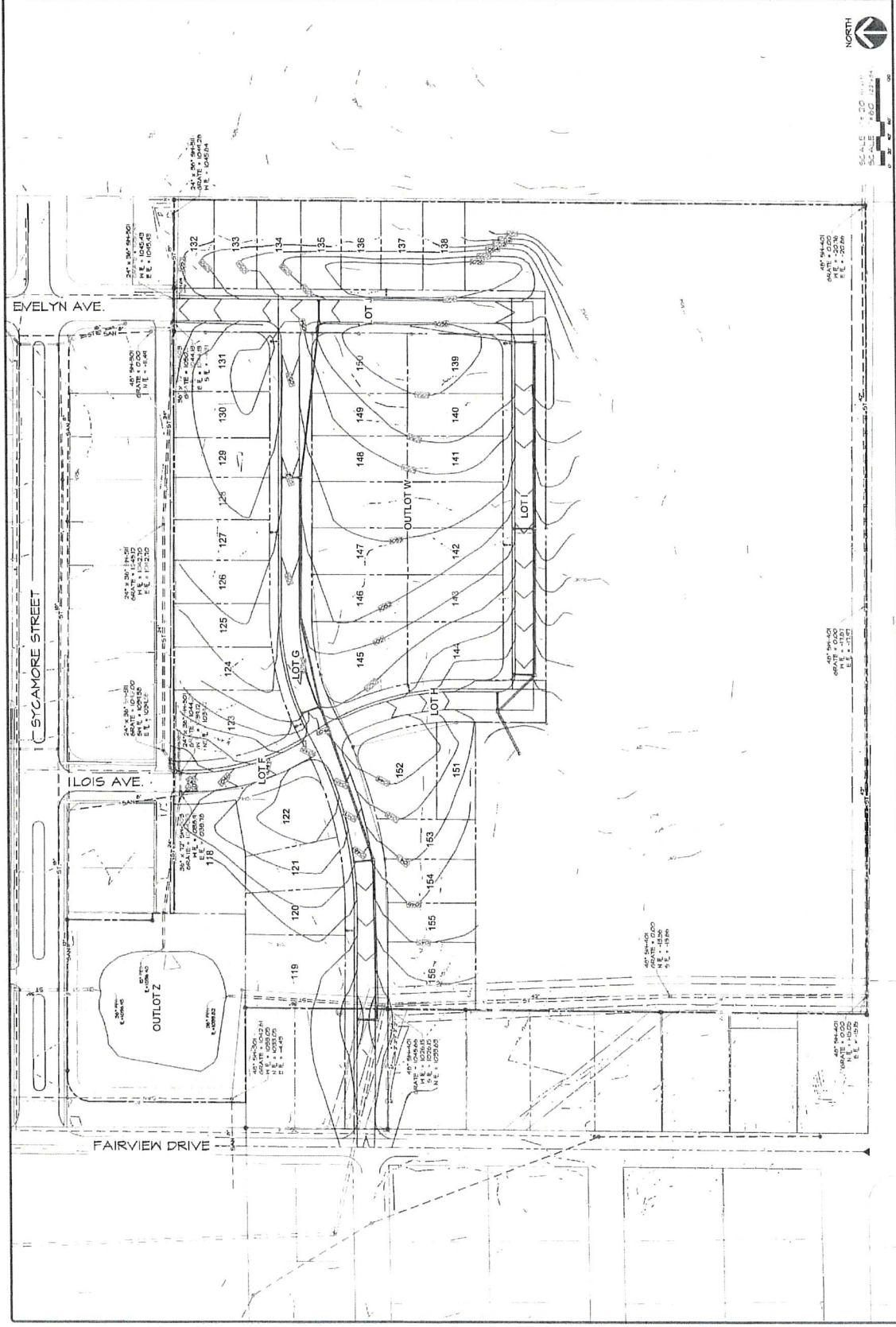
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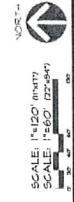


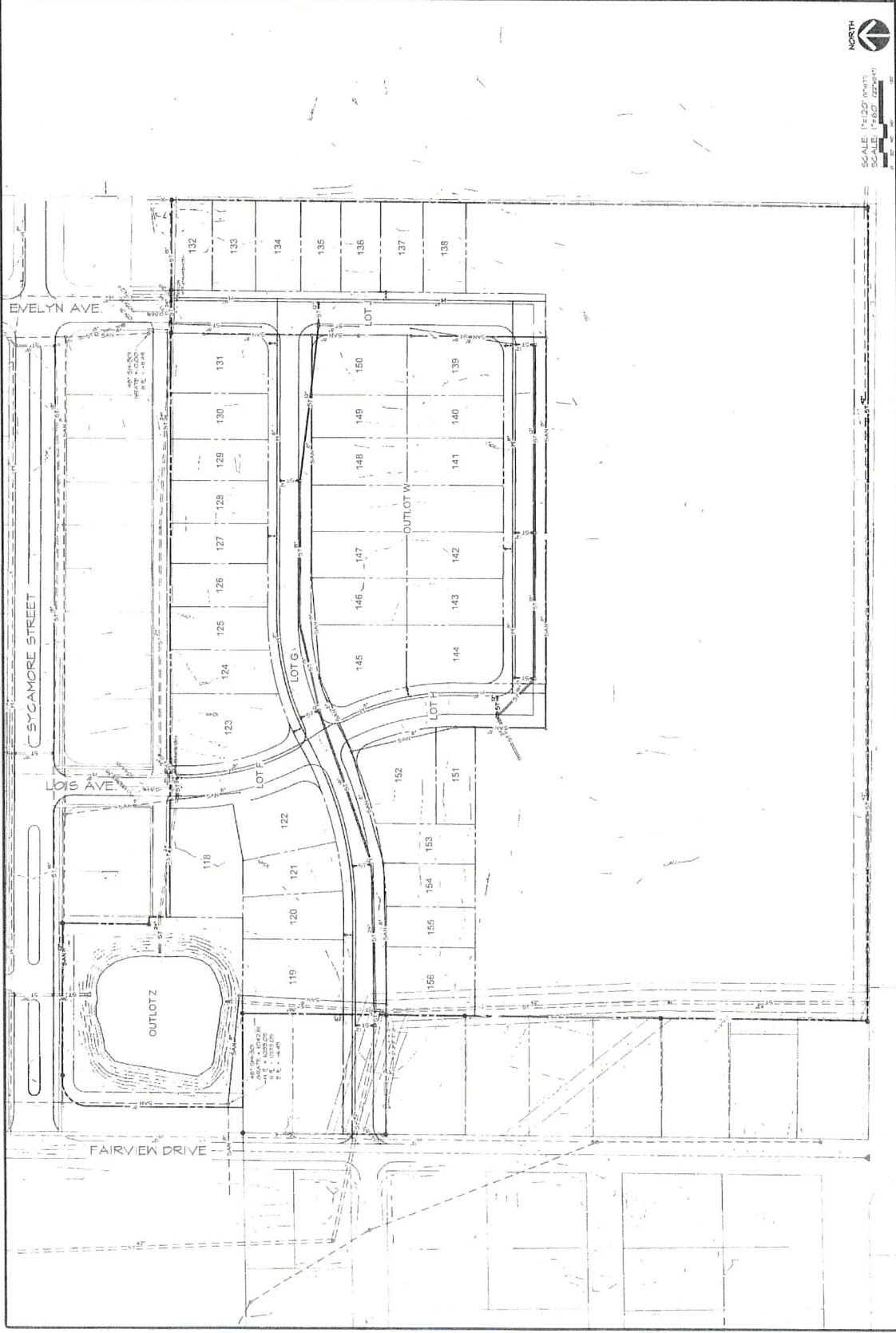
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 DESIGNED BY: [Name]
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: 1"=120' (PLAN)
 SCALE: 1"=60' (PROFILES)

CIVIL ENGINEERING CONSULTANTS, INC.
 2400 86th STREET, SUITE 112, DALLAS CENTER, IOWA 50223
 515.276.4884
 email@cec.com









RESOLUTION NO. 2022-58

A RESOLUTION APPROVING THE PRELIMINARY PLAT OF THE NEIGHBORHOOD PLAT 2, A SUBDIVISION, TO THE CITY OF DALLAS CENTER, IOWA

WHEREAS, K&A Investments, LLC, as owner and developer, has submitted to the Planning and Zoning Commission of the City of Dallas Center, Iowa, a Preliminary Plat of The Neighborhood Plat 2, a subdivision; and

WHEREAS, the Planning and Zoning Commission reviewed the Preliminary Plat at its meeting on June 26, 2022, all in accord with Chapter 170 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended; and

WHEREAS, the City Engineer provided review comments and recommendations dated June 21, 2022, which comments and recommendations were accepted and adopted by the Commission; and

WHEREAS, the Planning and Zoning Commission has recommended to the Council the approval of said Preliminary Plat, subject to the following specific recommendations: (a) the requirement, pursuant to Section 170.14(7) of the Code of Ordinances, as amended, that a shadow conduit be constructed to facilitate broadband communication in accordance with design parameters established by the Council and be shown on the Construction Plans; (b) on each lot one street tree will be planted by the Tree Board for every thirty (30) feet of street frontage and the owner and developer will pay a tree fee of \$400 for each street tree to the City Clerk before approval of the Final Plat as required by Section 170.06(19) of the Code of Ordinances; and (c) subject to the paved street widths being in compliance with the requirements of the Code of Ordinances at the time of construction; and

WHEREAS, pursuant to Section 170.13 of the Code of Ordinances of the City of Dallas Center, as amended, the owner and developer has calculated that 4.68 acres of land must be dedicated to the City of park and recreation purposes, and that the Preliminary Plat shows the dedication of 0.75 acres of land for park land; and

WHEREAS, the owner and developer has submitted to the City, pursuant to Section 170.13(5) of the Code of Ordinances of the

City of Dallas Center, as amended, an Alternate Plan for a cash payment to the City (based on 3.93 acres at fair market value) which payment may be used by the City only for park and recreation facility and park connectivity purposes consistent with the City's Comprehensive Plan; and

WHEREAS, the Planning and Zoning Commission should be directed to review the Alternate Plan and report its recommendations to the Council; and

WHEREAS, the owner and developer has submitted the Preliminary Plat to the City as a Phased Preliminary Plat pursuant to Section 170.04(5) of the Code of Ordinances, as amended.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Dallas Center, Iowa, that the Preliminary Plat of The Neighborhood Plat 2 be approved as a Phased Preliminary Plat pursuant to the provisions of Section 170.04 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, subject to the following provisions:

(a) the requirement, pursuant to Section 170.14(7) of the Code of Ordinances, as amended, that a shadow conduit be constructed to facilitate broadband communication in accordance with design parameters established by the Council and be shown on the Construction Plans;

(b) one street tree will be planted by the Tree Board for every thirty (30) feet of street frontage on each lot and the owner and developer will pay a tree fee of \$400 for each street tree to the City Clerk before approval of the Final Plat as required by Section 170.06(19) of the Code of Ordinances;

(c) the paved street widths must be in compliance with the requirements of the Code of Ordinances at the time of construction;

(d) the park land dedication of 0.75 acres as shown on the Preliminary Plat is accepted, and the Planning and Zoning Commission is directed to review the Alternate Plan submitted by the owner and developer and to make recommendations in connection therewith to the Council.

IT IS FURTHER RESOLVED that the owner and developer are hereby notified that the approval of the Phased Preliminary

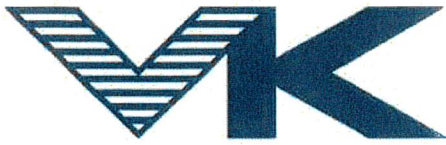
Plat, pursuant to Section 170.04(7) of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, will be null and void unless the Final Plat is (or Final Plats are) presented to the Council within two years after the date of the Phased Preliminary Plat approval. However, the filing of a Final Plat constituting more than five percent (5%) of the area of the Phased Preliminary Plat extends the validity of the Phased Preliminary Plat by two (2) additional years.

PASSED, APPROVED AND ADOPTED by the City Council of the City of Dallas Center, Iowa, this 12th day of July 2022.

Daniel Beyer, Mayor

ATTEST:

Shellie Schaben, City Clerk



VEENSTRA & KIMM INC.

3000 Westown Parkway
West Des Moines, Iowa 50266

515.225.8000 // 800.241.8000
www.v-k.net

July 7, 2022

Cindy Riesselman
City Clerk
City of Dallas Center
1502 Walnut Street
P.O. Box 396
Dallas Center, Iowa 50063

DALLAS CENTER, IOWA
SKYE VIEW ESTATES
PRELIMINARY PLAT
REVISED SUBMITTAL

Enclosed is a copy of the revised submittal of the preliminary plat of Skye View Estates. The enclosed preliminary plat is a revision to the original submittal of the preliminary plat on May 18, 2022.

In a letter dated May 19, 2022 the writer submitted comments on the preliminary plat and the stormwater management plan. The revised submittal only included the preliminary plat. No revised submittal of the stormwater management plan was required. The stormwater management plan it generally conforms with the requirements of the City of Dallas Center. More detailed information on the stormwater management plan will need to be submitted with each set of construction plans as the various parts of the project move forward to construction.

The original preliminary plat included a central park, a north park and a park in the apartment complex. In mid-June a revised concept for the parks was submitted for consideration. The Chair of the Planning & Zoning Commission indicated he did not wish to address the revised park plan until after an opportunity to consult with the Park Board. It was indicated the Park Board would likely not be meeting again until early August, meaning the preliminary plat with any revisions to the park plan could not be considered by the Planning & Zoning Commission until its August 2022 meeting.

The Planning & Zoning Commission voted to recommend approval of the preliminary plat based on the original concept for the parks. If the Park Board is in agreement with the revised park plan it will be necessary for the applicant to submit a revised version of the preliminary plat. If the City Council approves the preliminary plat the applicant can move forward with the development of the construction plans for the first plat prior to the City Council considering any revisions to the park plan in September 2022. The first plat area does not include any of the park areas.

The revised preliminary plat includes the calculation of park land dedication. The preliminary plat indicates the park area provided in the two parks is 8.36 acres excluding the detention basin area of the north park. The north park is located adjacent to a stormwater detention basin. The City does not allow the area of the stormwater detention basin to be included in the area of park land.

The City's park land dedication is based on population. The revised preliminary plat includes a calculation of the park area based on the projected population of the single family residential and townhome development. The calculation of projected population of 826 is in accordance with generally accepted standards for population density for single family residential homes and for townhomes. The calculation would indicate that 8.26 acres of park land would be required. The 8.36 acres of park land meets the requirements based on the City's standard of 10 acres per 1,000 population.

The calculation of the park area does not include the projected population from the R-3 apartment area. Likewise, the park that is shown in the R-3 apartment area is not included in the calculation of park area provided. At the present time the applicant has only identified an area for R-3 development. Until a more specific plan for the R-3 development is brought forward it is not possible to calculate the required park area. The park area for the R-3 area will need to be addressed at the time there is specific project. The park land area in the R-3 area will need to be large enough to meet the proposed population. The 0.7 acres of park would be adequate for a population of 70 persons. If the R-3 area develops with an intense R-3 use it is quite possible the park area identified of 0.70 acres would not be adequate and would need to be adjusted based on the population.

In addition to the comments regarding the park land, the following is offered in response to comments in the writer's letter of May 19, 2022 that required a response from the applicant. The responses comments are referenced to the comments in the writer's letter of May 19, 2022. Items that are not included are ones where no action was required by the applicant and the original comments were explanatory in nature. In response to the action items in the writer's letter of May 19, 2022 the following is offered:

15. The revised preliminary plat shows the right-of-way width of all street rights-of-way to be 60 feet. All street paving is shown to be 31 foot width back to back. It is understood the applicant may request a narrowing of the right-of-way or a reduction in the setback distances to accommodate ranch townhomes. The applicant has requested the City to consider 26 foot width for certain streets within the development.

Both the developer of Skye View Estates and The Neighborhood Plat 2 have requested the City to consider 26 foot wide pavement on select streets. Because the City's current ordinance requires 31 foot pavement the Planning & Zoning Commission recommended approval based on street widths complying with the applicable requirements of the ordinance. The revised preliminary plat meets the requirement of compliance with the current ordinance. If the City Council amends the ordinance to allow narrower pavement width at select locations and the applicant chooses to pursue narrower pavement width in accordance with any amended ordinance, a revised site plan will need to be submitted for review and approval.

19. The central park area now is shown with two 20 foot wide ingress egress easements. One ingress-egress easement is on the south side of the park from Willow Street. The second ingress-egress easement is on the west side of the park between Lot 81 and Lot 82 with access to the park from CJ Street.
20. This comment dealt with whether the park in the R-3 area would be public or private. Because that park will not be included in the park land calculation and will need to be addressed at a future date when a specific project is brought forward for the R-3 development it is acceptable to defer a decision on the ownership of the R-3 area park until a more specific proposal is brought forward for development of the R-3 area.
21. The revised preliminary plat indicates the access from Willow Street to the R-3 area is intended to be a private access. From Willow Street to the R-3 area the private access area would be acceptable unless the park is a public park. If the park is a public park the access to the park would need to be a public park. This issue is probably better addressed at a future date when there is a specific R-3 development. If the R-3 area is platted before there is a specific development project the access area will be part of the R-3 lot. If it is later determined the access needs to be public the issue can be addressed at that time.

Cindy Riesselman

July 7, 2022

Page 4

If you have any questions or comments concerning the project, please contact the writer at 515-225-8000, or bveenstra@v-k.net.

VEENSTRA & KIMM, INC.

A handwritten signature in blue ink, appearing to read "H. R. Veenstra Jr.", with a stylized flourish at the end.

H. R. Veenstra Jr.

HRVJr:rdp

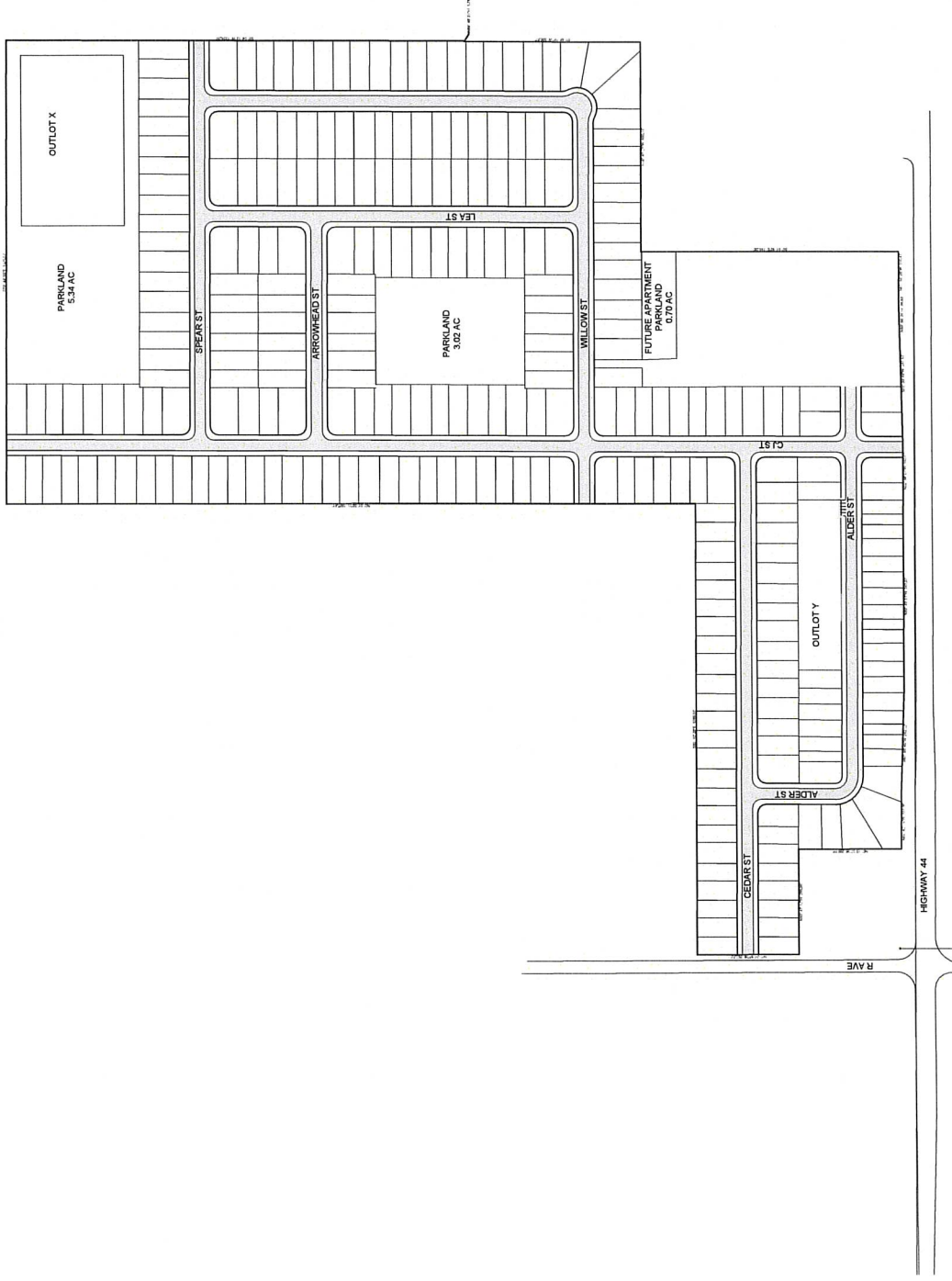
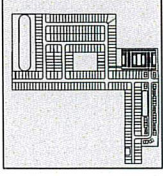
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Enclosures

Cc: Ralph Brown, Brown, Fagen & Rouse

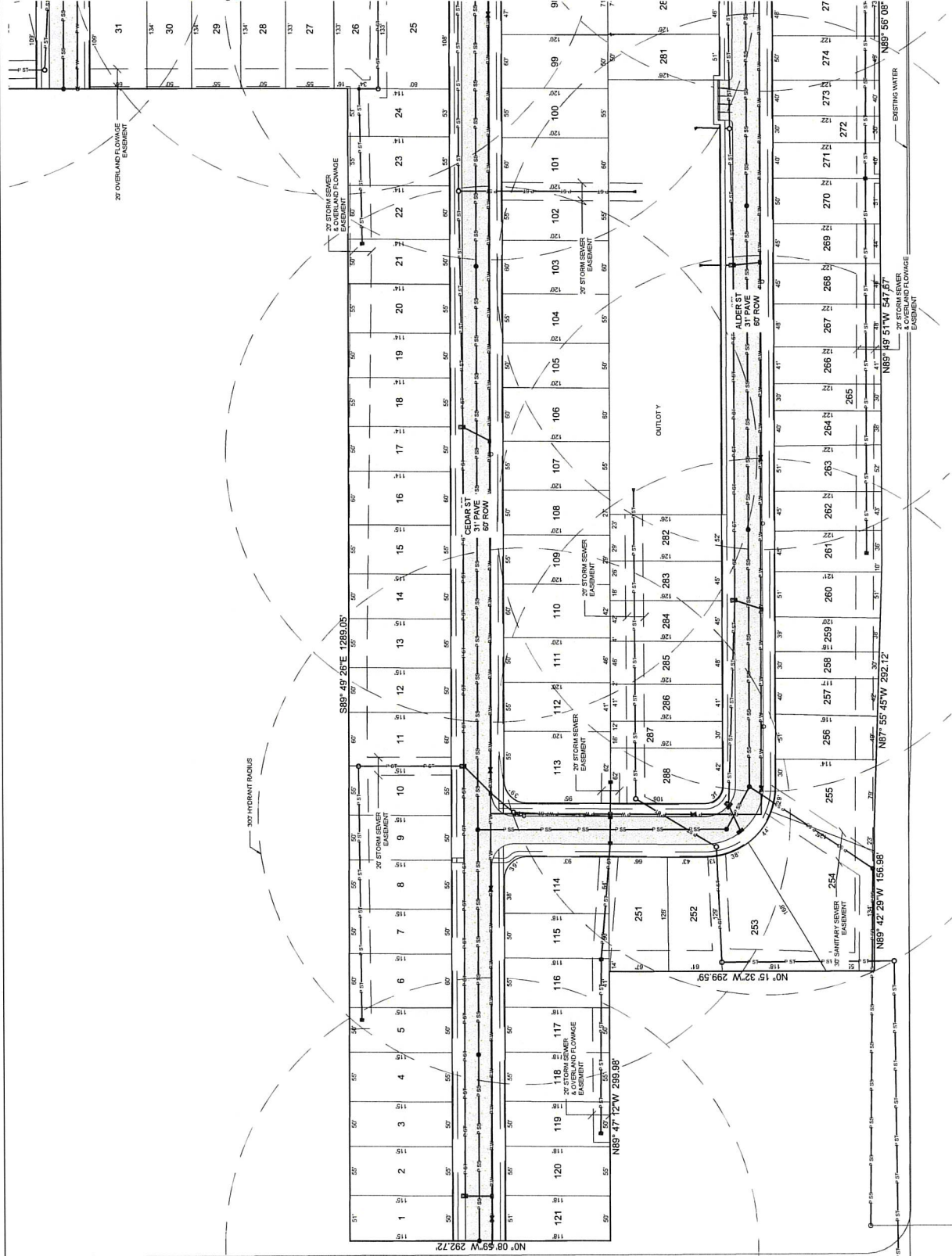
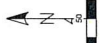
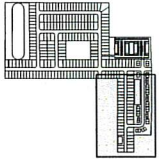


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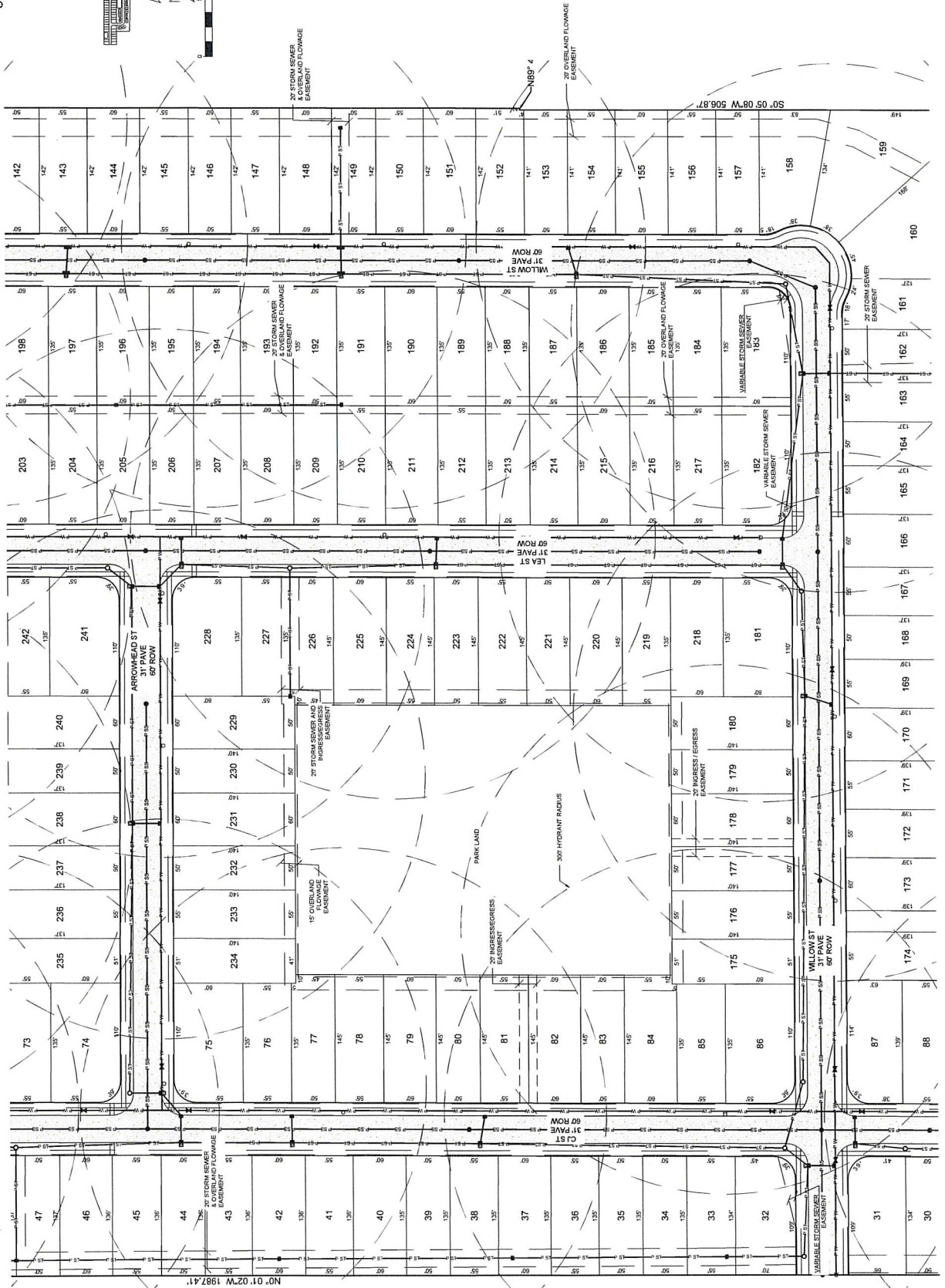
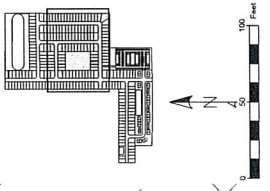




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SHEET MAP



SKYE VIEW ESTATES
DALLAS CENTER, TX

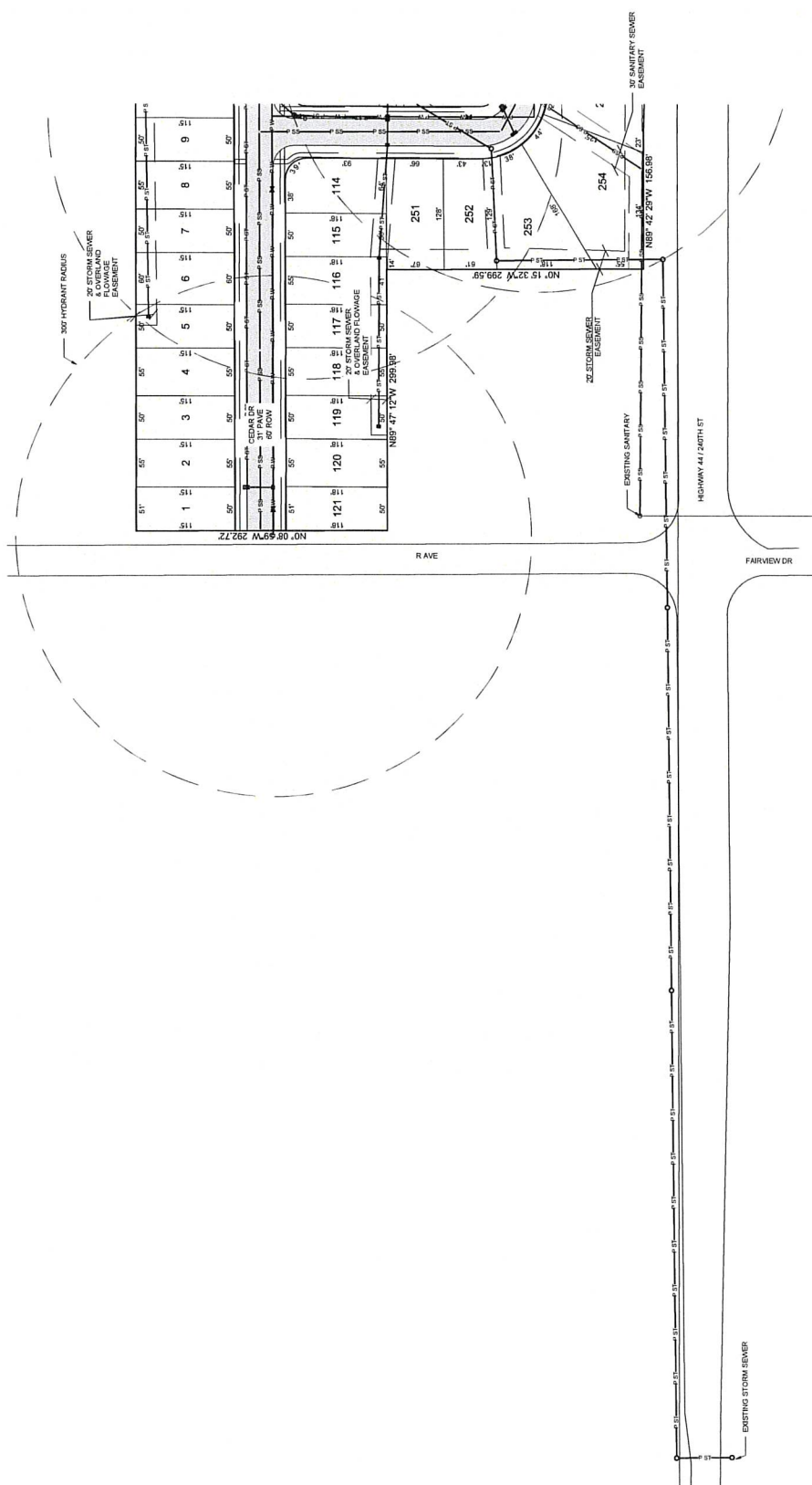
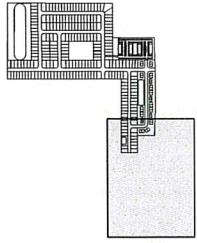
STUBBS ENGINEERING
431 NE 72ND ST PLEASANT HILL, IA 50322
(515) 979-8499



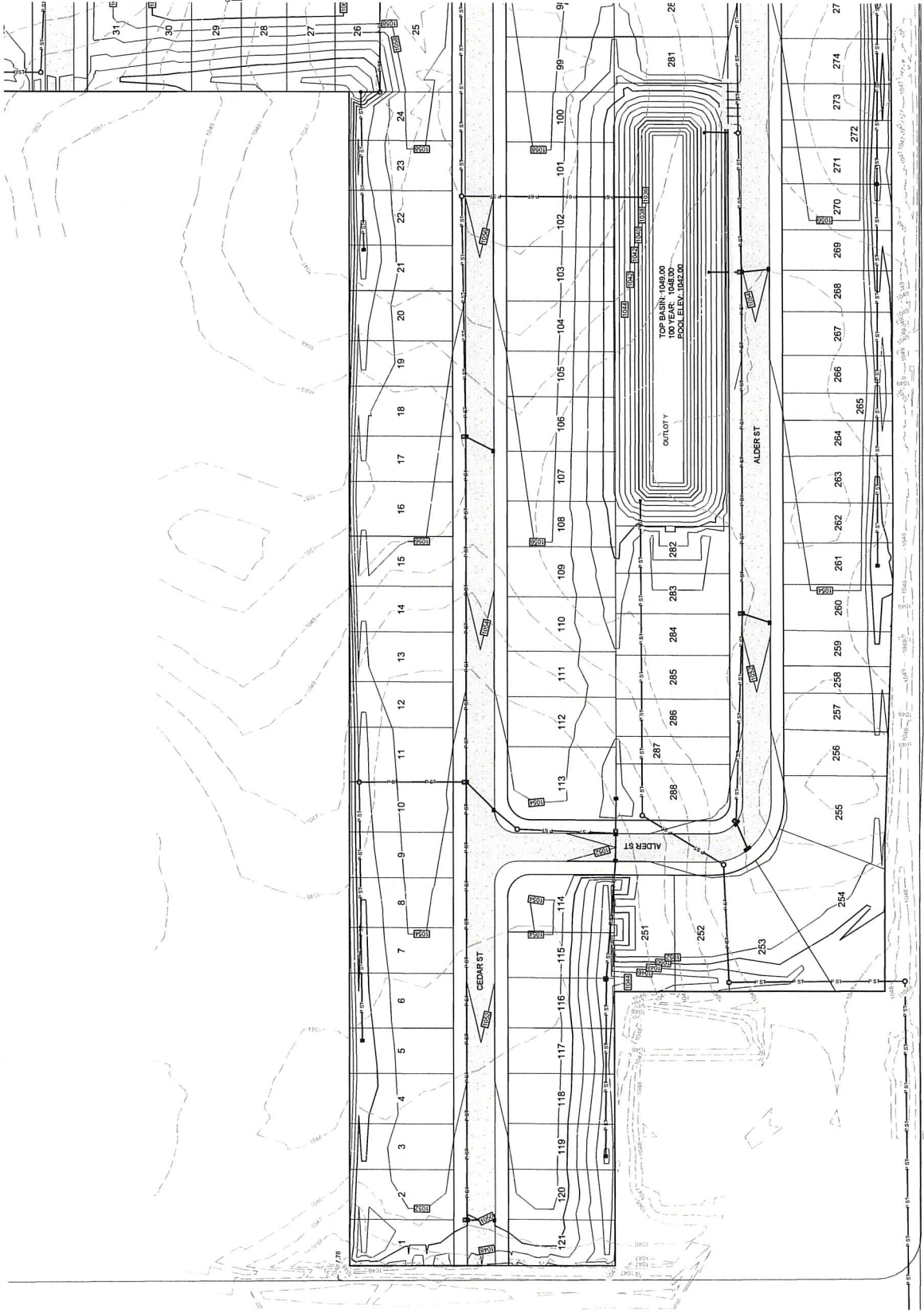
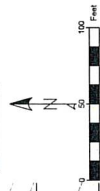
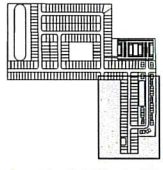
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SHEET MAP



SHEET MAP



SKYE VIEW ESTATES
DALLAS CENTER, IA

STUBBS ENGINEERING
431 NE 72ND ST PLEASANT HILL, IA 50127
(515) 979-8499

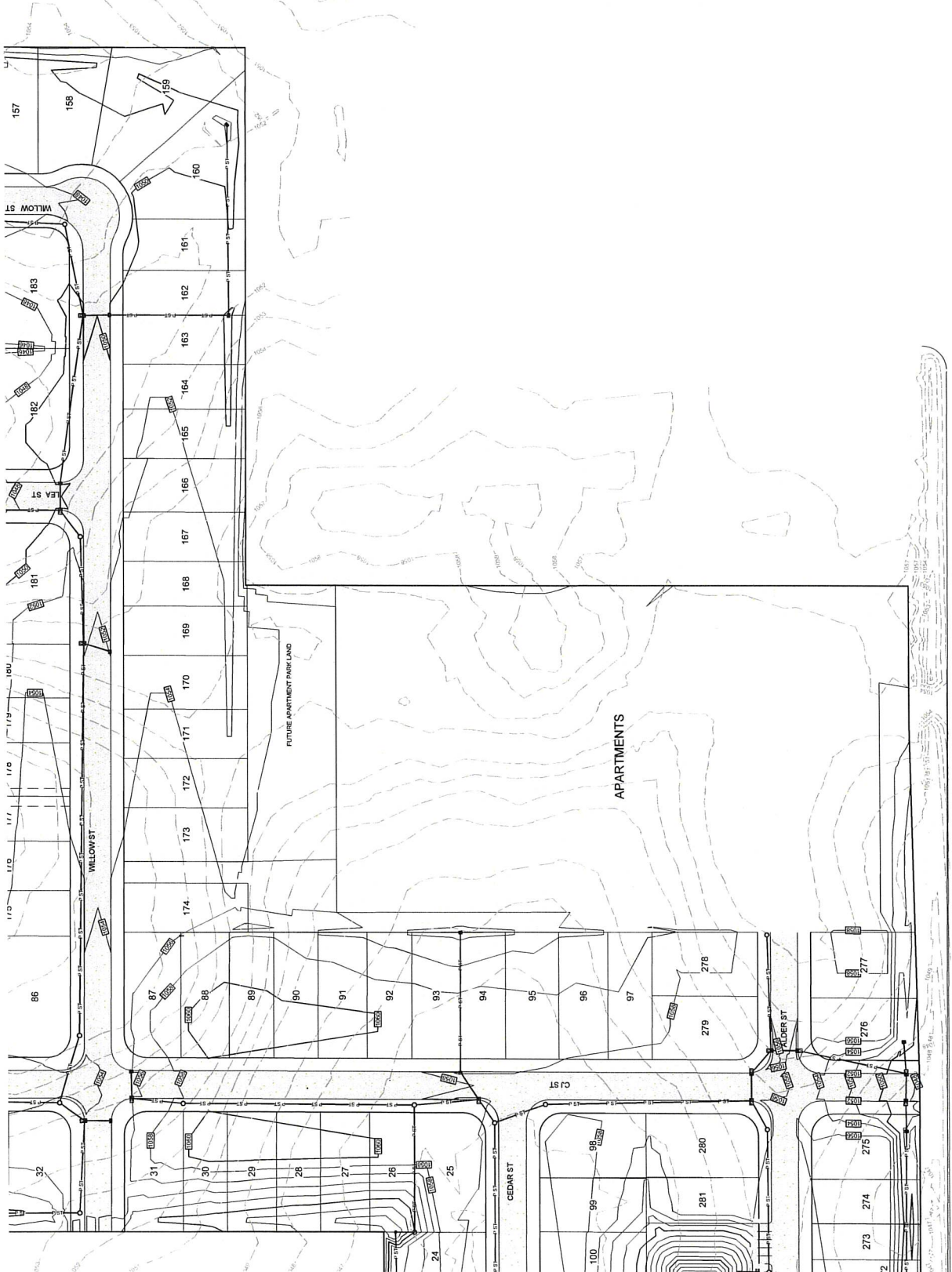
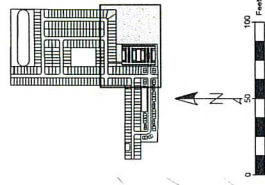


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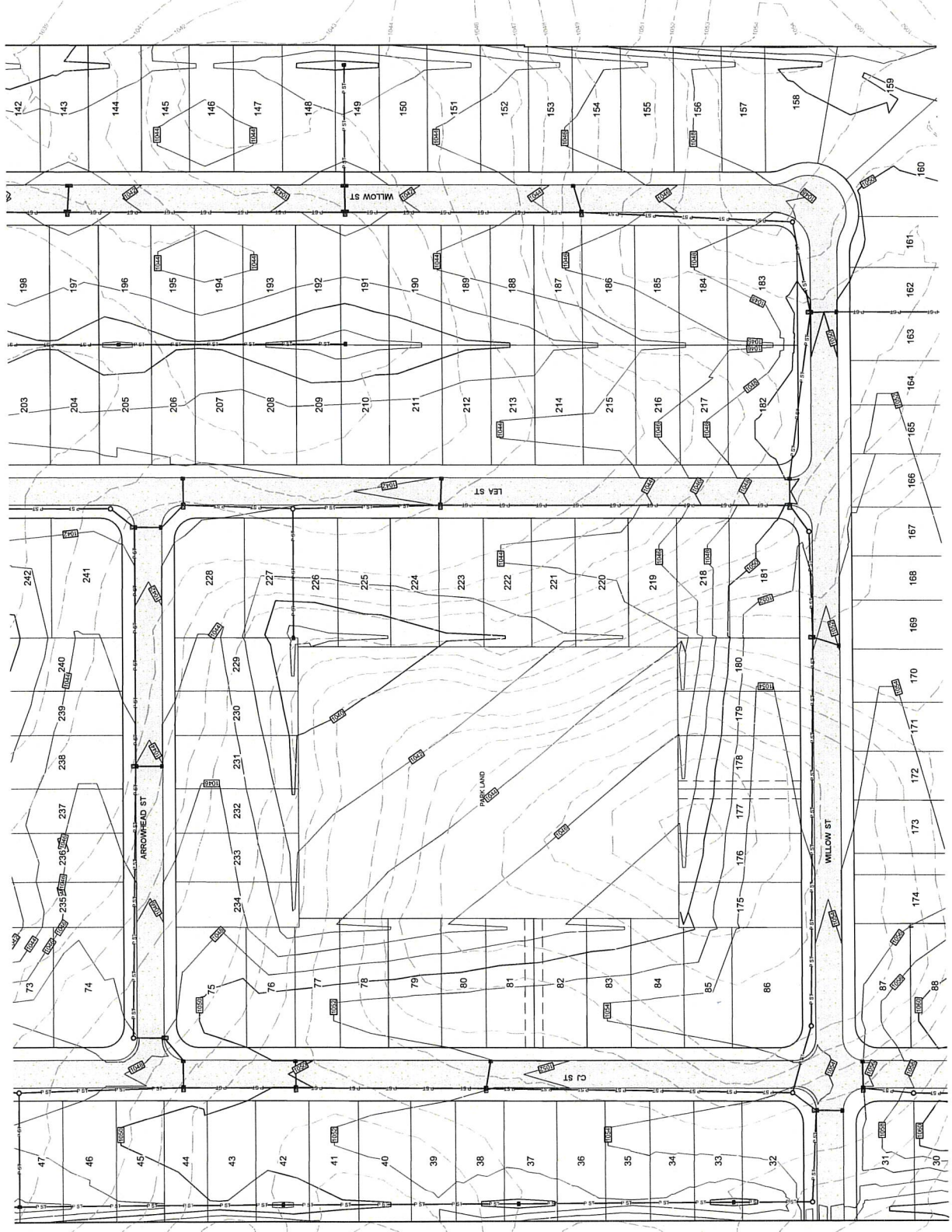
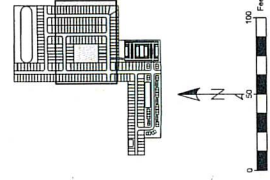


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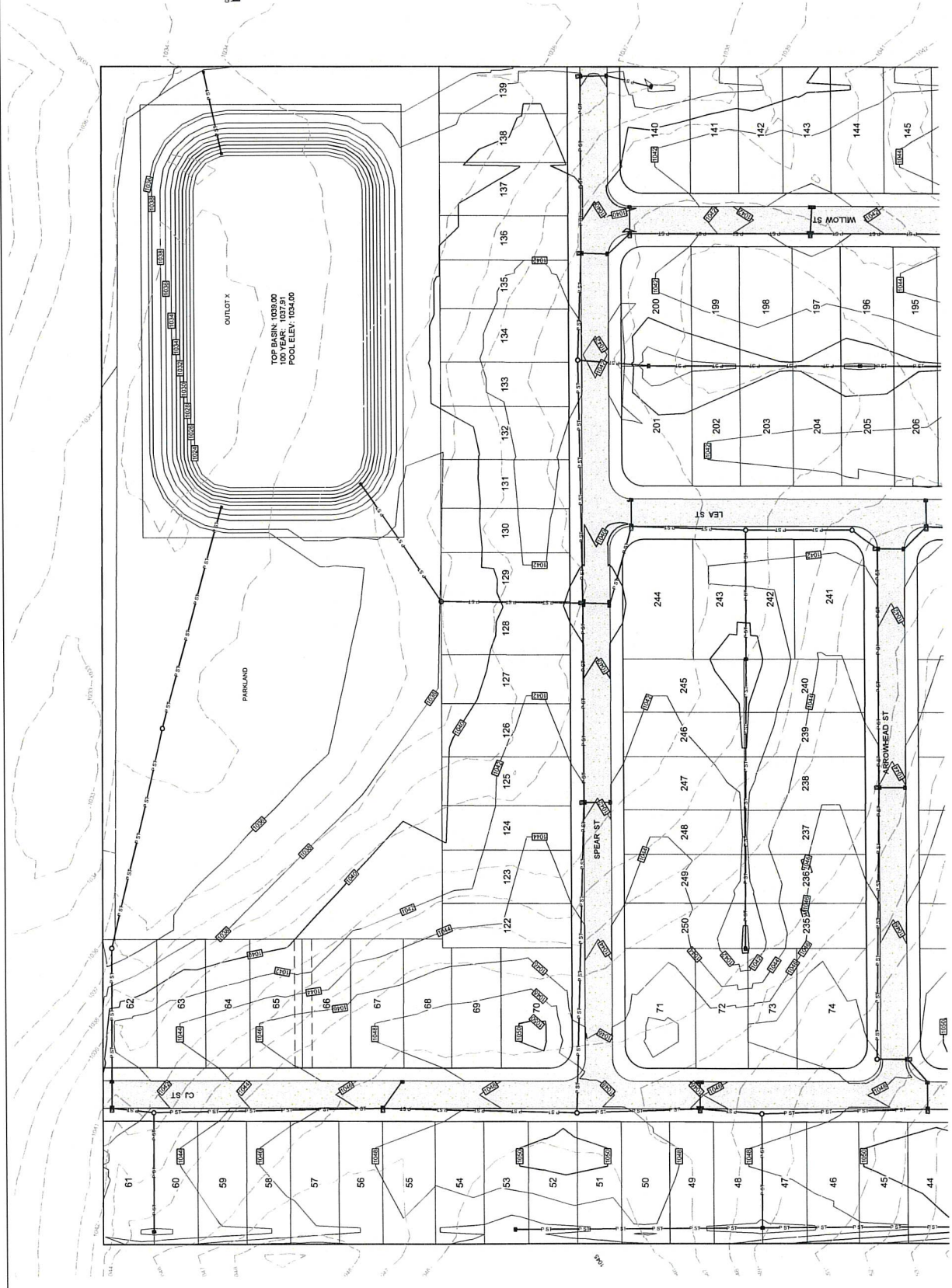
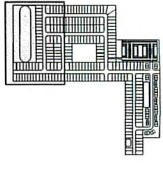


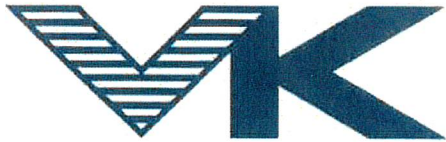
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SHEET MAP





VEENSTRA & KIMM INC.

3000 Westown Parkway
West Des Moines, Iowa 50266

515.225.8000 // 800.241.8000
www.v-k.net

June 27, 2022

Cindy Riesselman
City Clerk
City of Dallas Center
1502 Walnut Street
P.O. Box 396
Dallas Center, Iowa 50063

DALLAS CENTER, IOWA
SKYE VIEW ESTATES
REVISED PRELIMINARY PLAT
SUPPLEMENTAL DRAWINGS

On June 10, 2022 the writer received the second submittal of the preliminary plat of Skye View Estates. The revised preliminary plat was submitted in response to the comments set forth in the writer's letter of May 22, 2022 and the comments at the May 2022 Planning & Zoning Commission meeting.

The majority of the comments in the writer's letter of May 19, 2022 were explanatory in nature and did not require any revisions or explanation regarding the project. The two topics that need to be addressed with respect to the preliminary plat are the street width and park location and configurations.

The original submittal of the preliminary plat showed 26 foot wide pavement in a 60 foot right-of-way. This submittal was not in accordance with the City's current ordinance that requires a 31 foot wide pavement.

The first submittal of the preliminary plat showed one larger park located in the central area of the plat and one larger park located in the northern part of the plat. The first submittal also showed a future apartment park. It was unclear whether that park was intended as a public or private park.

The revised submittal of the preliminary plat received on June 10, 2022 shows all of the streets to be 31 foot pavement in a 60 foot right-of-way. The revised preliminary plat did not show any changes to the park locations.

Cindy Riesselman
June 27, 2022
Page 2

Although the second submittal of the preliminary plat showed all 31 foot pavement, the applicant still expressed interest in narrowing the pavement on some streets. In particular, the applicant has requested consideration for narrowing the pavement width on Alder Street between Cedar Street and C J Street to accommodate ranch townhomes.

Enclosed are two drawings that were received on June 14, 2022. These drawings were briefly shared with the City Council at its meeting on June 14, 2022. The two drawings show proposed modifications to street width and park locations.

On the enclosed drawing the streets shown in yellow are proposed by the applicant to be 31 foot back to back. The streets shown in blue are the streets the applicant has requested consideration of 26 foot wide pavement. The streets requested for 26 wide pavement include Alder Street in the townhome area and three streets in the north central portion of the plat.

The City will need to make a determination if any of the streets can be approved at less than 31 foot width. Any change to allow a less than 31 foot width would require a change in the City's ordinance relative to street width.

The enclosed drawings show proposed changes in the park configuration. The change in the park configuration replaces the larger central park with three neighborhood parks. These neighborhood parks are located in the southern portion of the plat and will be constructed as the plat develops from south to north.

The revised park configuration has not formally been incorporated in the preliminary plat. However, the applicant is requesting consideration of the revised park configuration.

The applicant indicates the revised park configuration is based on previous comments during Planning & Zoning Commission meetings. First, the Planning & Zoning Commission indicated its preference for the parks to be provided as the overall project develops from south to north. The three neighborhood parks would allow one park to be developed during one of the first two phases of the plat, with the other two parks to be developed as the development progresses northerly.

Second, the applicant was responding to the discussion at the Planning & Zoning Commission meeting relative to the preliminary plat for The Neighborhood Plat 2. As part of the consideration of that project located immediately to the south of Skye View Estates the Planning & Zoning Commission indicated the Park Board preferred to have smaller neighborhood parks that could be back to back lots with access to two sides of the park. One of the challenges with the original park plan is the central park was relatively inaccessible and located farther away from portions of the plat than appeared to reflect the direction provided The Neighborhood Plat 2 project.

Cindy Riesselman

June 27, 2022

Page 3

With the proposed elimination of the central park a fourth north south street identified as Arrowhead Street, is shown to extend between Willow Street and Spear Street.

If you have any questions or comments concerning the project, please contact the writer at 515-225-8000, or bveenstra@v-k.net.

VEENSTRA & KIMM, INC.

A handwritten signature in blue ink, appearing to read "H. R. Veenstra Jr.", is written over the printed name.

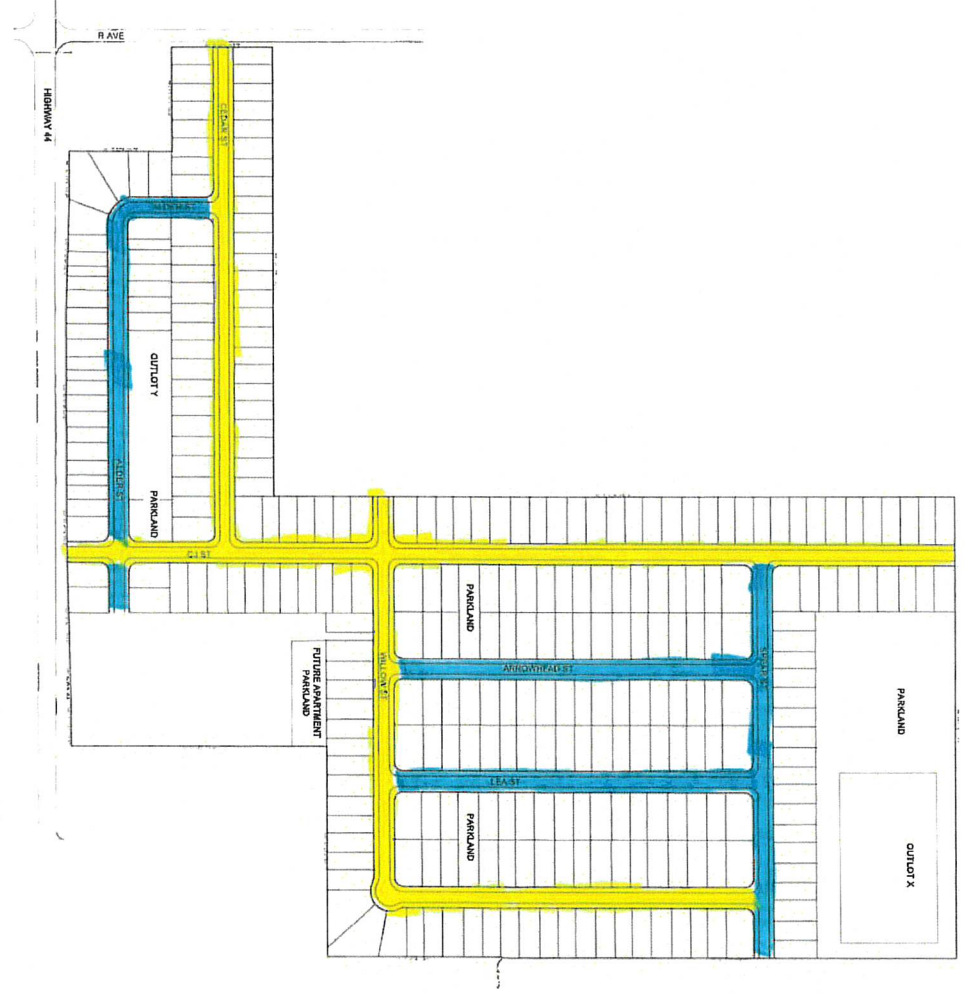
H. R. Veenstra Jr.

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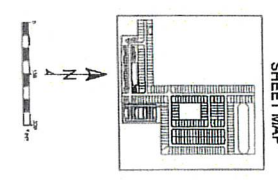
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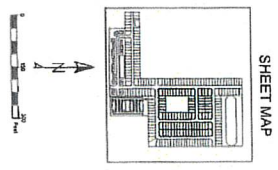
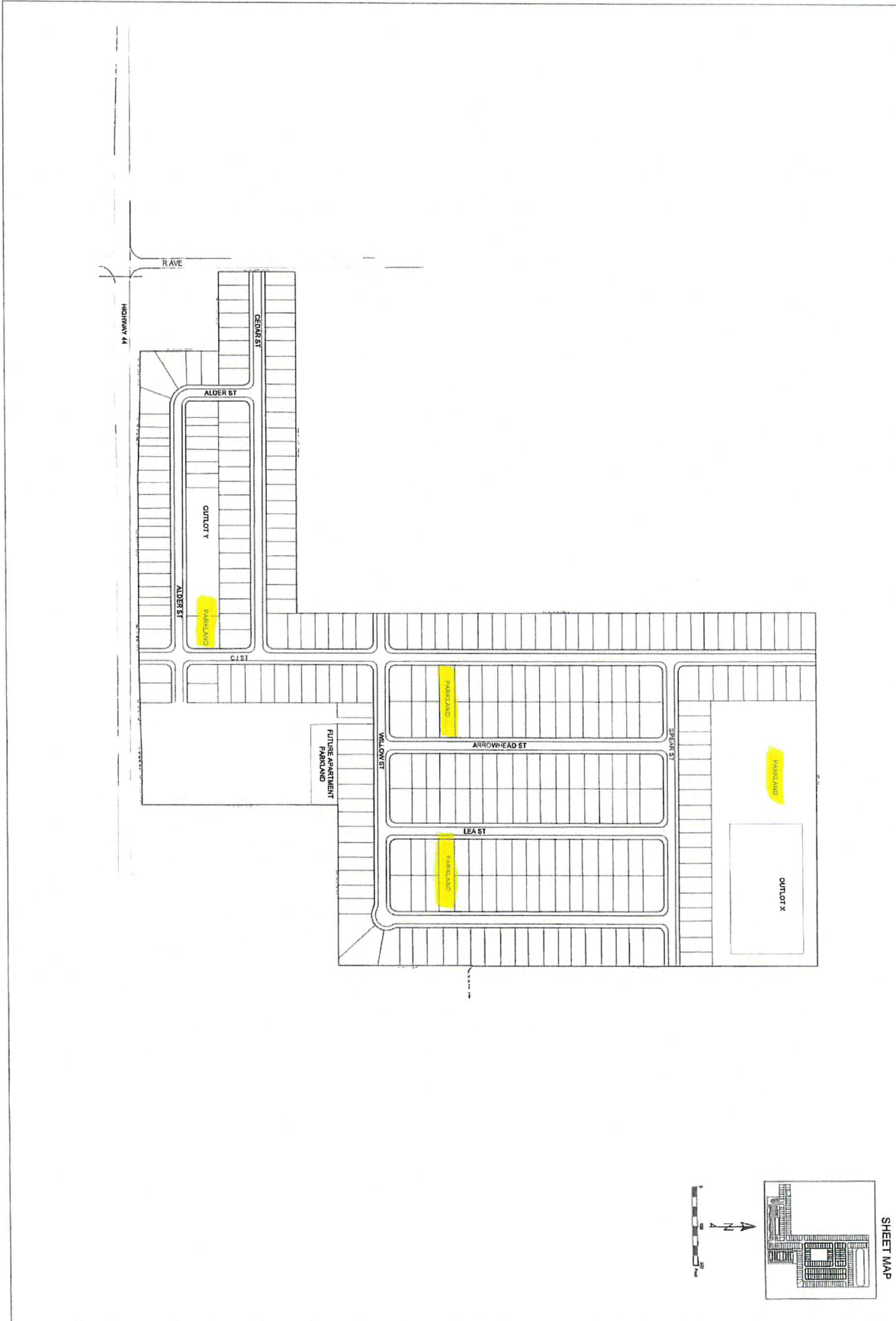
Enclosures

Cc: Ralph Brown, Brown, Fagen & Rouse



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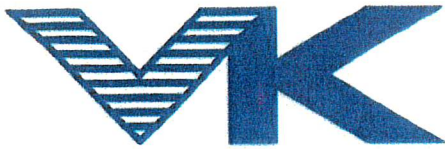
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 PROJECT NO: 21-376
 SHEET NO: 2

PROJECT MAP



STUBBS ENGINEERING
 431 NE 72ND ST, PLEASANT HILL, IA 50327
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SKYE VIEW ESTATES
 DALLAS CENTER, IA



VEENSTRA & KIMM INC.

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West Des Moines, Iowa 50266

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June 20, 2022

Cindy Riesselman
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DALLAS CENTER, IOWA
RESIDENTIAL STREET WIDTHS

The City of Dallas Center recently received a request from the develop of Skye View Estates to consider 26 foot wide streets. The preliminary plat of The Neighborhood project submitted on June 20, 2022 also shows 26 foot streets.

The City of Dallas Center's general standard for street width is 31-foot back-to-back. The City allows a 26 foot wide street on a cul-de-sac. The City code limits the length of a cul-de-sac street to be 600 feet.

The City Council generally seems open to allowing a 26 foot wide street in the townhome area of Skye View Estates. The City Council appeared to be open to this concept with the understanding there would be no parking on either side of the town home local street due to the extent of driveways associated with the townhome development.

To allow a 26 foot wide street in the townhome development, the City will need to change the existing street width ordinance. In conjunction with consideration of a change in the street width, the writer thought it appropriate to provide information on the general topic of 26 foot versus 31 foot wide residential streets.

The issue of residential street width has been a subject of discussion and consideration by many cities located in the general Des Moines area over the last ten to fifteen years. Until approximately 15 years ago the standard for a residential street in central Iowa was 31 foot back-to-back pavement. Over the last 10 to 15 years the topic of narrower residential streets has been a subject of significant discussion and debate. Although some cities still require a 31 foot residential street in all areas, that requirement is becoming much less common. The more common standard for cities is to allow 26 foot wide pavement on low volume streets while still requiring 3-foot-wide pavement on residential streets with higher traffic volumes.

There are a number of factors that come into play in the debate regarding street width. In some areas, cities that allow a 26-foot wide street also allow a narrower 50-foot right of way. However, most cities that allow a 26 foot wide pavement still require the more typical 60-foot right of way.

Some of the factors that are often considered in the discussion regarding the width of streets are as follows:

1. Cost of construction. The cost to construct a 26 foot wide street is about 15% less than the cost to construct a 31 foot wide street. Although initial construction costs are often the basis of the request for narrower streets, the initial cost of construction is generally not the determining factor whether a City will allow a 26 foot wide street.
2. Cost for operation and maintenance. The long-term cost for the City to operate and maintain 26 foot wide streets is less than the cost to operate and maintain a 31 foot wide street. Assuming the cost of operation and maintenance is based on the width or area of the street, a 26 foot wide street is about 15% less costly for the City to operate and maintain over the long-term.
3. Increased green space. In 60-foot right of way with a 31-foot pavement, the green space between the back of curb and sidewalk is about 8.5 feet based on the use of 5-foot-wide sidewalks and the sidewalk located at the normal location one foot inside the property line. With a 26 foot wide pavement in a 60-foot right of way, the width of the green space is 11.5 feet. Particularly for cities who have focused on utilization of the right of way green space for street trees and other similar features, the wider green space area between the street and sidewalk is often viewed as beneficial.

The three factors of initial cost, ongoing cost, and green space are often tangential factors considered in the analysis. In most instances the two primary factors that are considered are safety and accessibility. Of these two factors, accessibility often prevails.

The safety factors is a consideration as numerous studies have shown on residential streets lower average traffic speed correlates to both a reduced frequency of accidents and a reduced severity of injuries in the event of a personal injury accident. For example, studies have shown that with a 20 MPH speed a pedestrian or bicycle to vehicle accident has a 95% probability of survival by the pedestrian or bicycle. At 30 MPH that survivability decreases to 60% and at 40 MPH the survivability decreases to 20%.

There are studies showing speed in residential streets is directly correlated to the perception of the available driving width. The wider the perceived width available directly correlates to increased speed. The leading factor to reduce speed in a residential street is to reduce the perception of the available drive space and that can be accomplished either through reduced street width or allowing parking where motorists must be conscious of parked vehicles and oncoming traffic.

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The final factor and often the most significant factor is accessibility. It is in the area of accessibility where there is often the most significant divergence of points of view.

The Statewide Urban Design Standards (SUDAS) recognizes both a 26 foot wide street and a 31 foot wide street in residential areas. The 26 foot wide street is identified as suitable for parking on one side of the street. The SUDAS standards recognize with a 31 foot wide street parking can be allowed on both sides of the street.

For relatively low volume streets SUDAS follows what would be considered the prevailing traffic engineering perspective that two through lanes of traffic on residential streets are not required and the natural slowing of vehicles by not having two through lanes in addition to parking provides a greater overall benefit through safety and other considerations compared to the accessibility of vehicles needing to alternate as they pass parked vehicles.

While SUDAS contemplates 31 foot wide streets with parking on both sides, most cities that consider 31 foot wide streets do so in the context of allowing parking on one side of the street. With a 31 foot wide street it is often considered 8 feet of this width would be encumbered by the parking zone. This would allow approximately 23 feet of street width. That width is considered adequate for two way traffic. Studies have shown that motorists will slow slightly when passing a vehicle in the area of a parked vehicle on a 31 foot wide street. However, the average speed on a 31 foot wide street with one side of parking is in almost all instances higher than the average speed in a 26 foot wide street with parking on one side.

In many discussions regarding street width the underlying concept of SUDAS for parking on a 31 foot wide street is often not taken into consideration and the discussion focuses on a 26 foot versus 31 foot street width with parking on one side.

Of the five factors often considered in discussion of street width accessibility favors the wider 31 foot wide street. The factors are cost of construction, cost of ongoing operation and maintenance, available green space and safety often all point toward the narrower 26 foot wide street.

In recent years more cities have recognized reasonable limitations on accessibility are acceptable in low volume residential streets. Those cities have generally moved toward allowing 26 foot wide streets in certain residential areas. The cities that have determined accessibility is the predominant factor have remained with the 31 foot wide street width.

For those cities that have moved toward allowing 26 foot wide streets the key question is where should the narrower streets be allowed and where should the wider streets be required. Many cities, like Dallas Center, start with allowing 26 foot wide pavement on a cul-de-sac. The logic behind that approach is a cul-de-sac would have a lower traffic volume and the limitations on the accessibility from the narrower pavement would not be so significant as to require the wider 31 foot wide pavement.

Most cities that allow 26 foot wide pavement on a cul-de-sac include specific limitations on the length of the cul-de-sac. That being said, there are criteria that can be considered in defining the length of a cul-de-sac. While the different organizations and standards use differing maximum recommended lengths for cul-de-sacs, the typical maximum cul-de-sac length is considered to be a between 500 and 750 feet.

There are other set standards that base the cul-de-sac length on typical traffic generation volumes. Generally, cul-de-sacs are recommended for streets where the traffic volume would not exceed an average of 200 vehicle trips per day. The typical single family residence generates 8 to 10 trips per day. Using this standard, the maximum number of lots on a cul-de-sac would be in the range of 20 to 25. This number of lots generally translates to a 500 to 700 foot cul-de-sac length.

A number of cities that allow 26 foot wide pavement on a cul-de-sac have applied that same concept to non-cul-de-sac residential streets within subdivisions. In considering the concept of allowing a 26 foot wide or within the subdivision.

Within most subdivisions there are generally two types of streets. One type of street would be considered a "through" street in which traffic entering and leaving the subdivision would tend to travel on those streets. These streets generate traffic not only from the residences adjacent to the street, but from other residences located within that subdivision or adjoining subdivisions.

The other category of streets would be considered local streets. These streets are ones where the primary traffic generation is from the residences located on or immediately adjacent to that street. While these local streets may have some traffic from residences not located directly on the street that percentage of the traffic volume is much lower. The local streets tend to feed the traffic from the local area to the "through" streets within the subdivision and in many respects act in a manner similar to that of a cul-de-sac that is perceived to serve only local traffic.

For those cities that allow 26 foot wide pavement in select locations, they generally do so with the concept of requiring "through" streets to be 31 foot wide pavement and allow the local streets to be 26 foot wide pavement. The local streets would be defined as one where there is a finite number of lots that would be served by that local street. While most cities do not establish a definitive standard for the local street, the prevailing practice is local streets are generally defined as those having not more than the range of 20 to 30 lots that would be served by that local street.

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In summary, this letter is not intended to set forth a recommendation for the street width. Rather, this letter is intended to provide background information along with the writer's observation that over the last 10 to 15 years there has been a general shift in the width required for residential streets that serve less than 20 to 30 single family residences in the role of a local street rather than a residential through street. While some cities still require 31 foot wide streets in almost all locations many cities allow 26 foot wide streets for streets that serve local residences. This approach is based on the concept the limitations on accessibility from the narrower streets serving the local traffic are offset by the advantages identified for the other four factors that impact the evaluation of street width.

If you have any questions or comments concerning the project, please contact the writer at 515-225-8000, or bveenstra@v-k.net.

VEENSTRA & KIMM, INC.

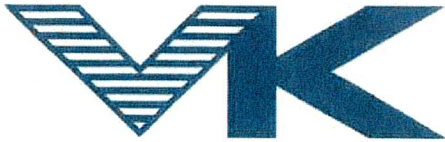


H. R. Veenstra Jr.

HRVJr:mav

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Cc: Ralph Brown, Brown, Fagen & Rouse



VEENSTRA & KIMM INC.

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May 19, 2022

Cindy Riesselman
City Clerk
City of Dallas Center
1502 Walnut Street
P.O. Box 396
Dallas Center, Iowa 50063

DALLAS CENTER, IOWA
SKYE VIEW ESTATES
PRELIMINARY PLAT
REVIEW COMMENTS

Enclosed is a copy of the first submittal of the preliminary plat of Skye View Estates submitted by Stubbs Engineering on May 18, 2022. Also enclosed is a copy of the stormwater calculations submitted by Stubbs Engineering.

Based on review of the preliminary plat the following comments are offered:

1. The preliminary plat covers the entire Skye View Estates project. The preliminary plat shows the grading plan and the conceptual location of water main, sanitary sewer and storm sewer. As is typical for a large preliminary plat many of the details regarding the utilities will be addressed later as part of the construction plan review.
2. The preliminary plat covers the entire project. The developer will construct the project in multiple plats. Under the City's subdivision ordinance, the preliminary plat will remain valid as long as the developer progresses with individual plats within the timeframe set forth in the ordinance. If there are no changes in subsequent projects, no additional plat review is required. If the developer wishes to change the project those changes would need to be addressed in a subsequent review and approval of a new or revised preliminary plat.
3. The total area of the plat is 83.7 acres.
4. The preliminary plat identifies the three areas covered in the rezoning including the R-1-55 flex single family residential area, the R-3 townhome area and the R-3 apartment area.

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5. The apartment area will be subject to a subsequent site plan. The preliminary plat does not show any detailed information regarding the apartment area.
6. The preliminary plat shows 250 single family residential lots.
7. The preliminary plat shows a mix of lot sizes ranging from 50 foot to larger than 60 foot. Enclosed are drawings showing the distribution of lot sizes. On the enclosed drawings lots are classified as 50 foot, 55 foot or 60 foot. The color coding shows the lot size of all of the lots except for corner lots. Because of the double frontage requirements for corner lots these lots are intrinsically larger than other lots even though the developable area of the lot may be more restricted than a normal lot of the same size not located on a corner.

On the enclosed drawings the 50 foot lots are noted in pink, the 55 foot lots are noted in green, and the 60 foot and larger lots are noted in blue. For any lot that is not exactly 50, 55 or 60 feet in width the highlighted color shows the size rounded to the next lower size. Along Cedar Street there is a predominance of smaller lots. Through the balance of the preliminary plat, the lot sizes are more evenly distributed.

8. The preliminary plat shows a total of 38 townhome units. The townhome units are a mix of two unit buildings and three unit buildings.
9. All of the townhomes are shown to be constructed on individual lots with common wall construction. This configuration would be conducive to the sale of the individual townhome units or the rental of townhome units.
10. The preliminary plat shows the north south street, CJ Street, connecting to Highway 44 and extending to the north plat boundary.
11. The preliminary plat shows Cedar Street connecting to Fairview Drive/R Avenue north of the Dollar General property.
12. The preliminary plat shows Spear Street extending to the east plat boundary to facilitate future extension of the street.
13. The preliminary plat shows Alder Street extending easterly from CJ Street to the R-3 apartment area.
14. The preliminary plat shows Willow Street extending west of CJ Street to the plat boundary. The location of Willow Street would appear to be conducive for extension of Willow Street westerly to Fairview Drive as part of development of the adjoining property.

15. The preliminary plat should show both the right-of-way width and street paving width.
16. Historically, the City has allowed individual developers to select street names unless the street is a logical extension of an existing street. It does not appear any of the streets in Skye View Estates would be an extension of an existing street and new street names for each street would be allowed.
17. The north south street is identified as CJ Street. The writer would note some cities have a formal or informal naming protocol that requires a minimum number of letters in a street name. The City of Dallas Center does not have a policy regarding the minimum length of street names.
18. The preliminary plat shows a park located in the interior area between Willow Street, Arrowhead Street, Lea Street and CJ Street.
19. It appears the only access to the park is a 20-foot wide ingress egress easement located on Lots 210 and 211 on the north side of Willow Street. In earlier discussions there was indication the City preferred to have at least two access routes to the park.
20. The preliminary plat does not show any indication of a park in the northern portion of the R-3 area. During previous discussions there was an indication the developer was open to a public park in the northern part of the R-3 area.
21. The preliminary plat shows an access lot extending from Willow Street south to the R-3 area. It is unclear whether this access lot is intended for a driveway or other means of access.
22. The preliminary plat shows the location of water mains along all of the streets within the development.
23. The preliminary plat shows the location of hydrants and hydrant coverage circles. The hydrant locations and hydrant coverage circles shown on the plat meet the requirements of the City of Dallas Center.
24. The Skye View Estates area is located within what appears to be the service territory of Xenia Rural Water. The City has discussed approaching Xenia Rural Water concerning the intent to acquire the service territorial rights for the Skye View Estates area. As of the submittal of the preliminary plat there have been no discussions between the City and Xenia Rural Water regarding service territory.

25. As currently submitted Xenia Rural Water would have the territorial rights to the water system. If Xenia Rural Water provides water service to the area, it is anticipated the configuration of the water mains will differ from those shown on the preliminary plat. In almost all instances Xenia Rural Water will require the water mains to be located on water main easements outside of the right-of-way. This procedure is used to avoid the potential for the rural water mains needing to be relocated based on the future use of the right-of-way.
26. If Xenia Rural Water provides water service to the area the issue of fire flow and hydrant placement will need to be addressed at the time Xenia Rural Water submits its plan to provide water service to the development.
27. If the City acquires the territorial rights for Skye View Estates the City will require all water mains to be 8-inch diameter and valves to be located in accordance with its policy regarding isolation and redundancy.
28. If the City provides water service the hydrants will need to be located as shown on the preliminary plat.
29. The preliminary plat shows conceptually the location of sanitary sewers. Details regarding the sanitary sewer will need to be addressed in more detail as part of the construction plan review of each project.
30. The preliminary plat shows the southwest portion of the plat being served by a sanitary sewer that would connect to the existing City manhole located at the northeast corner of Highway 44 and Fairview Drive. This sanitary sewer would extend east across the Dollar General parcel and north into the Skye View Estates.
31. The sanitary sewer manhole at the northeast corner of the intersection of Highway 44 and Fairview Drive is about 10 feet deep. The ground elevations to the north, especially in the area of Cedar Street, are relatively low and providing sewer service south to the existing manhole is challenging based on current ground elevations.
32. Brandon Stubbs of Stubbs Engineering indicated during the development of the preliminary plat it was determined that significant fill would be required in order to provide basement level sewer service to portions of the southwest part of the plat from the existing manhole. It is noted the sewer along Fairview Drive was constructed to achieve the lowest possible invert elevation at the northeast corner of the intersection. It was recognized the invert elevation would pose challenges to extending sewer service to portions of the area that is now identified as Skye View Estates.

33. As previously discussed, the southwest portion of the development generally slopes southwesterly toward the intersection. However, other portions of the area slope easterly away from the intersection.
34. Although the sanitary sewer plan does not show direction of flow some portion of the plat will need to be sewer ed easterly or northeasterly and will be served by a future lift station. The City Council separately authorized Veenstra & Kimm, Inc. to evaluate sanitary sewer service in the northeast service area including options for the location of a lift station that would serve a portion of the Skye View Estates area.
35. During the development of the preliminary plat Brandon Stubbs of Stubbs Engineering indicated the sanitary sewer elevation may limit the extent of the Plat 1 project due to the amount of fill that will be required. Brandon Stubbs indicated the developer may be interested in deferring larger portions of the project until the lift station is available. This would be the case if the extent of fill material could be reduced significantly by sewer ing areas to the east rather than the southwest.
36. The grading plan indicates the predominant method of site grading will be to drain the front yards toward the street and the rear yards toward a rear yard drainage easement with a collector storm sewer serving the rear yard drainage swales. This approach to drainage has gained in popularity over the last several years. This approach avoids the need to drain rear yards through side yard areas to reach the street. This approach reduces the amount of fill material as it does not require the rear yard to drain completely to the front yard. The disadvantage of the rear yard drainage approach is there are rear yard drainage easements that must be kept open for the drainage plan to function properly.
37. The grading plan shows significant fill in some areas. For example, in areas along Cedar Street it appears the finished elevation of the lots is as much as 10 feet above the current ground elevation. This fill is necessary to provide basement level sewer service as noted herein.
38. A general review of the grading plan would indicate the plan appears to be satisfactory.
39. The preliminary plat shows two internal stormwater detention basins. One detention basin is located in Outlot Y in the southwest portion of the plat. The second detention basin is located in Outlot Z in the northeast corner of the plat.
40. Both stormwater detention basins are shown as wet bottom basins with a permanent water pool.

41. Although not explicitly set forth on the preliminary plat it is anticipated the primary reason for the wet bottom basins is to provide a source of fill material that can be used to raise the ground elevations in portions of the project.
42. The preliminary plat shows the southwest portion of the plat to be tributary to the southwest detention basin. This area is about 22 acres.
43. The outlet for the southwest detention basin is a storm sewer that extends westerly to Alder Street and the continues southwesterly to Highway 44. The storm sewer continues west along the north side of Highway 44 to connect to the City of Dallas Center's Highway 44 storm sewer.
44. Although not shown on the preliminary plat Brandon Stubbs of Stubbs Engineering indicated the outlet storm sewer concept is workable and the storm sewer would be constructed at a slope of approximately 0.20%.
45. The portion of the stormwater drainage tributary to the southwest detention basin is the R-2 and R-3 areas and a portion of the single family residential development.
46. The drainage area to the larger northeast detention basin is about 55 acres.
47. The outlet for the northeast stormwater detention basin appears to be an overland flow discharging to the east.
48. The storm sewers in the northern portion of the project area are tributary to the northeast detention basin.
49. The permanent water surface elevation in the southwest detention basin is Elevation 1042.00. The permanent pool elevation in the northeast detention basin is Elevation 1034.00.
50. Because the northeast area is located at a lower elevation than the southwest area it is not possible for all of the stormwater drainage to be piped or routed to the southwest. Some portion of the stormwater drainage must be northeasterly using surface water discharge.
51. The preliminary plat shows the conceptual location and layout of storm sewers. From a conceptual perspective the storm sewers appear to be appropriate. The storm sewers will be reviewed in more detail as part of the construction plan review for each individual project.

Based on review of the stormwater calculations the following is noted:

1. The stormwater calculations include the evaluation of the two stormwater detention basins to meet the requirements of the City relative to stormwater detention.
2. The stormwater calculations do not include any evaluation of individual storm sewers. A more detailed evaluation of the storm sewers will need to be completed based on the storm sewer calculations for each subsequent project.
3. The stormwater calculations indicate there are two existing drainage basins. The northeast basin, referred to as Catchment A, has an area of 47.56 acres. The southwest basin, referred to as Catchment B, has an area of 29.17 acres.
4. The stormwater calculations indicate there is an offsite area to the north of 5.82 acres that drains through the site to the northeast detention basin.
5. Under the City's requirements the project must provide stormwater management to limit the maximum release rate from the site in a 100 recurrence interval storm in the developed condition to no greater than the peak runoff rate from a 5 year recurrence interval storm in the undeveloped condition. The flow from the offsite area is allowed to be routed through the project with no detention. In effect the existing 100 year recurrence interval storm peak flow from the offsite area can be routed through the project site.
6. The analysis in the stormwater calculations indicates it is based on the rational method. Based on the size of the project the rational method is allowed under SUDAS. However, much of the analysis used the SCS method rather than the rational method.
7. The time of concentration was calculated using TR-55 as determined by the subroutines in Auto CAD Civil 3D.
8. All of the soils were considered to be Class C soils. No information was provided on the actual soils. The stormwater calculations will need to provide information on the classification of the soils within the area to determine whether Class C or Class B soils would be appropriate in the area. Based on the soils in the Dallas Center area it is possible there will be Class B soils that would affect the projected runoff rates.
9. The rainfall used was an SCS Type II rainfall distribution.
10. Both the 5 year and 100 year recurrence interval storm used in the analysis were the 24 hour duration storm.

11. The runoff and peak flow routing was determined based on a use of TR-55. This method is allowed under SUDAS.
12. Although the report indicates the analysis used the rational method the runoff coefficients were calculated with the SCS method using a CN number.
13. The report indicates a CN of 85 was used for all areas in the current condition. A CN of 85 would be considered appropriate for a good straight row crop area with hydrologic soil Group C. The comment relative to requesting additional information on the hydrologic group is related to the Group C soils have a higher runoff rate than Group B soils.
14. The stormwater calculations for the north basin shows in the current condition the 5 year recurrence interval storm the peak runoff rate is 96.26 cfs.
15. The stormwater calculations indicate for 100 year recurrence interval storm peak runoff from the offsite area north of the north detention area is 27.09 cfs.
16. Under the City's policy the allowable release rate from the northeast basin would be the sum of these two peak flow rates, or 123.35 cfs.
17. The stormwater report indicates the proposed release rate from the north detention basin is 96.74 cfs, or less than the allowed release rate.
18. The stormwater report summary in Table 3 indicates the peak flow from the southwest area in the existing condition in a 5 year recurrence interval storm is 68.87 cfs. However, it appears the calculation of the subbasin flow would show the peak runoff to be 48.17 cfs.
19. It appears the allowable release rate from the south detention basin would be 48.17 cfs. The proposed release rate is 13.94 cfs. Although it appears Table 3 may not correctly state the peak flow the proposed release rate of 13.94 cfs is significantly below the allowed release rate, even if the number in Table 3 that appears to be erroneous is corrected.
20. The proposed drainage plan alters the drainage boundaries and increases the area tributary to the northeast basin and decreases the area tributary to the southwest basin. The proposed Catchment A, which is the northeast area, is shown to be 55.26 acres. Proposed Catchment B, that is the southwest area, is shown to have an area of 22.00 cfs.
21. The development is allowed to alter the drainage boundaries as long as the release rates do not exceed the allowable release rates in the existing undeveloped condition for each of the drainage basins.

22. The stormwater calculations in the developed condition would indicate the weighted curve number (CN) in the developed condition is 81 in Catchment A and 83.59 in Catchment B.
23. The writer would note the SCS method of a CN number actually results in a lower runoff rate in major storm events from a residential development compared to an agricultural field area. This condition is often subject to debate and disagreement. The crux of the debate evolves around the subject whether in a major rainfall event the runoff rate from bare soil in agricultural areas exceeds the net impact of development. In a developed area the impervious area, roofs and pavement, will experience a higher runoff rate. However, well developed lawn areas will experience a lower runoff as the grassy areas will tend to hold and absorb more rain than bare agricultural ground that quickly becomes surface saturated with a limited rate of soil absorption. To address this ongoing issue regarding the volume of runoff that occurs during a major rainfall event it is generally recommended the storage volume provided to overflow be greater than what would be required by at least 25% with a minimum freeboard of one foot.
24. The stormwater calculations indicate the pool elevation in the north basin is 1034.00. The calculations indicate the maximum water level in a 100 year recurrence interval storm would be 1037.91. The overtopping elevation of the detention basin is 1039.00.
25. The maximum increase in water depth in a 100 year recurrence interval storm is shown to be 3.91 feet in the northeast basin. The maximum depth to overtopping is 5.00 feet.
26. The preliminary plat indicates the pool elevation in the southwest basin is 1042.00. The preliminary plat indicates the maximum water elevation in a 100 year storm is 1048.00. The overtopping elevation is 1049.00.
27. In a 100 year storm the water elevation in the southwest basin will increase by 6.00 feet in a 100 year storm and up to 7.00 feet in an overtopping condition.
28. The stormwater calculations indicate for the northeast basin the required storage volume at 3.91 feet of depth would be approximately 410,000 cubic feet.
29. The stormwater calculations indicate the maximum storage volume to overflow is approximately 538,000 cubic feet.
30. The City normally looks for a minimum one foot freeboard and a minimum of 25% of additional storage volume. The north detention basin appears to meet this requirement.
31. The stormwater calculations indicate that in the southwest basin the stored volume at 6.00 feet of depth would be 293,094 cubic feet.

Cindy Riesselman

May 18, 2022

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32. The stormwater calculations do not appear to show the stored volume at overflow at a depth of 7.00 feet. Although the minimum 1.00 foot of freeboard is provided the additional volume calculation is necessary to determine if the City's standard of additional storage volume is also satisfied.
33. The overtopping on the northeast basin would appear to be overland to the east away from the developed area. Given this configuration it does not appear additional evaluation of the overtopping flow would be necessary.
34. The southwest detention basin is located within a developed area. The stormwater report, or preliminary plat, will need to evaluate the route of flow for the overtopping flow. Given the minimum freeboard and what is likely marginal additional storage capacity the risk of overtopping from the southwest detention basin is such that an evaluation of the overland flow route for overtopping flow must be provided.

If you have any questions or comments concerning the project, please contact the writer at 515-225-8000, or bveenstra@v-k.net.

VEENSTRA & KIMM, INC.



H. R. Veenstra Jr.

HRVJr:rdp

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Enclosure

Cc: Ralph Brown, Brown, Fagen & Rouse
Brandon Stubbs, Stubbs Engineering

RESOLUTION NO. 2022-59

A RESOLUTION APPROVING THE PRELIMINARY PLAT OF SKYE VIEW ESTATES, A SUBDIVISION, TO THE CITY OF DALLAS CENTER, IOWA

WHEREAS, Skye View Estates, LLC, as owner and developer, has submitted to the Planning and Zoning Commission of the City of Dallas Center, Iowa, a Preliminary Plat of Skye View Estates, a subdivision; and

WHEREAS, the Planning and Zoning Commission reviewed the Preliminary Plat at its meetings on May 24, 2022, and June 26, 2022, all in accord with Chapter 170 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended; and

WHEREAS, the City Engineer provided review comments and recommendations dated May 19, 2022, and June 21, 2022, which comments and recommendations were accepted and adopted by the Commission; and

WHEREAS, the Planning and Zoning Commission has recommended to the Council the approval of said Preliminary Plat, subject to the following specific recommendations: (a) the requirement, pursuant to Section 170.14(7) of the Code of Ordinances, as amended, that a shadow conduit be constructed to facilitate broadband communication in accordance with design parameters established by the Council and be shown on the Construction Plans; (b) on each lot one street tree will be planted by the Tree Board for every thirty (30) feet of street frontage and the owner and developer will pay a tree fee of \$400 for each street tree to the City Clerk before approval of the Final Plat as required by Section 170.06(19) of the Code of Ordinances; and (c) subject to the paved street widths being in compliance with the requirements of the Code of Ordinances at the time of construction; and

WHEREAS, pursuant to Section 170.13 of the Code of Ordinances of the City of Dallas Center, as amended, the owner and developer has calculated that 8.28 acres of land (excluding a calculation for the apartment building area) must be dedicated to the City of park and recreation purposes, and that the Preliminary Plat shows the dedication of 8.36 acres of land for park land (excluding the apartment building area); and

WHEREAS, when the area of the Preliminary Plat set aside for the proposed apartments buildings is further planned, the park land dedication requirements for that area will be addressed by the developer with City; and

WHEREAS, the owner and developer has submitted the Preliminary Plat to the City as a Phased Preliminary Plat pursuant to Section 170.04(5) of the Code of Ordinances, as amended.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Dallas Center, Iowa, that the Preliminary Plat of Skye View Estates be approved as a Phased Preliminary Plat pursuant to the provisions of Section 170.04 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, subject to the following provisions:

(a) the requirement, pursuant to Section 170.14(7) of the Code of Ordinances, as amended, that a shadow conduit be constructed to facilitate broadband communication in accordance with design parameters established by the Council and be shown on the Construction Plans;

(b) one street tree will be planted by the Tree Board for every thirty (30) feet of street frontage on each lot and the owner and developer will pay a tree fee of \$400 for each street tree to the City Clerk before approval of the Final Plat as required by Section 170.06(19) of the Code of Ordinances;

(c) the paved street widths must be in compliance with the requirements of the Code of Ordinances at the time of construction;

(d) the park land dedication of 8.36 acres (excluding the apartment building area) as shown on the Preliminary Plat is accepted, however, when the area of the Preliminary Plat set aside for the proposed apartments buildings is further planned, the park land dedication requirements for that area will be addressed by the developer with the City.

IT IS FURTHER RESOLVED that the owner and developer are hereby notified that the approval of the Phased Preliminary Plat, pursuant to Section 170.04(7) of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, will be null and void unless the Final Plat is (or Final Plats are) presented to the Council within two years after the date of the Phased

Preliminary Plat approval. However, the filing of a Final Plat constituting more than five percent (5%) of the area of the Phased Preliminary Plat extends the validity of the Phased Preliminary Plat by two (2) additional years.

PASSED, APPROVED AND ADOPTED by the City Council of the City of Dallas Center, Iowa, this 12th day of July 2022.

Daniel Beyer, Mayor

ATTEST:

Shellie Schaben, City Clerk

RESOLUTION NO. 2022-52

RESOLUTION ADOPTING PLANS, SPECIFICATIONS, FORM OF CONTRACT AND ESTIMATE OF COSTS FOR THE DALLAS CENTER OUTDOOR COMMUNITY SWIMMING POOL CONSTRUCTION PROJECT

WHEREAS, on the 18th day of June, 2022, plans, specifications, form of contract and estimate of costs were filed with the Clerk for the construction of certain public improvements described in general as the Dallas Center Outdoor Community Swimming Pool Construction Project; and

WHEREAS, notice of hearing on plans, specifications, form of contract and estimate of costs for the public improvements was published as required by law.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DALLAS CENTER, STATE OF IOWA:

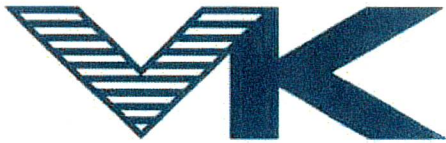
Section 1. That the plans, specifications, form of contract and estimate of costs are hereby approved as the plans, specifications, form of contract and estimate of costs for the public improvements, as described in the preamble of this Resolution.

PASSED AND APPROVED this 12th day of July, 2022.

Daniel Beyer, Mayor

ATTEST:

Shellie Schaben, City Clerk



VEENSTRA & KIMM INC.

3000 Westown Parkway
West Des Moines, Iowa 50266

515.225.8000 // 800.241.8000
www.v-k.net

June 8, 2022

Cindy Riesselman
City Clerk
City of Dallas Center
1502 Walnut Street
P.O. Box 396
Dallas Center, Iowa 50063

DALLAS CENTER, IOWA
CROSS COUNTRY ESTATES PLAT 6
FINAL PLAT
REVIEW COMMENTS

Enclosed is a copy of the first submittal of the final plat of Cross Country Estates Plat 6. Based on review of the plat the following comments are offered:

1. General Note 4 indicates construction is to be in accordance with the 2021 Edition of SUDAS. This note is satisfactory. The City allows both the current and previous version of SUDAS to be utilized.
2. Note 7 includes the requirement regarding the planting of trees on the lots.
3. Notes 8 and 9 deal with when the water service and low pressure sewer service lines will be installed. The service lines for the lots on the opposite side of the street from the utility will be installed as part of the subdivision construction. The service lines on the same side of the street as the utility will be installed as part of the individual home construction. Because the water and sewer are located on the opposite side of the street the two notes vary with respect to which services are installed when.
4. On the north part of Lot 15 there is a public sanitary sewer easement that overlaps the 15 foot PUE. The final plat will need to include a note indicating any use of the public utility easement is subordinate to the City's use of its designated public sanitary sewer easement and any utility utilizing the public utility easement must relocate at no cost to the City if the use of the public utility easement is in conflict with the City's use of its designated sanitary sewer easement at any time.

5. The final plat includes the applicable zoning requirements for the E-1 zoning district.
6. The final plat shows both the front yard and rear yard setback of 50 feet based on the zoning district requirements.
7. The final plat will need to include the assigned lot numbers. The City will need to provide the lot numbers for the final plat.
8. The street lot is identified as Street Lot A. This designation is satisfactory. The final plat will need to include the actual name of the street in addition to the designation as Street Lot A.
9. The width of Street Lot A is 70 feet and the radius of the cul-de-sac is 65 feet. The dimensions of the street lot are satisfactory.
10. All of the lots meet the minimum requirement of 1.00 acre in the E-1 zoning district.
11. The final plat shows the sanitary sewer easement along the north side of Lot 15 adjacent to Prairie Lane.
12. The final plat shows a water main easement located along the north part of Lot 1 and along the west boundary of Lots 1 through 8. The Xenia rural water main will be located in this easement.
13. The final plat shows a 15 foot wide Public Utility Easement (PUE) located along the north side of Lot 1 and Lot 15 and along both sides and adjacent to the street right-of-way on Lots 1 through 15.
14. The final plat shows a 5 foot wide gas main easement adjacent to the street right-of-way. The 5 foot gas main easement overlaps the PUE and water main easement.
15. The final plat shows a drainage easement between Lot 2 and Lot 3 and between Lot 13 and Lot 14. The final plat shows drainage easements in the rear yard area of Lots 5, 6 and 7 and Lots 9 through 15. The drainage easements are properly labeled as private easements.
16. The final plat shows the 100 year FEMA flood plain located in the rear yard area of Lots 5, 6, 7 and 9.

Cindy Riesselman

June 8, 2022

Page 3

In summary, based on review the following items will need to be addressed before approval of the final plat.

1. Add the note regarding the overlap of the sanitary sewer easement and PUE.
2. Add the name of the street.
3. Add the lot addresses as provided by the City.

If you have any questions or comments concerning the project, please contact the writer at 515-225-8000, or bveenstra@v-k.net.

VEENSTRA & KIMM, INC.



H. R. Veenstra Jr.

HRVJr:rdp

212

Enclosure

Cc: Ralph Brown, Brown, Fagen & Rouse
Brent Culp, Snyder & Associates, Inc.

PREPARED BY: Ralph R. Brown, 502 15th, P.O. Box 250, Dallas Center, IA 50063 (515) 992-3728

RESOLUTION NO. 2022-60

A RESOLUTION FORMALLY ACCEPTING THE IMPROVEMENTS IN CROSS COUNTRY ESTATES PLAT 6, A SUBDIVISION IN THE CITY OF DALLAS CENTER, DALLAS COUNTY, IOWA.

WHEREAS, the City Engineer has reported pursuant to Section 170.14(1) of the Code of Ordinances that the required improvements within Cross Country Estate Plat 6 have been constructed and that they meet all City specifications and Ordinances or other requirements, and all agreements between the subdivider and the City; and the City Engineer has recommended to the Council that the improvements contained within the Subdivision be accepted, subject to the construction of all sidewalks in the Subdivision; and

WHEREAS, the City Attorney has advised the Council that the owner has filed in proper form maintenance bonds for the concrete paving, storm sewers and appurtenances, sanitary sewers and appurtenances, and water mains and appurtenances, which maintenance bonds cover all construction being dedicated to the City, except for sidewalks; and

WHEREAS, the City Attorney has further advised the Council that the owner and developer has filed a written assurance and agreement that individual home builders in the Subdivision will install the sidewalk, but that any sidewalk in the Subdivision not completed by forty-six (46) months after the approval of Final Plat, will be constructed by the owner and developer prior to the end of forty-eight (48) months after the approval of the Final Plat.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Dallas Center, Iowa, that the maintenance bonds for concrete paving, storm sewers and appurtenances, sanitary sewers and appurtenances, and water mains and appurtenances, are hereby approved; and that the written assurance and agreement of the owner and developer with respect to the construction of sidewalks is accepted.

IT IS FURTHER RESOLVED by the City Council of the City of Dallas Center, Iowa, in accord with Chapter 170 of the Code of Ordinances, as amended, that the required improvements contained within the subdivision are hereby accepted by the City of Dallas Center, Iowa, subject to the agreement of the owner and developer that any sidewalk not completed within forty-six (46) months after the approval of the Final Plat will be constructed by the owner and developer prior to the end of forty-eight (48) months after the approval of the Final Plat.

PASSED, APPROVED AND ADOPTED by the City Council of the City of Dallas Center, Iowa, on the 12th day of July, 2022.

Daniel Beyer, Mayor

ATTEST:

Shellie Schaben, City Clerk

CERTIFICATE OF MAYOR AND CLERK

We, the undersigned Mayor and Clerk of the City of Dallas Center, Iowa, hereby certify that at a meeting of the City Council of the City of Dallas Center, Iowa, and with a quorum of said City Council being present, the foregoing and attached Resolution No. 2022-60 was presented and by a motion duly made and seconded, was duly adopted by the Council.

Dated at Dallas Center, Iowa, the 12th day of July, 2022.

Daniel Beyer, Mayor

Shellie Schaben, City Clerk

PREPARED BY: Ralph R. Brown, 502 15th, P.O. Box 250, Dallas Center, IA 50063 (515) 992-3728

RESOLUTION NO. 2022-61

A RESOLUTION APPROVING THE FINAL PLAT OF CROSS COUNTRY ESTATES PLAT 6, AN OFFICIAL PLAT INCLUDED IN AND FORMING A PART OF THE CITY OF DALLAS CENTER, DALLAS COUNTY, IOWA.

WHEREAS, Cross Country Estates LLC has caused to be platted certain real estate lying within the corporate limits of the City of Dallas Center, Dallas County, Iowa, legally described as:

The Northeast Quarter of the Southeast Quarter (NW $\frac{1}{2}$ SE $\frac{1}{4}$) of Section Thirty-One (31), in Township Eighty (80) North, of Range Twenty-Seven (27) West of the 5th P.M., Dallas County, Iowa, except Cross Country Estates Plat 2 and Cross Country Estates Plat 4, Official Plats, now included in and forming part of the City of Dallas Center, Dallas County, Iowa,

and said plat is known as Cross Country Estates Plat 6; and

WHEREAS, the owner has complied with the requirements of Chapter 170 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, as it relates to subdivision regulations; and

WHEREAS, the Planning and Zoning Commission at its meeting on August 24, 2021, recommended to the Council the approval of the Preliminary Plat; and

WHEREAS, on September 14, 2021, the City Council approved the Preliminary Plat; and

WHEREAS, the Final Plat has been filed by the owner, and it is accompanied by (1) the Owner's Consent to Plat; (2) Warranty Deed conveying to the City Lot A intended as a public street; (3) Declaration of Covenants, Conditions, Easements and Restrictions; (4) an Opinion by an Attorney who has examined the Abstract of Title of the land being platted; (5) a Certificate of the County Treasurer that the land is free from certified taxes and certified special assessments and (6) the Lender's Consent to Plat.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Dallas Center, Iowa, that Final Plat of Cross Country Estates Plat 6 be and the same is hereby approved in accord with Section 354.8 of the Code of Iowa, as amended, and Chapter 170 of the Code of Ordinances, as amended.

PASSED, APPROVED AND ADOPTED by the City Council of the City of Dallas Center, Iowa, on the 12th day of July, 2022.

Daniel Beyer, Mayor

ATTEST:

Shellie Schaben, City Clerk

CERTIFICATE OF MAYOR AND CLERK

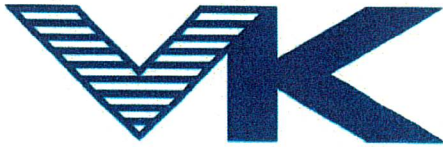
We, the undersigned Mayor and Clerk of the City of Dallas Center, Iowa, hereby certify that at a meeting of the City Council of the City of Dallas Center, Iowa, and with a quorum of said City Council being present, the foregoing and attached

Resolution No. 2022-61 was presented and by a motion duly made and seconded, was duly adopted by the Council.

Dated at Dallas Center, Iowa, the 12th day of July, 2022.

Daniel Beyer, Mayor

Shellie Schaben, City Clerk



VEENSTRA & KIMM INC.

3000 Westown Parkway
West Des Moines, Iowa 50266

515.225.8000 // 800.241.8000
www.v-k.net

July 7, 2022

Cindy Riesselman
City Clerk
City of Dallas Center
1502 Walnut Street
P.O. Box 396
Dallas Center, Iowa 50063

DALLAS CENTER, IOWA
CROSS COUNTRY ESTATES PLAT 6
LOW PRESSURE SEWER
RECEIPT OF QUOTATIONS

The City of Dallas Center solicited competitive quotations for the Cross Country Estates Plat 6 Low Pressure Sewer. Based on the estimated \$72,000 cost for the project the City could solicit competitive quotations rather than receiving sealed bids.

Under the competitive quotation process the City must solicit quotations from at least three contractors. Quotations must be received on or before a specific time and the quotations are to be opened at or after the time designated for the receipt of quotations.

The City solicited quotations from three contractors, including Legacy Excavating, LLC, Elite Electric and Concrete & More, LLC. Legacy Excavating, LLC is the contractor constructing the Cross Country Estates Plat 6 underground utilities. Elite Electric and Concrete & More, LLC are local contractors that undertake this type of underground construction.

The City received one quotation as follows:

Concrete & More, LLC	\$52,390
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Attached is a copy of the quotation received from Concrete & More, LLC.

As indicated, the engineer's estimate of cost for construction of the project was \$72,000. The low quotation by Concrete & More, LLC was below the engineer's estimate of cost.

Cindy Riesselman
July 7, 2022
Page 2

Under the competitive quotation process the City is required to solicit quotations from three or more contractors. Under the competitive quotation process there is no designated minimum number of quotations that must be received before the City can take action on the quotations. Although it may be desirable to receive multiple quotations, the receipt of multiple quotations is not required as long as the City follows the requisite procedure for soliciting quotations.

The quotation received from Concrete & More, LLC appears to be responsive to the request for quotations. If the City elects to move forward with the project it is recommended contract be awarded to Concrete & More, LLC based on its competitive quotation in the amount of \$52,390.

If you have any questions or comments concerning the project, please contact the writer at 515-225-8000, or bveenstra@v-k.net.

VEENSTRA & KIMM, INC.

A handwritten signature in blue ink, appearing to read "H. R. Veenstra Jr.", is positioned above the printed name.

H. R. Veenstra Jr.

HRVJr:rdp

212186

Enclosure

Cc: Ralph Brown, Brown, Fagen & Rouse

QUOTATION

CROSS COUNTRY ESTATES PLAT 6 LOW PRESSURE SEWER
DALLAS CENTER, IOWA

Name of Bidder Concrete & More, LLC

Address of Bidder 23275 N Ave, Dallas Center, IA 50063

To: City of Dallas Center
1502 Walnut Street
Dallas Center, Iowa 50063

The undersigned bidder, having examined the Contract Documents, and having familiarized himself with the nature and location of the work to be done and the conditions under which the work will be performed, hereby proposes to provide the required labor, services, and materials and to perform the work described in the specifications, and addenda _____, _____, _____, and _____ within the time and for the sum or sums stated hereinafter on attached quotation schedule; which quotation schedule is hereby made a part of this quotation.

The undersigned bidder certifies that this quotation is made in good faith, without collusion or connection with any other person or persons bidding on the work.

The undersigned bidder states that this quotation is made in conformity with the specifications and agrees that in the event of any discrepancies or differences between any conditions of his quotation and the specifications prepared by VEENSTRA & KIMM, INC., that the provisions of the latter shall prevail.

Bidder Concrete & More, LLC

By Brian Graft

Title owner

QUOTATION SCHEDULE

Cross Country Estates Plat 6 Low Pressure Sewer

1. Construct Cross Country Estates Plat 6 Low Pressure Sewer for the following unit and lump sum prices:

<u>Item</u>	<u>Description</u>	<u>Unit</u>	<u>Estimated Quantity</u>	<u>Unit Price</u>	<u>Extended Price</u>
1.1	4" Low Pressure Sewer Directional Boring Only	LF	260	\$ 24. ⁰⁰	\$ 6,240. ⁰⁰
1.2	4" Low Pressure Sewer Open Cut or Directional Boring at Contractor Option	LF	1,600	\$ 24. ⁰⁰	\$ 38,400. ⁰⁰
1.3	6"x 4" Tapping Sleeve and Valve	EA	1	\$ 2,450. ⁰⁰	\$ 2,450. ⁰⁰
1.4	7" PCC Concrete Pavement Patch	SY	20	\$ 90. ⁰⁰	\$ 1,800. ⁰⁰
1.5	Surface Restoration and Seeding	LS	1	\$ 2,500. ⁰⁰	\$ 2,500. ⁰⁰
1.6	Traffic Control	LS	1	\$ 1,000. ⁰⁰	\$ 1,000. ⁰⁰
Total Quotation (Items 1.1 – 1.6)					\$ 52,390. ⁰⁰

2. All work on the project shall be completed by October 31, 2022.
3. Liquidated damages in the amount of Two Hundred Dollars (\$200.00) per calendar day will be assessed for each day work shall remain incomplete after the end of the contract period with due allowance for extensions of the contract period due to conditions beyond the control of the Contractor.

parts or repairs thereon, or any vehicle not equipped with four inflated tires, or any vehicle not licensed for the current year. "Junk vehicle" also includes any vehicle which has become the habitat for rats, mice, snakes, or any other vermin or insects or any vehicle which, because of its defective or obsolete condition, in any other way constitutes a threat to the public health and safety. Mere licensing of such vehicle shall not constitute a defense to the finding that the vehicle is a junk vehicle.

3. "Vehicle" means every device in, upon, or by which a person or property is or may be transported or drawn upon a highway or street, excepting devices moved by human power or used exclusively upon stationary rails or tracks, and includes without limitation a motor vehicle, automobile, truck, motorcycle, tractor, buggy, wagon, farm machinery, or any combination thereof.

51.02 JUNK, JUNK VEHICLES AND REFUSE PROHIBITED. It is unlawful for any person to store, accumulate, or allow to remain on any private property within the corporate limits of the City any junk, junk vehicle or refuse.

51.03 JUNK, JUNK VEHICLES AND REFUSE A NUISANCE. It is hereby declared that any junk, junk vehicle or refuse located upon private property, unless excepted by Section 51.04, constitutes a threat to the health and safety of the citizens and is a nuisance within the meaning of Section 657.1 of the Code of Iowa. If any junk, junk vehicle or refuse is kept upon private property in violation hereof, the owner of or person occupying the property upon which it is located shall be prima facie liable for said violation.

51.04 EXCEPTIONS. The provisions of this chapter do not apply to any junk, junk vehicles or refuse stored within a garage or other enclosed structure or to any junk or junk stored within an auto salvage yard or junk yard lawfully operated within the city.

Mr. Leedom's Notice also noted that the location of the motor vehicle in the yard is not in compliance with the following provision of the City's Zoning Code:

165.42 OFF-STREET PARKING AND LOADING AREAS. It is the intent of this section to prevent traffic congestion and to provide for proper traffic safety by preserving the public thoroughfares for the unimpaired movement of pedestrian and vehicular traffic. The requirements of this section are minimum and in the certain uses of land, these requirements may be inadequate. Where review of the site plans and intended land use indicate through the application of proven standards or experienced statistics that the requirements herein are inadequate for the specific land use adaptation, a greater requirement for off-street parking space is justified and may be required to preserve the intent of this section.

5. Surfacing Requirements. All off-street parking and loading areas and access roadways shall be paved with asphaltic or Portland cement concrete pavement. Offstreet parking, except in the "C-1" Traditional Central Business District, of automobiles, vans, campers, trucks, trailers, tractors, recreational vehicles, boats, construction equipment, and any other motor vehicle equipped for street and highway travel shall be on an asphaltic or Portland cement concrete paved parking area that extends the entire length of the vehicle. Driveways for individual single-family detached or attached townhouse style residences on private property shall be asphaltic concrete or Portland cement concrete, and shall connect to the public (or private) street. The Council may waive or modify to a lesser requirement any provision or requirement contained in this subsection with respect to any new subdivision platted in an "E" District, after review by the Planning and Zoning Commission and provided such change adequately safeguards the general public and the surrounding property.

Mr. Leedom's letter also stated:

The purpose of this letter is just to make you aware that the above is a violation and to let you know that in order to avoid further action, the City requires that the identified violation be corrected within fourteen (14) days from the date of this notice, or submit to the Code Enforcement Officer in writing a schedule for compliance to be reviewed. The city appreciates property owners may not be aware there is a problem prior to receiving this notification and is confident that once you are aware, the issue can be addressed.

On January 20, 2022, Shayleen Hickle requested a hearing before the City Council, which convened after the Council convened at 7 o'clock p.m. on Tuesday, February 8, 2022, in the Council Chambers in Memorial Hall in Dallas Center, Iowa. Council Members Beaudet, Coon, Kluss, Strutt, and Willrich were present. Mayor Beyer presided.

The Council is required to hold a hearing on a nuisance complaint under the provisions of Section 50.08 of the Code of Ordinances.

Mr. Leedom was present and stated his reasons for issuing the Notice to Abate Nuisance. He identified the unlicensed vehicles and described the photographs of the property he had taken, and which had been provided to the property owners and the Council.

Shayleen Hickle was present and stated that the status of the 1972 Gremlin was in storage, and that the 1969 Cutlass had been purchased on Ebay, but they were having difficulty obtaining the title to the vehicle. She indicated, they were making progress, and should be able to obtain a title.

FINDINGS OF FACT

The Council FINDS:

1. Chapter 51 of the Code of Ordinances provides that any junk vehicle upon private property (unless stored within a garage or other enclosed structure, or stored within an auto salvage yard or junk yard lawfully operated within the City) constitutes a threat to the health and safety of the citizens and is a nuisance within the meaning of Section 657.1 of the Code of Iowa; and a person occupying the property upon which it is located shall be prima facie liable for the violation.

2. Chapter 51 of the Code of Ordinances provides that it is unlawful for any person to store, accumulate or allow to

remain on any private property any junk vehicle. A junk vehicle is any vehicle that is not licensed for the current year or is not capable of being driven from its location under its own power without the addition of parts or repairs.

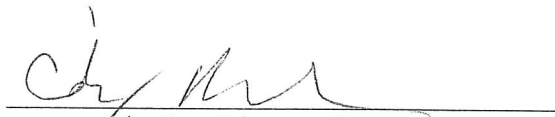
3. The two vehicles located in the yard at 1607 Laurel Street are unlicensed. If the 1972 Gremlin is to be classified as a vehicle in storage, it must be housed in a building under a roof.

ORDER BY THE COUNCIL

1. The unlicensed 1969 Cutlass on the property of Shayleen Hickle and Dakota Meadows at 1607 Laurel Street in Dallas Center does constitute a nuisance under Chapter 51 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended and must be licensed by April 8, 2022. It must be parked on an asphaltic or Portland cement concrete paved parking area that extends the entire length of the vehicle.

2. The unlicensed 1972 Gremlin has been classified as being in storage. As such, as promptly as possible, it must be moved from the yard and stored in a building under a roof.

BY ORDER OF THE COUNCIL OF THE CITY OF DALLAS CENTER, IOWA, this 8th day of February, 2022, on a vote of 5 in favor, 0 opposed, and 0 absent.


Cindy Riesselman
City Clerk

SEAL

ORDINANCE NO. 575

AN ORDINANCE AMENDING SECTION 149.06 OF THE CODE OF ORDINANCES OF THE CITY OF DALLAS CENTER, IOWA, AS AMENDED, RELATING TO THE METHOD OF SENDING NOTICE OF ANY FAILURE TO MAINTAIN GRASS LAWNS

BE IT ENACTED by the City Council of the City of Dallas Center, Iowa, that:

SECTION 1. Section 149.06 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, is hereby amended to read as follows:

149.06 FAILURE TO MAINTAIN GRASS LAWNS. If the owner does not perform an action required under this chapter or if an owner does not otherwise comply with this chapter, the Clerk, upon his or her own action or upon the request of the Director or any other City officer, shall by a United States Postal Service mailing that provides the sender with tracking and delivery information send a notice to the owner describing the violation, stating the act or acts necessary to comply with this chapter, stating the time in which compliance is required, and stating that if the required actions are not satisfactorily completed by the owner, the City will take the required actions and assess the costs against the owner and/or the property. In the event the required actions are not undertaken or satisfactorily completed by the owner as required and by the time specified in the Clerk's notice, the City may abate such violation by one or more of the following means:

1. By undertaking such abatement and assessing the costs therefor against the property for collection in the same manner as a property tax;
2. By issuance of a citation charging the owner with a municipal infraction.

Before the assessment of any charges for work done or caused to be done by the City, the owner and/or the owner of legal title to the property proposed to be assessed shall be given notice and opportunity for hearing before the Council. The notice shall set forth

the amount proposed to be assessed and shall include a statement of the time, date and place of hearing before the Council.

SECTION 2. Repealer. All ordinances or parts of ordinances in conflict with the provisions of this Ordinance are hereby repealed.

SECTION 3. Severability Clause. If any section, provision or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 4. When Effective. This Ordinance shall be in full force and effect from and after its passage and publication as provided by law.

Passed by the City Council on the 12th day of July, 2022, and approved the 12th day of July, 2022.

Daniel Beyer, Mayor

ATTEST:

Shellie Schaben, City Clerk

ORDINANCE NO. 576

**AN ORDINANCE AMENDING SECTION 91.09(6) OF THE
CODE OF ORDINANCES OF THE CITY OF DALLAS CENTER,
IOWA, AS AMENDED, TO INCREASE THE RE-CONNECT
FEE TO \$50 TO BE CONSISTENT WITH SECTION
92.05(4) OF THE CODE OF ORDINANCES**

BE IT ENACTED by the City Council of the City of Dallas Center, Iowa, that:

SECTION 1. The second paragraph of Section 91.06(6) of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, relating to irrigation meters, is hereby amended to read as follows:

The customer shall, at the customer's expense, arrange for the testing and provide a copy of written test and certification results to the City Clerk. In the event the customer does not provide the test and certification results by July 1 of each year, the City will disconnect water service to the customer's premises. The City will not restore service until the written test and certification results have been filed with the City and the customer has paid a \$50.00 re-connect fee to the City.

SECTION 2. Repealer. All ordinances or parts of ordinances in conflict with the provisions of this Ordinance are hereby repealed.

SECTION 3. Severability Clause. If any section, provision or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 4. When Effective. This Ordinance shall be in full force and effect from and after its passage and publication as provided by law.

Passed by the City Council on the 12th day of July, 2022, and approved the 12th day of July, 2022.

Daniel Beyer, Mayor

ATTEST:

Shellie Schaben, City Clerk