

NOTICE OF A PUBLIC MEETING
Dallas Center City Council
Tentative Agenda
August 24, 2023 – 6:00 pm – Memorial Hall
1502 Walnut Street, Dallas Center

The Council meeting will be held in person in Memorial Hall. The meeting also may be accessed by the public electronically by Zoom at the following Internet link: <https://us02web.zoom.us/j/81951283965>

If a Zoom user has the Zoom app, just enter the meeting ID **819 5128 3965** and the passcode is 400885

Or a member of the public may connect to the meeting by telephone using any of the following numbers (the Meeting ID is **819 5128 3965**, the passcode is **400885**: Dial by your time zone below:

312 626 6799 (CST) 646 558 8656 (EST) 719 359 4580 (MST) 669 900 9128 US (PST)

Depending on the caller's long-distance calling plan, long distance charges may apply.

1. Roll call
2. Action to approve agenda
3. Public Comments [Anyone wanting to address the Council should raise your hand and the Mayor will acknowledge you. Please stand, state your name, address, and topic. You will have two minutes to address the Mayor and Council]
4. Planning and Zoning Commission
 - a. Report – Matt Ostanik
 - b. Action on Resolution 2023-53 – approving the Site Plan for the proposed Casey's Store at the southwest corner of Sugar Grove Avenue and Fair View Drive
 - c. Action on Resolution 2023-54 – approving the Architectural Plan for the proposed Casey's Store at the southwest corner of Sugar Grove Avenue and Fair View Drive
 - d. Request that Casey's provide the City information on its plans for the closing and remediation of the existing Casey's Store at 1202 Sugar Grove Avenue
5. Action on Resolution 2023-55 – approving Tenth Amendment to Two-Mile Agreement with Xenia Rural Water District to allow Xenia to provide service to CS Trucking, LLC at 23090 Raccoon Road
6. Action to approve payment of the following invoices (review committee Coon & Kluss):

a. Navarro, James – final payment for Pocket Park Mural –	\$3,687.50
b. Anderson, Hailee – lifeguard recertification reimbursement –	\$ 90.00
c. Chiochon, Jackson – swimsuit reimbursement –	\$ 251.16
d. Davidson, Stella – swimsuit and lifeguard certificate reimbursement –	\$ 350.00
e. Dirks, McKenna – swimsuit reimbursement –	\$ 59.91
f. Little, Hannah – swimsuit and lifeguard certificate reimbursement –	\$ 350.00
g. Little, Haydn – swimsuit and lifeguard certificate reimbursement –	\$ 294.95
h. Luebke, Nicole – swimsuit and lifeguard certificate reimbursement –	\$ 350.00
i. Miller, Jake – refund for rained out pool party –	\$ 100.00
j. Annual NPDES Permit fee –	\$ 1,275.00
7. Adjournment

Shellie Schaben, City Clerk

P&Z Report – August 22, 2023

The Honorable Danny Beyer
and Members of the City Council
Dallas Center, IA 50063

Dear Mr. Mayor and Members of the Council:

The Dallas Center Planning & Zoning Commission met Tuesday, August 22, 2023 at 6:30 P.M. at Memorial Hall. Commission members Abby Anderson, Perry Gruver, Linda Licht, Jim Pohl and Matt Ostanik were present. Amanda Davison and Thomas Strutt were absent. City Attorney Ralph Brown and City Engineer Bob Veenstra also were present and participated.

Public Communications

Julie Becker stated that she would prefer public communications be later in the meeting.

New Casey's

The Commission reviewed and discussed proposed site and architectural plans for a new Casey's at the corner of Highway 44 and Fairview. The discussion included the following topics:

- Parking requirements for gas stations and convenience stores
- Sidewalks – the current site plan is missing sidewalks
- Landscaping plan – the current submission is missing landscaping
- Lighting plan – the current submission is missing a lighting plan
- Future plans for the adjacent lot to the west
- The location of the Highway 44 driveway cannot be moved any further to the east because of DOT requirements for separation from the Fairview intersection
- Future plans for the old Casey's
- Whether the new facility can include solar power – Erin Ollendike with CDA, representing Casey's, said no

After discussion, Matt Ostanik moved to recommend that City Council approve the site and architectural plans with the following provisions:

1. The spaces next to the gas pumps be counted towards the parking requirements which makes the site plan compliant with our current parking ordinance
2. Sidewalks be provided along both roads, subject to review and approval of the City Engineer, and the sidewalk along Highway 44 be extended to meet the shared driveway entrance

3. A landscaping plan be provided and approved by the City Engineer
4. A lighting plan be provided and approved by the City Engineer
5. The City requests that Casey's provides a timeline for when the old Casey's will be remediated and made available for other commercial use following the opening of the new Casey's

The motion was seconded by Perry Gruver. Ayes – Anderson, Gruver, Licht, Pohl, Ostanik.
Nays – none. The motion passed 5-0.

Housing Development Update

The City Engineer provided a brief update about plans for the future sewer lift station and Skye View Estates potentially beginning construction next year. He said that he expects Skye View Estates to come back to P&Z with a revised preliminary plat proposal.

Respectfully submitted,
Matt Ostanik
P&Z Commission Chair

SITE PLAN FOR: CASEY'S STORE #4335

DALLAS CENTER, IOWA

INDEX OF SHEETS

NO.	DESCRIPTION
C-001	COVER SHEET
C-002	QUANTITIES & GENERAL NOTES
C-003	ALTA / NDPS LAND TITLE SURVEY
C-100	TOPOGRAPHIC SURVEY & DEMOLITION PLAN
C-101	DIMENSION PLAN
C-201	GRAVING PLAN
C-301	UTILITY PLAN
C-401	EROSION & SEDIMENT CONTROL PLAN
C-501 - C-604	DETAILS
C-701	LANDSCAPE PLAN

GENERAL LEGEND

PROPOSED	EXISTING
PROPERTY BOUNDARY	SANITARY MANHOLE
SECTION LINE	WATER VALVE BOX
CENTER LINE	FIRE HYDRANT
RIGHT OF WAY	WATER CURB STOP
BUILDING SETBACK	WELL
PERMANENT EASIMENT	STORM SEWER MANHOLE
TEMPORARY EASIMENT	STORM SEWER SINGLE INTAKE
TYPE SW-507 STORM INTAKE	STORM SEWER DOUBLE INTAKE
TYPE SW-503 STORM INTAKE	FLARED END SECTION
TYPE SW-505 STORM INTAKE	DECIDUOUS TREE
TYPE SW-508 STORM INTAKE	DECIDUOUS SHRUB
TYPE SW-512 STORM INTAKE	CONIFEROUS SHRUB
TYPE SW-513 STORM INTAKE	ELECTRIC TOWER "OLL"
TYPE SW-401 STORM MANHOLE	OUT ANCHOR
TYPE SW-402 STORM MANHOLE	POWER POLE W/ TRANSDUCER*
FLARED END SECTION	UTILITY POLE W/ LIGHT
STORM/SANITARY CLEANOUT	ELECTRIC BOX
WATER VALVE	ELECTRIC TRANSFORMER
FIRE HYDRANT ASSEMBLY	ELECTRIC MANHOLE OR VAULT
DETECTABLE WARNING PANEL	TRAFFIC SIGN
SANITARY SEWER	TELEPHONE JUNCTION BOX
STORM SEWER	TELEPHONE MANHOLE/VAULT
WATERMAIN WITH SIZE	TELEPHONE POLE
SANITARY SERVICE	GAS VALVE BOX
WATER SERVICE	CABLE T. JUNCTION BOX
SANITARY SEWER	CABLE T. MANHOLE/VAULT
WATER SERVICE	MAIL BOX
SANITARY SEWER	DECK MARK
WATER SERVICE	UNDERGROUND 1/2" CABLE
SANITARY SEWER	GAS MAIN
WATER SERVICE	FIBER OPTIC
SANITARY SEWER	UNDERGROUND 2" FIBER
WATER SERVICE	OVERHEAD ELECTRIC
SANITARY SEWER	UNDERGROUND ELECTRIC
WATER SERVICE	FIELD TILE
SANITARY SEWER	SANITARY SEWER W. SIZE
WATER SERVICE	STORM SEWER W. SIZE
SANITARY SEWER	WATER MAIN W. SIZE
WATER SERVICE	

LEGAL DESCRIPTION

LOT 2 IN PROJECT PLAT 1, AN ORIGINAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF DALLAS CENTER, DALLAS COUNTY, IOWA.

ZONING

C-2, HIGHWAY/AUTO-ORIENTED DISTRICT

PROJECT SITE ADDRESS

1.45 ACRES (63,284 SF)

EXISTING/PROPOSED USE

EXISTING USE: CONVENIENCE STORE
PROPOSED USE: CONVENIENCE STORE

DEVELOPMENT SUMMARY

USE: HIGHWAY / AUTO-ORIENTED DISTRICT
AREA: 1.45 ACRES (63,284 SF)

SETBACKS:

BUILDING YARD - 45 FEET
FRONT YARD - 25 FEET
SIDE YARD - 10 FEET, EXCEPT THAT IS ADJACENT TO AN "R" DISTRICT, THEN IT SHALL BE 25 FEET.
REAR YARD - 10 FEET, EXCEPT THAT IS ADJACENT TO AN "R" DISTRICT, THEN IT SHALL BE 25 FEET.

CALCULATED:

FRONT YARD - 45 FEET
REAR YARD - 10 FEET, EXCEPT THAT IS ADJACENT TO AN "R" DISTRICT, THEN IT SHALL BE 25 FEET.

MINIMUM LOT AREA:

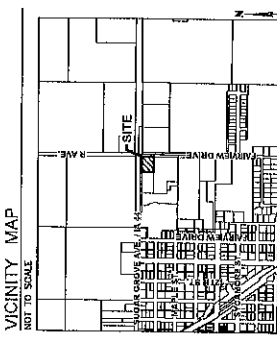
6,500 SQUARE FEET

MAXIMUM HEIGHT:

45 FEET

DEVELOPMENT REQUIREMENTS:

CONVENIENCE STORE: 27'-4" (TOP OF PARAPET)
GAS CANOPY: 22'-3"



VICINITY MAP

NOT TO SCALE

OWNER

44 INVESTMENTS, LLC AN IOWA LIMITED LIABILITY COMPANY
1421 NW URBANDALE DRIVE, URBANDALE, IA 50322

APPLICANT

CASEY'S SERVICES COMPANY
3305 SE DELAWARE AVENUE
DES MOINES, IA 50315
CONTACT: SARA PHILLIPS
PH: (515) 391-8106

ENGINEER

CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
CONTACT: ERIN SULENARKE
EMAIL: ERIN@CDA-ENG.COM
PH: (515) 388-4400

SURVEYOR

4121 NW URBANDALE DRIVE, LLC
4121 NW URBANDALE DRIVE, LLC
URBANDALE, IA 50322
CONTACT: CHARLENE@CDA-ENG.COM
PH: (515) 388-4400

DATE OF SURVEY

NOVEMBER 15, 2022

BENCHMARKS

SET B.M. TOP OF BOLT ON HYDRANT IN THE SE QUADRANT OF HWY 44 AT FARMWAY DR
ELEVATION=1060.67
CHECK B.M. DALLAS CO. GPS 6138
ELEVATION=1046.59

CONSTRUCTION SCHEDULE

ANTICIPATED START DATE = SUMMER 2023
ANTICIPATED FINISH DATE = FALL 2023

SUBMITTAL DATES

FIRST SUBMITTAL: 07/13/2023

UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR HAS NOT BEEN ADVISED OF ANY UTILITIES THAT WOULD COMPRISE ALL THE UTILITIES IN THE AREA. OTHER UTILITIES NOT SHOWN ARE THE RESPONSIBILITY OF THE SURVEYOR. UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.

IMPERVIOUS SURFACE AREA

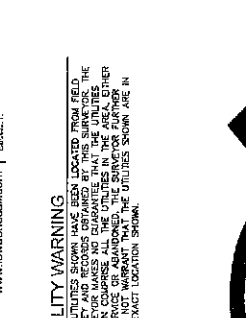
33,988 SF (50%-SITE)

PARKING REQUIREMENTS

RETAIL STORES, SUPER MARKETS, BRIC AND SUNDRY STORES, DEPARTMENT STORES, ETC:
ONE PARKING SPACE FOR EVERY 175 SQUARE FEET OF GROSS FLOOR AREA FOR STORES AND SHOPS UNDER 500 SQUARE FEET OF GROSS FLOOR AREA, AND ONE SPACE FOR EVERY 100 SQUARE FEET OF GROSS FLOOR AREA FOR STORES UNDER 500 SQUARE FEET OF GROSS FLOOR AREA.
GROSS FLOOR AREA = 4,570 SF
PARKING REQUIRED = 27 SPACES
PARKING PROVIDED = 18 SPACES
ADA PARKING SPACE REQUIRED: (1-20) = 1 SPACE
ADA PARKING PROVIDED = 1 SPACE

IOWA ONE CALL


1-800-292-8989
www.iowacall.com



CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE, URBANDALE, IA 50322
PH: (515) 388-4400
PROJECT NO. 2211.758

THE PROJECT REQUIRES AN IOWA INSPECTION POINT #2 AND CITY OF DALLAS INSPECTION POINT #1. THE PROJECT REQUIRES A PERMIT FROM THE CITY OF DALLAS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE PROJECT. THE PROJECT REQUIRES A PERMIT FROM THE CITY OF DALLAS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE PROJECT. THE PROJECT REQUIRES A PERMIT FROM THE CITY OF DALLAS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE PROJECT.

ALL CONSTRUCTION MATERIALS, DIMENSIONS, DETACHED TOOLS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC ROW. THE 2023 EDITION OF THE SDMS STANDARD SPECIFICATIONS, THE PUBLIC WORKS STANDARD SPECIFICATIONS (PWS) AND ALL CITY ORDINANCES SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.



CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE, URBANDALE, IA 50322
PH: (515) 388-4400
PROJECT NO. 2211.758

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ALTA/NSPS LAND TITLE SURVEY

FLOOD ZONE CLASSIFICATION
SUBJECT PROPERTY IS LOCATED IN UNSHADED ZONE
OF CARAS DETERMINED AND SHOWN ON THE
ANNUAL CHANGE PLAN AS SHOWN ON THE
DALLAS CENTER DALLAS COUNTY GMA 2021
NUMBER TRANSMISSIONS WITH A REVISION DATE OF
DECEMBER 01, 2016.

WETLANDS:
NO WETLANDS WERE DEMONSTRATED AT THE TIME OF
SURVEY.

SITE ADDRESS
VACANT

OWNER / REQUESTED BY
44 INVESTMENTS, LLC AN IOWA LIMITED LIABILITY COMPANY
425 S 1520 ST
URBANDALE, IA 50033

ENGINEER/SURVEYOR
CIVIL DESIGN ADVANTAGE
URBANDALE, IA 50032

PROPERTY DESCRIPTION
LOT 2 IN PIONEER PLAT, AN OFFICIAL PLAT, NOW
DALLAS CENTER DALLAS COUNTY, IOWA

DATE OF SURVEY
NOVEMBER 23, 2022

ZONING
C-2 HIGHWAY/AUTO-ORIENTED DISTRICT

BULK REGULATIONS
PROFIT YARD SETBACK: 45'
ADJOINING ANY "X" DISTRICT: 10'
ADJOINING ANY "Y" DISTRICT: 25'
ADJOINING ANY "Z" DISTRICT: 25'

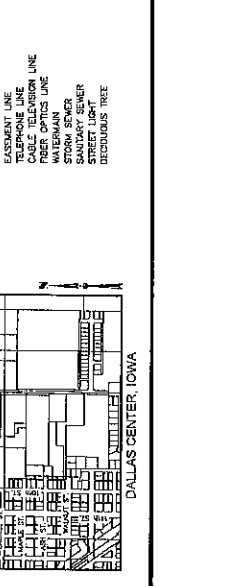
AREA OF PROPERTY
3.44 ACRES (148,833 SQUARE FEET)

UTILITY WARNING
ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM
SURVEY DATA. THE SURVEYOR MAKES NO GUARANTEE THAT THE
LOCATION OR DEPTH OF ANY UTILITIES SHOWN IS ACCURATE.
THE USER OF THIS SURVEY SHOULD VERIFY THE LOCATION AND
DEPTH OF ANY UTILITIES EITHER BY SURVEY OR BY OTHER
MEANS.

NOTES
NO UTILITIES WERE OBSERVED AT CURRENT BUILDING
FOOTPRINT. NO RECORDING OF UTILITIES OR BUILDING
MOVING, BUILDING CONSTRUCTION, OR BUILDING
ADDITION.
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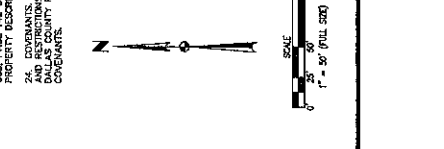
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MOVING, BUILDING CONSTRUCTION, OR BUILDING
ADDITION.



FOUND	SET
SECTION CORNER (AS NOTED)	SECTION CORNER (AS NOTED)
SECTION BEARING & DISTANCE	SECTION BEARING & DISTANCE
DEEDED BEARING & DISTANCE	DEEDED BEARING & DISTANCE
MINIMUM PROTECTION ELEVATION	MINIMUM PROTECTION ELEVATION
UTILITY EASEMENT	UTILITY EASEMENT
SECTION LINE	SECTION LINE
EASEMENT LINE	EASEMENT LINE
CELESTIAL LINE	CELESTIAL LINE
FIBER OPTICS LINE	FIBER OPTICS LINE
WATER MAIN	WATER MAIN
SEWER	SEWER
ELECTRIC TRANSFORMER	ELECTRIC TRANSFORMER
STREET LIGHT	STREET LIGHT
DECIDUOUS TREE	DECIDUOUS TREE

FOUND	SET
WOOD FENCE	WOOD FENCE
ELECTRIC LINE	ELECTRIC LINE
OVERHEAD ELECTRIC LINE	OVERHEAD ELECTRIC LINE
MONITORING WELLS	MONITORING WELLS
PLUMBED END SECTION	PLUMBED END SECTION
TRAFFIC SIGNAL CONTROL	TRAFFIC SIGNAL CONTROL
CLEANOUT	CLEANOUT
GAS APPARATUS	GAS APPARATUS
AIR CONDITIONER	AIR CONDITIONER
WATER VALVE	WATER VALVE
FIRE HYDRANT	FIRE HYDRANT
ELECTRIC TRANSFORMER	ELECTRIC TRANSFORMER
STREET LIGHT	STREET LIGHT
MAIL BOX	MAIL BOX
SKIN	SKIN



SCHEDULE B - SECTION II

THE TITLE OPINION PREPARED BY MATTHEW S. FERRY LAW, AN IOWA LIMITED LIABILITY COMPANY, NUMBER OF 286022 AND AN EFFECTIVE DATE OF MARCH 31, 2023 WAS USED TO PREPARE THIS SURVEY.

- 1. PLAT OF SURVEY, A PLAT OF SURVEY WAS FILED IN BOOK 8, PAGE 124 OF THE DALLAS COUNTY RECORDS. - SUBJECT PROPERTY IS NOT LOCATED WITHIN THE PROPERTY DESCRIBED IN SAID SURVEY.
- 2. PLAT OF SURVEY, A PLAT OF SURVEY WAS FILED IN BOOK 14, PAGE 188 OF THE DALLAS COUNTY RECORDS. - SUBJECT PROPERTY IS NOT LOCATED WITHIN THE PROPERTY DESCRIBED IN SAID SURVEY.
- 3. PLAT OF SURVEY, A PLAT OF SURVEY WAS FILED IN BOOK 15, PAGE 273 OF THE DALLAS COUNTY RECORDS. - SUBJECT PROPERTY IS NOT LOCATED WITHIN THE PROPERTY DESCRIBED IN SAID SURVEY.
- 4. PLAT OF SURVEY, A PLAT OF SURVEY WAS FILED IN BOOK 18, PAGE 197 OF THE DALLAS COUNTY RECORDS. - SUBJECT PROPERTY IS NOT LOCATED WITHIN THE PROPERTY DESCRIBED IN SAID SURVEY.
- 5. PLAT OF SURVEY, A PLAT OF SURVEY WAS FILED IN BOOK 18, PAGE 273 OF THE DALLAS COUNTY RECORDS. - SUBJECT PROPERTY IS NOT LOCATED WITHIN THE PROPERTY DESCRIBED IN SAID SURVEY.
- 6. PLAT OF SURVEY, A PLAT OF SURVEY WAS FILED IN BOOK 202, PAGE 198 OF THE DALLAS COUNTY RECORDS. - SUBJECT PROPERTY IS NOT LOCATED WITHIN THE PROPERTY DESCRIBED IN SAID SURVEY.
- 7. PLAT OF SURVEY, A PLAT OF SURVEY WAS FILED IN BOOK 204, PAGE 874 OF THE DALLAS COUNTY RECORDS. - SUBJECT PROPERTY IS NOT LOCATED WITHIN THE PROPERTY DESCRIBED IN SAID SURVEY.
- 8. PLAT OF SURVEY, A PLAT OF SURVEY WAS FILED IN BOOK 201, PAGE 1389 OF THE DALLAS COUNTY RECORDS. - SUBJECT PROPERTY IS NOT LOCATED WITHIN THE PROPERTY DESCRIBED IN SAID SURVEY BEING KNOWN AS LOT 2.
- 9. ANNEXATION, ENTRY NO. 74, SHOWS AN ANNEXATION TO CITY OF DALLAS CENTER, FILED OCTOBER 26, 1986, IN BOOK 268, PAGE 17 OF THE DALLAS COUNTY RECORDS. - SUBJECT PROPERTY IS NOT LOCATED WITHIN THE PROPERTY DESCRIBED IN SAID ANNEXATION DOCUMENT.
- 10. ANNEXATION, ENTRY NO. 75, SHOWS AN ANNEXATION TO CITY OF DALLAS CENTER, FILED OCTOBER 26, 1986, IN BOOK 268, PAGE 18 OF THE DALLAS COUNTY RECORDS. - SUBJECT PROPERTY IS NOT LOCATED WITHIN THE PROPERTY DESCRIBED IN SAID ANNEXATION DOCUMENT.
- 11. CONTROLLED ACCESS, ENTRY NO. 73, SHOWS A CONTROLLED ACCESS TO THE PUBLIC, FILED OCTOBER 26, 1986, IN BOOK 444, PAGE 533 OF THE DALLAS COUNTY RECORDS. - DOCUMENT NOT PROVIDED. PROVIDED ABSTRACT ENTRY STATES RECORDED DOCUMENT RESTRICTS ACCESS FROM HIGHWAY 44 TO THE SUBJECT PROPERTY.
- 12. EASEMENT, ENTRY NO. 2, SHOWS AN EASEMENT TO IOWA POWER AND LIGHT COMPANY, FILED FEBRUARY 23, 1967, IN BOOK 431, PAGE 79 OF THE DALLAS COUNTY RECORDS. - EASEMENT NOT LOCATED ON SUBJECT PROPERTY.
- 13. EASEMENT, ENTRY NO. 16, SHOWS AN EASEMENT FOR PUBLIC HIGHWAY TO STATE OF IOWA, FILED JUNE 24, 1960, IN BOOK 580, PAGE 17 OF THE DALLAS COUNTY RECORDS. - EASEMENT NOT LOCATED ON SUBJECT PROPERTY.
- 14. EASEMENT, ENTRY NO. 16, SHOWS AN EASEMENT FOR PUBLIC HIGHWAY TO STATE OF IOWA, FILED JUNE 24, 1960, IN BOOK 580, PAGE 17 OF THE DALLAS COUNTY RECORDS. - EASEMENT NOT LOCATED ON SUBJECT PROPERTY.
- 15. EASEMENT, ENTRY NO. 16, SHOWS AN EASEMENT FOR PUBLIC HIGHWAY TO STATE OF IOWA, FILED JUNE 24, 1960, IN BOOK 580, PAGE 17 OF THE DALLAS COUNTY RECORDS. - EASEMENT NOT LOCATED ON SUBJECT PROPERTY.
- 16. EASEMENT, ENTRY NO. 30, SHOWS A SEWER EASEMENT TO CITY OF DALLAS CENTER, IOWA, FILED JUNE 26, 1980, IN BOOK 580, PAGE 70 OF THE DALLAS COUNTY RECORDS. - EASEMENT NOT LOCATED ON SUBJECT PROPERTY.
- 17. EASEMENT, ENTRY NO. 25, SHOWS A WATER EASEMENT TO IOWA POWER AND LIGHT COMPANY, FILED FEBRUARY 23, 1967, IN BOOK 431, PAGE 79 OF THE DALLAS COUNTY RECORDS. - EASEMENT NOT LOCATED ON SUBJECT PROPERTY.
- 18. EASEMENT, ENTRY NO. 25, SHOWS A WATER EASEMENT TO IOWA POWER AND LIGHT COMPANY, FILED FEBRUARY 23, 1967, IN BOOK 431, PAGE 79 OF THE DALLAS COUNTY RECORDS. - EASEMENT NOT LOCATED ON SUBJECT PROPERTY.
- 19. EASEMENT, ENTRY NO. 25, SHOWS A WATER EASEMENT TO IOWA POWER AND LIGHT COMPANY, FILED FEBRUARY 23, 1967, IN BOOK 431, PAGE 79 OF THE DALLAS COUNTY RECORDS. - EASEMENT NOT LOCATED ON SUBJECT PROPERTY.
- 20. EASEMENT, ENTRY NO. 25, SHOWS A WATER EASEMENT TO IOWA POWER AND LIGHT COMPANY, FILED FEBRUARY 23, 1967, IN BOOK 431, PAGE 79 OF THE DALLAS COUNTY RECORDS. - EASEMENT NOT LOCATED ON SUBJECT PROPERTY.
- 21. ROAD EASEMENT, ENTRY NO. 47, SHOWS A PARTIAL ACQUISITION CONTRACT TO IOWA DEPARTMENT OF TRANSPORTATION, FILED JULY 23, 2007, IN BOOK 2007, PAGE 1567 OF THE DALLAS COUNTY RECORDS. - ROAD EASEMENT IS LOCATED NORTH OF AND ADJOINING THE SUBJECT PROPERTY.
- 22. ROAD EASEMENT, ENTRY NO. 60, SHOWS A ROADWAY DEED TO THE CITY OF DALLAS CENTER, IOWA, FILED NOVEMBER 27, 2020, IN BOOK 2008, PAGE 1228 OF THE DALLAS COUNTY RECORDS. - SAID ROAD EASEMENT IS SOUTH OF AN ADJOINING THE SUBJECT PROPERTY.
- 23. ZONING ORDINANCE, ENTRY NO. 24, SHOWS ZONING ORDINANCE NO. 19, FILED DECEMBER 8, 1988 IN BOOK 19, PAGE 19 OF THE DALLAS COUNTY RECORDS. - SUBJECT PROPERTY IS NOT LOCATED WITHIN THE PROPERTY DESCRIBED IN SAID ZONING ORDINANCE.
- 24. ORDINANCE, ENTRY NO. 2 OF THE FISCAL NOTES SHOWS A REGULATORY OF ORDINANCES, CONDITIONS AND RESTRICTIONS BY 44 INVESTMENTS, LLC, FILED MARCH 30, 2023, IN BOOK 2023, PAGE 3870 OF THE DALLAS COUNTY RECORDS. - SUBJECT PROPERTY IS LOCATED WITHIN THE PROPERTY DESCRIBED IN SAID ORDINANCE.

CERTIFICATION:

TO CASP'S MARKETING COMPANY, 44 INVESTMENTS, LLC, AN IOWA LIMITED LIABILITY COMPANY, NUMBER OF 286022 AND AN EFFECTIVE DATE OF MARCH 31, 2023 WAS USED TO PREPARE THIS SURVEY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAN, AND THE SURVEY ON WHICH IT IS BASED, WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD PRACTICES AND PROCEDURES FOR ALTA/NSPS SURVEYS. THIS SURVEY WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

MATTHEW S. FERRY, P.L.S.
IOWA LICENSE NUMBER: 19580
DATE: DECEMBER 3, 2024

FOR THE SURVEYOR:
MATTHEW S. FERRY, P.L.S.
DATE: DECEMBER 3, 2024

CIVIL DESIGN ADVANTAGE

4121 NW URBANDALE DRIVE
URBANDALE, IA 50032
PHONE (515) 399-4400

ALTA/NSPS LAND TITLE SURVEY
CASEYS - STORE #4335

C-003
27117/28

CASEYS - STORE #4335
 TOPOGRAPHIC SURVEY & DEMOLITION PLAN

CIVIL DESIGN ADVANTAGE
 P.L.L.C.
 6045 CENTER LOMA
 ENGINEER: EKO
 ENGINEER: GH

4121 NW URBANDALE DRIVE
 LURBANALE, LA 50222
 PHONE: (515) 398-4400



NOTES
 REFER TO SHEET C-002 FOR NOTES.

LEGEND
 (Symbol) CONCRETE FOUNDATION
 (Symbol) EXISTING CONCRETE
 (Symbol) SANDSTONE MANHOLE
 (Symbol) 18" RCP INLET
 (Symbol) 24" RCP INLET
 (Symbol) 30" RCP INLET
 (Symbol) 36" RCP INLET
 (Symbol) 42" RCP INLET
 (Symbol) 48" RCP INLET
 (Symbol) 54" RCP INLET
 (Symbol) 60" RCP INLET
 (Symbol) 66" RCP INLET
 (Symbol) 72" RCP INLET
 (Symbol) 78" RCP INLET
 (Symbol) 84" RCP INLET
 (Symbol) 90" RCP INLET
 (Symbol) 96" RCP INLET
 (Symbol) 102" RCP INLET
 (Symbol) 108" RCP INLET
 (Symbol) 114" RCP INLET
 (Symbol) 120" RCP INLET
 (Symbol) 126" RCP INLET
 (Symbol) 132" RCP INLET
 (Symbol) 138" RCP INLET
 (Symbol) 144" RCP INLET
 (Symbol) 150" RCP INLET
 (Symbol) 156" RCP INLET
 (Symbol) 162" RCP INLET
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 (Symbol) 366" RCP INLET
 (Symbol) 372" RCP INLET
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 (Symbol) 396" RCP INLET
 (Symbol) 402" RCP INLET
 (Symbol) 408" RCP INLET
 (Symbol) 414" RCP INLET
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 (Symbol) 1188" RCP INLET
 (Symbol) 1194" RCP INLET
 (Symbol) 1200" RCP INLET

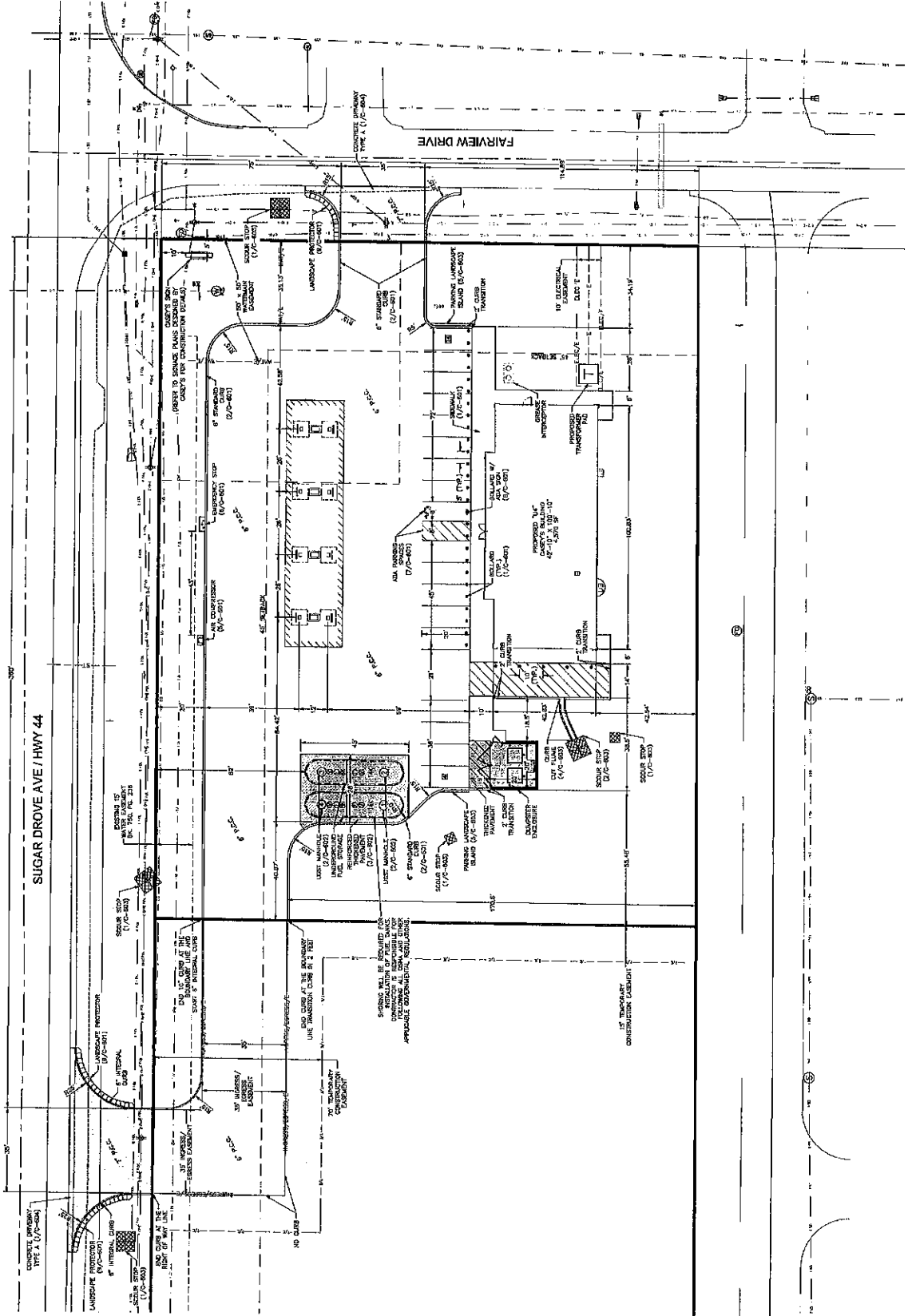


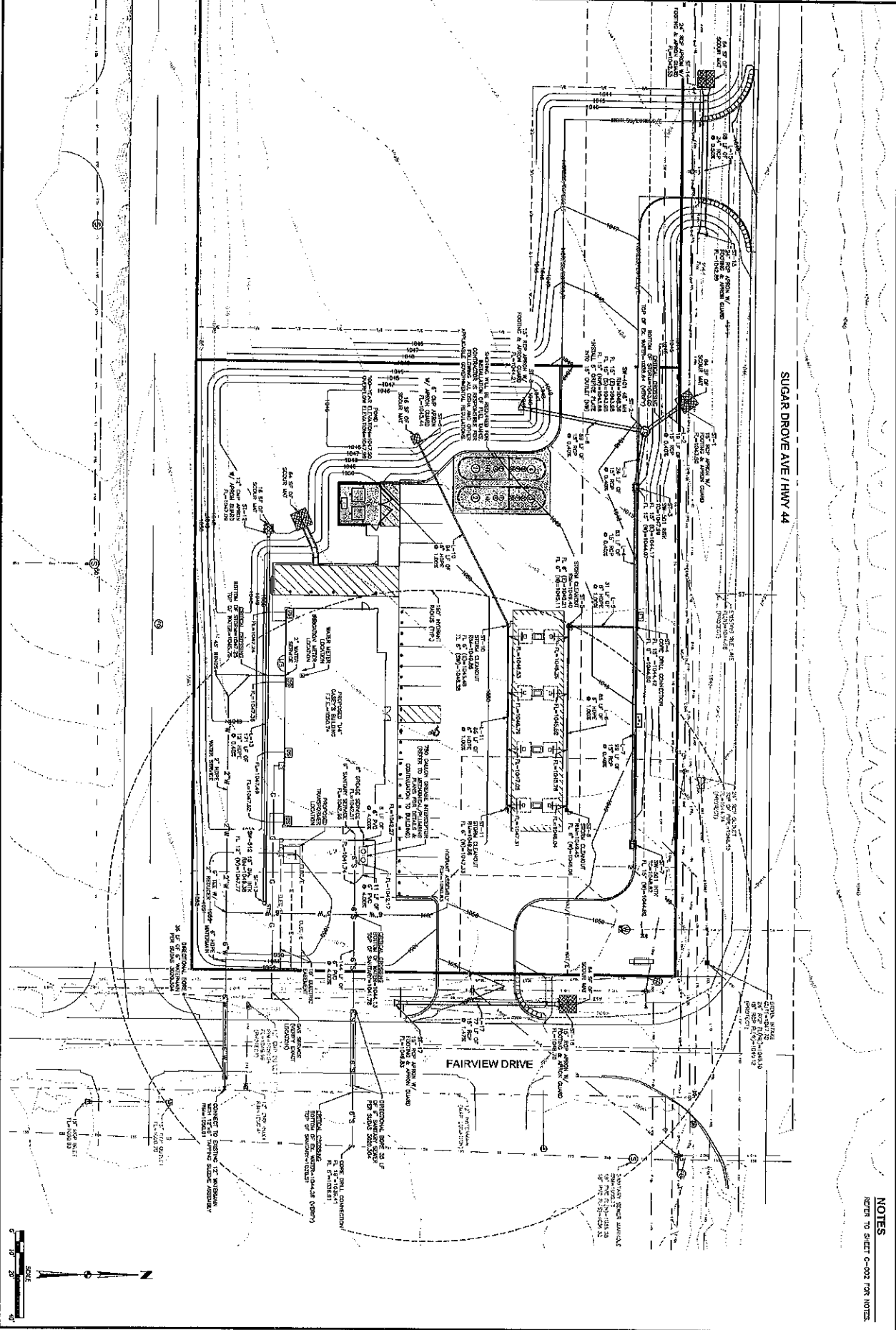
REMOVE EXISTING TREES
 EXISTING SANITARY SEWER MANHOLE
 18" RCP INLET
 (MAP LOCATION)

DATE

NOTES
 REFER TO SHEET C-002 FOR NOTES

- 6" P.C.C. PAVEMENT
- 7" P.C.C. PAVEMENT
- 6" P.C.C. THICK REINFORCED PAVEMENT

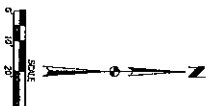




SUGAR DRIVE AVE / HWY 44

FAIRVIEW DRIVE

NOTES
 REFER TO SHEET C-002 FOR NOTES



C-301
 2311.756

CASEY'S - STORE #4335
 UTILITY PLAN



4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 368-4400

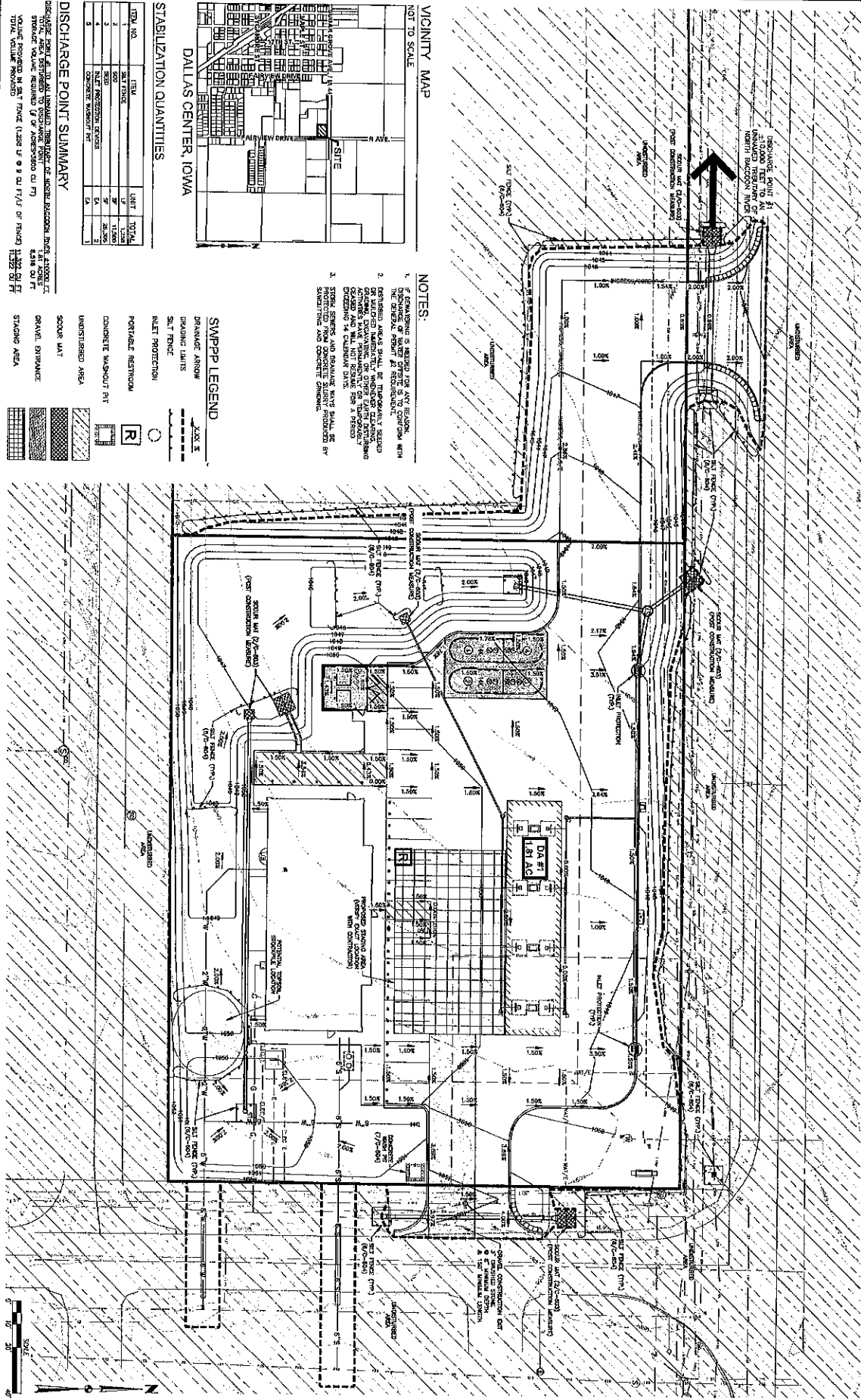
ENGINEER: EKO
 ENGINEER: GH

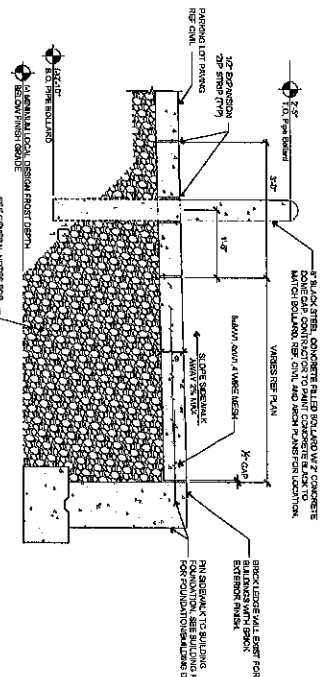
REVISIONS	DATE
FIRST SUBMITTAL	07/13/2023

DALLAS CENTER, IOWA

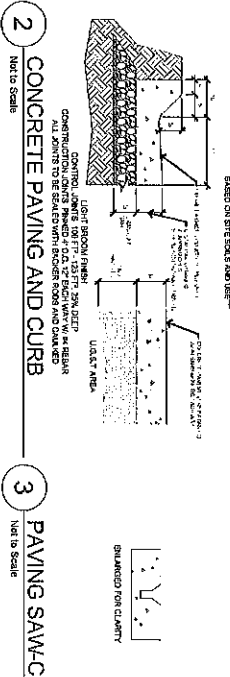
CASEY'S - STORE #4335

EROSION AND SEDIMENT CONTROL PLAN

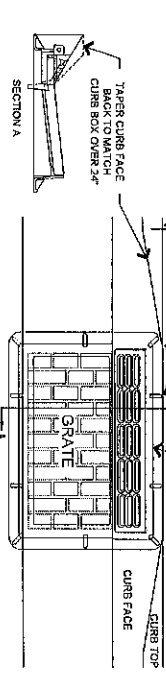




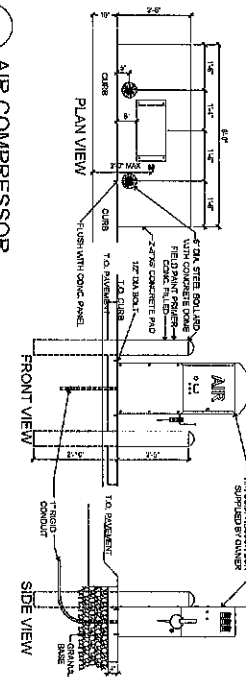
1 TYPICAL BUILDING SIDEWALK AND BOLLARD
3/4" = 1'-0"



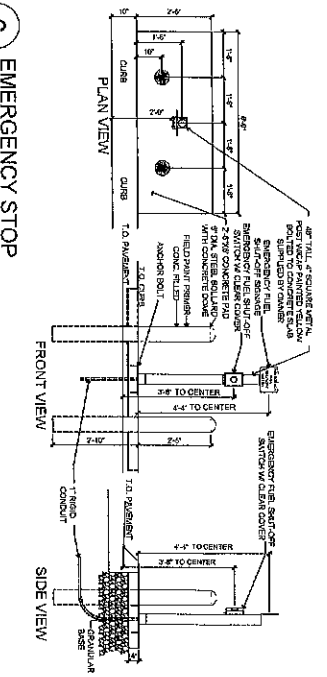
2 CONCRETE PAVING AND CURB
3/4" = 1'-0"



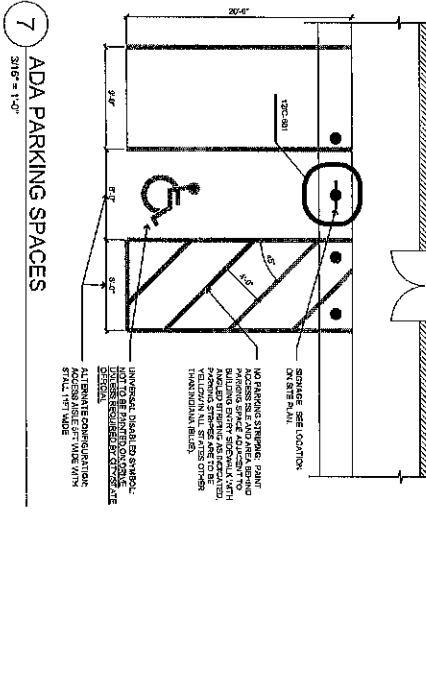
3 PAVING SAWCUT
1/2" = 1'-0"



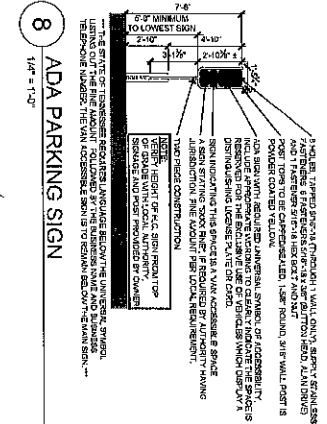
4 CURB INLET
1/2" = 1'-0"



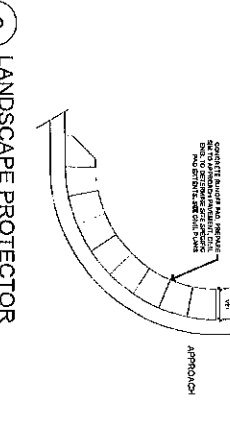
6 EMERGENCY STOP
1/2" = 1'-0"



7 ADA PARKING SPACES
3/16" = 1'-0"



8 ADA PARKING SIGN
1/4" = 1'-0"

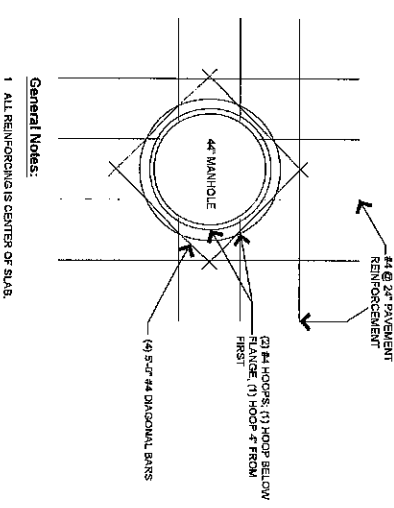


9 LANDSCAPE PROTECTOR
1/4" = 1'-0"

GENERAL NOTES

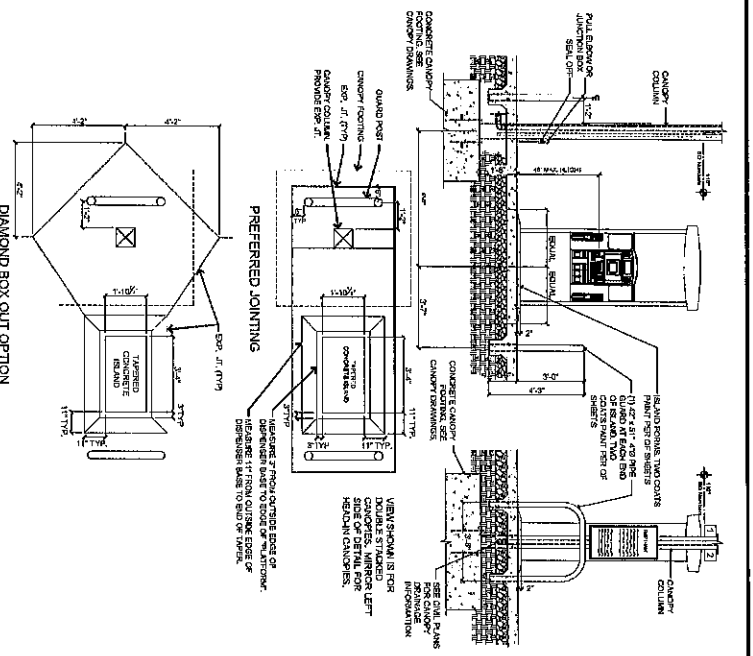
1. All concrete and reinforcing work shall conform to the latest edition of the American Concrete Institute's Standard Building Code Requirements for Reinforced Concrete, (ACI 318) and Specifications for Structural Concrete.
 2. Concrete shall be Type I cement. Concrete mix designs shall meet the following requirements:
MINIMUM YIELDING STRENGTH: 4,000 PSI
MINIMUM COMPRESSIVE STRENGTH: 4,000 PSI
MINIMUM SLUMP: 8 INCHES
 3. If contractor desires to furnish other than above, it shall be approved in writing by the Ready Mix Designer at a design rate provided by Ready Mix Designer. The Contractor shall notify any concrete that exceeds the slump limits noted above prior to placing.
 4. No aluminum shall be placed in concrete.
 5. All concrete is reinforced unless specifically noted as unreinforced. Reinforce all concrete not otherwise shown with the same reinforcing as in similar.
 6. During hot weather (80 degrees F and above), the Contractor shall comply with the recommendations of ACI 308 "Hot Weather Concrete". During cold weather (40 degrees and below), the Contractor shall comply with the recommendations of ACI 309 "Cold Weather Concrete".
 7. The concrete mix designs are to be submitted as a formal submission to the Owner for acceptance PRIOR to concrete being delivered to the site.
 8. Vary with local conditions the required thickness of poured concrete for applications and paving.
- Sub-Base And Aggregate:
1. Sub-base course under concrete: 6" Road Surface Sand and Gravel.
 2. Aggregate base: as follows or approved equal by Casey's.
 3. Building Slab: 3-1/2" to 4-1/2" thick, clean stone.
 4. Building Slab: 1-1/2" to 2-1/2" thick, clean stone.
 5. Building Slab: 1-1/2" to 2-1/2" thick, clean stone.
 6. Slab: 1-1/2" to 2-1/2" thick, clean stone.
 7. Slab: 1-1/2" to 2-1/2" thick, clean stone.
 8. Slab: 1-1/2" to 2-1/2" thick, clean stone.
 9. Slab: 1-1/2" to 2-1/2" thick, clean stone.
 10. Slab: 1-1/2" to 2-1/2" thick, clean stone.
 11. Slab: 1-1/2" to 2-1/2" thick, clean stone.
 12. Slab: 1-1/2" to 2-1/2" thick, clean stone.
 13. Slab: 1-1/2" to 2-1/2" thick, clean stone.
 14. Slab: 1-1/2" to 2-1/2" thick, clean stone.
 15. Slab: 1-1/2" to 2-1/2" thick, clean stone.
 16. Slab: 1-1/2" to 2-1/2" thick, clean stone.
 17. Slab: 1-1/2" to 2-1/2" thick, clean stone.
 18. Slab: 1-1/2" to 2-1/2" thick, clean stone.
 19. Slab: 1-1/2" to 2-1/2" thick, clean stone.
 20. Slab: 1-1/2" to 2-1/2" thick, clean stone.
 21. Slab: 1-1/2" to 2-1/2" thick, clean stone.
 22. Slab: 1-1/2" to 2-1/2" thick, clean stone.
 23. Slab: 1-1/2" to 2-1/2" thick, clean stone.
 24. Slab: 1-1/2" to 2-1/2" thick, clean stone.
 25. Slab: 1-1/2" to 2-1/2" thick, clean stone.

2
 UGST Manhole Detail
 1/2" = 1'-0"

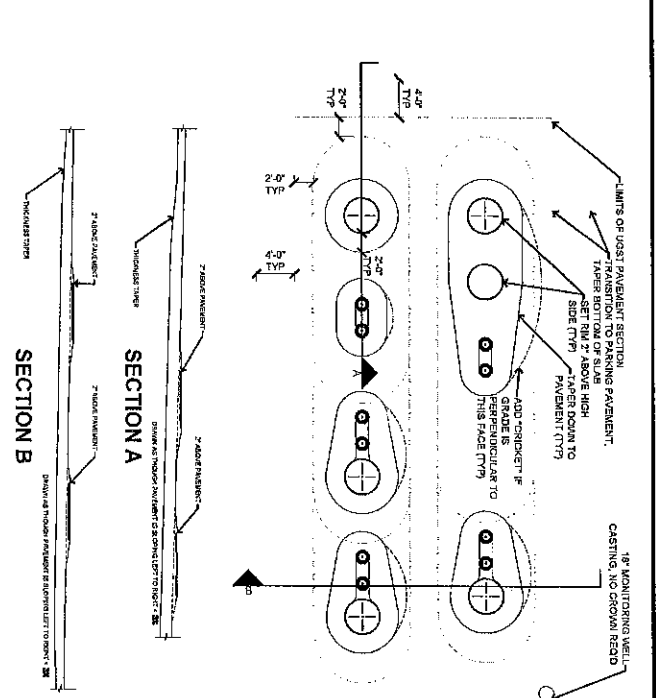


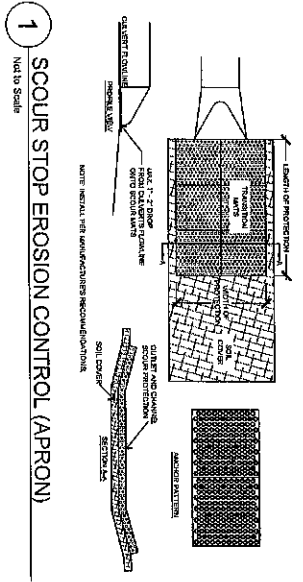
General Notes:
 1. ALL REINFORCING IS CENTER OF SLAB.

1
 GAS TAPERED FUEL ISLAND (PREFERRED OPTION)
 NOT TO SCALE

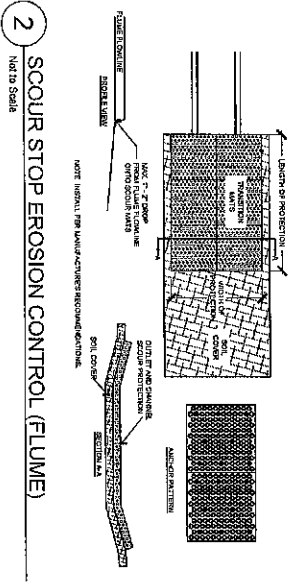


3
 UGST PAVING FOR PAVEMENT SLOPE < 3%
 NOT TO SCALE

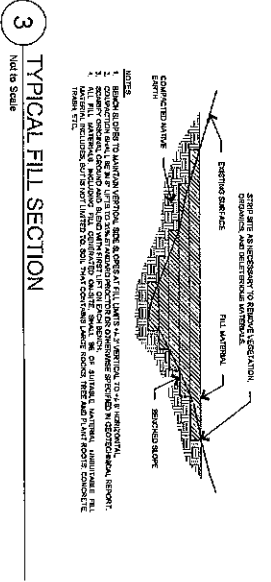




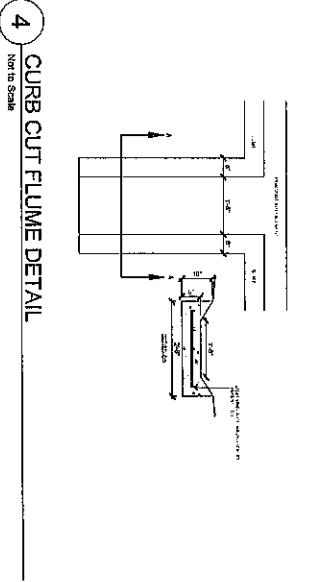
1 SCOUR STOP EROSION CONTROL (APRON)
 NOT TO SCALE



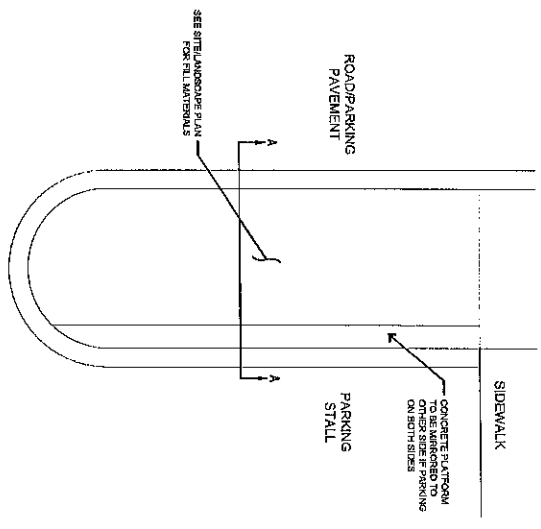
2 SCOUR STOP EROSION CONTROL (FLUME)
 NOT TO SCALE



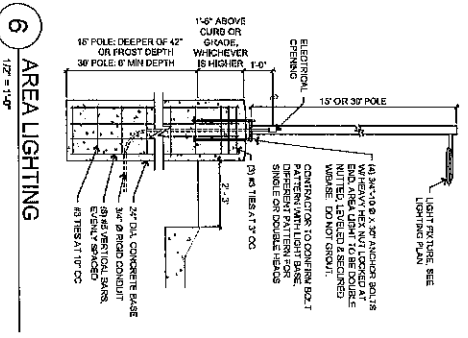
3 TYPICAL FILL SECTION
 NOT TO SCALE



4 CURB CUT FLUME DETAIL
 NOT TO SCALE

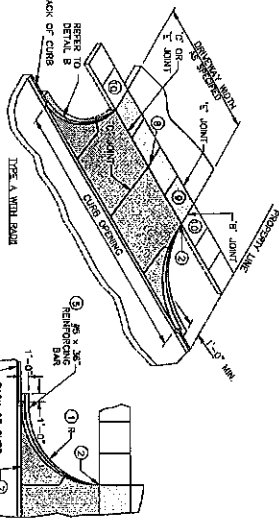


5 PARKING LANDSCAPE ISLAND DETAIL
 3/8" = 1'-0"

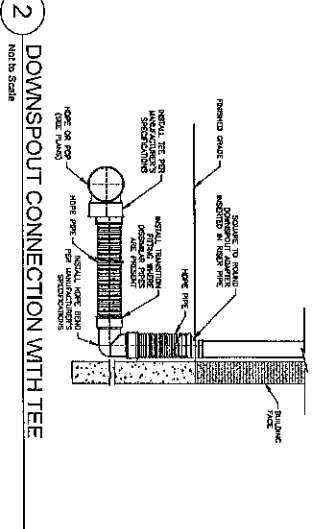


6 AREA LIGHTING
 1/2" = 1'-0"

1. PROVIDE 1" JOINT AT BACK OF CURB UNLESS 3" JOINT IS SPECIFIED.
2. PROVIDE 1" JOINT AT BACK OF CURB UNLESS 3" JOINT IS SPECIFIED.
3. PROVIDE 1" JOINT AT BACK OF CURB UNLESS 3" JOINT IS SPECIFIED.
4. PROVIDE 1" JOINT AT BACK OF CURB UNLESS 3" JOINT IS SPECIFIED.
5. PROVIDE 1" JOINT AT BACK OF CURB UNLESS 3" JOINT IS SPECIFIED.
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10. PROVIDE 1" JOINT AT BACK OF CURB UNLESS 3" JOINT IS SPECIFIED.
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12. PROVIDE 1" JOINT AT BACK OF CURB UNLESS 3" JOINT IS SPECIFIED.

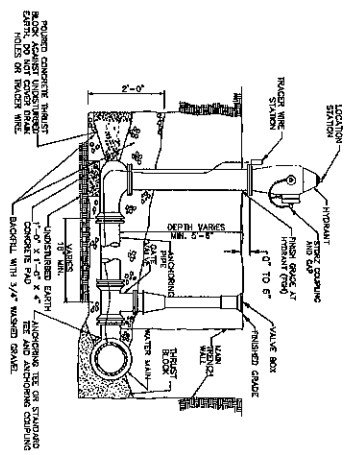


1 CONCRETE DRIVEWAY TYPE A
Not to Scale

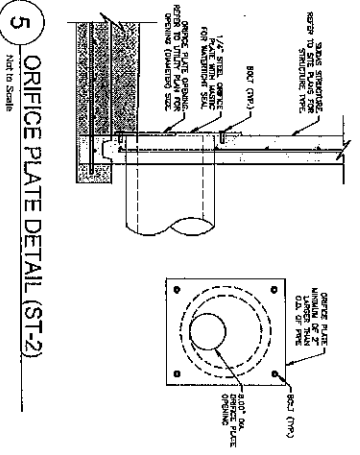


2 DOWNSPOUT CONNECTION WITH TEE
Not to Scale

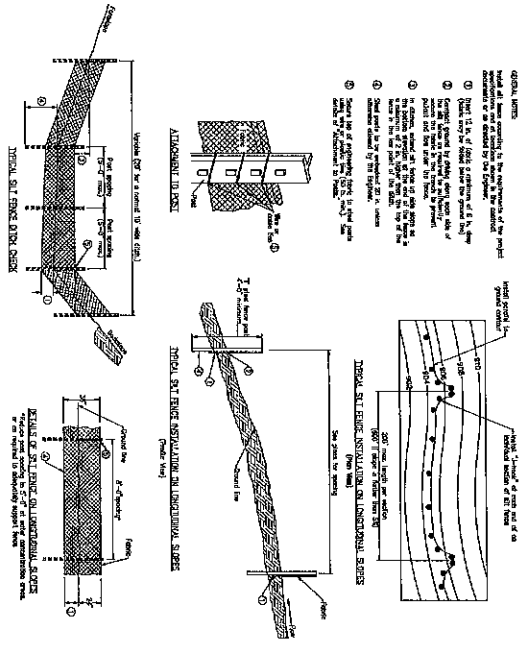
3 12\"/>



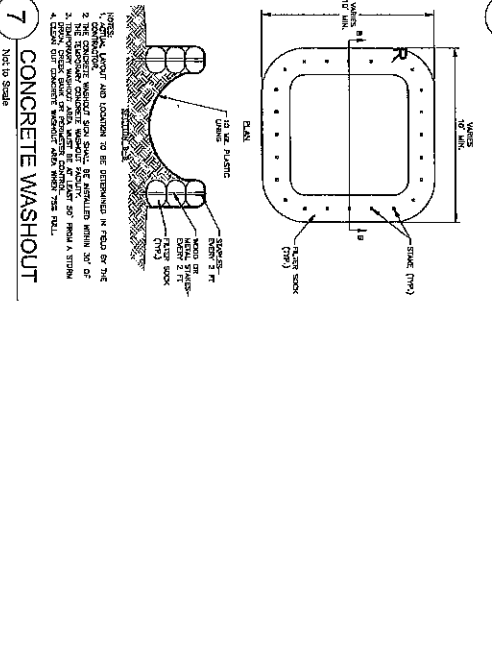
4 HYDRANT ASSEMBLY DETAIL
Not to Scale



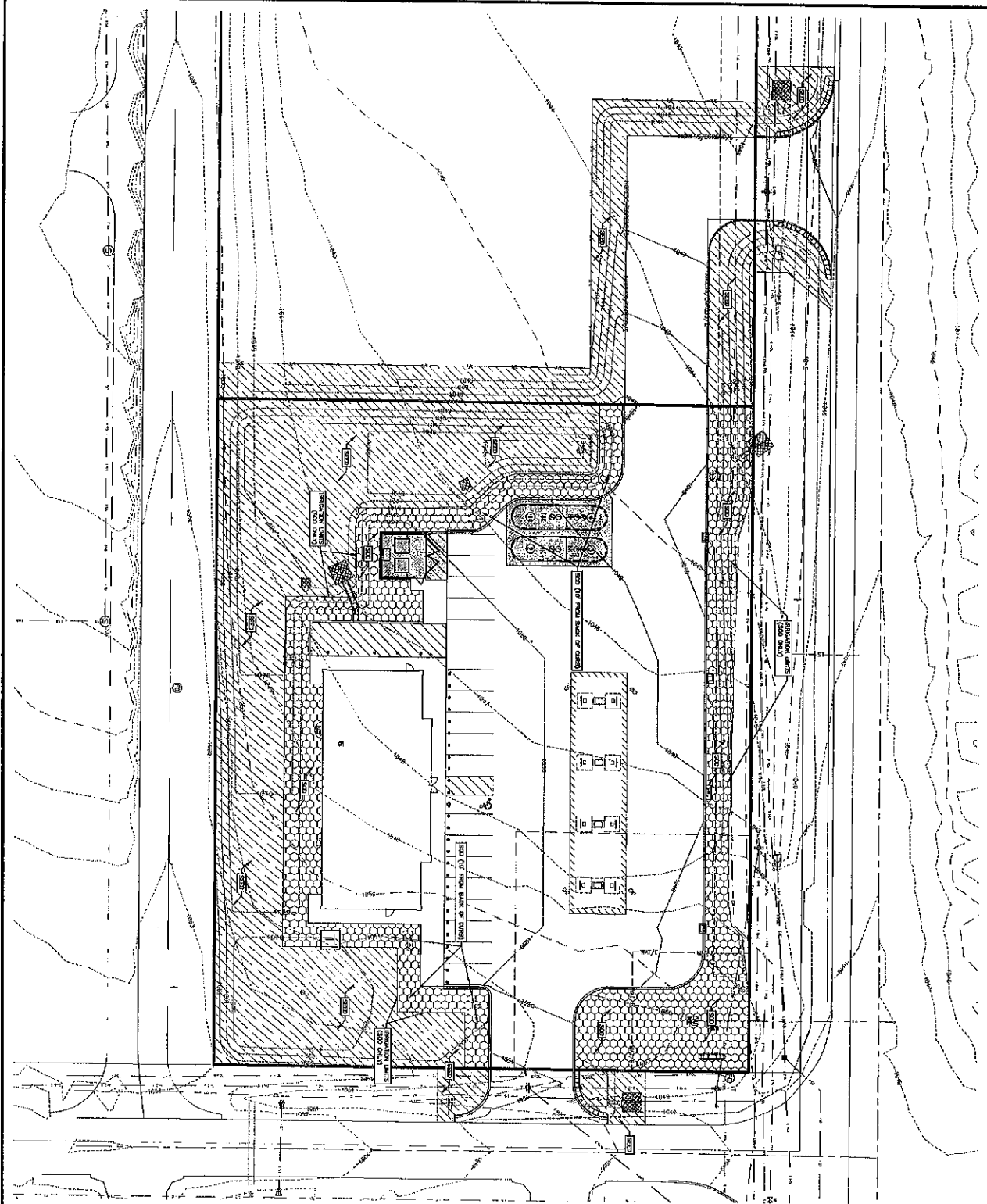
5 ORIFICE PLATE DETAIL (ST-2)
Not to Scale



6 SILT FENCE
Not to Scale



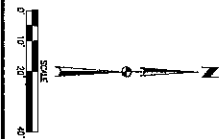
7 CONCRETE WASHOUT
Not to Scale

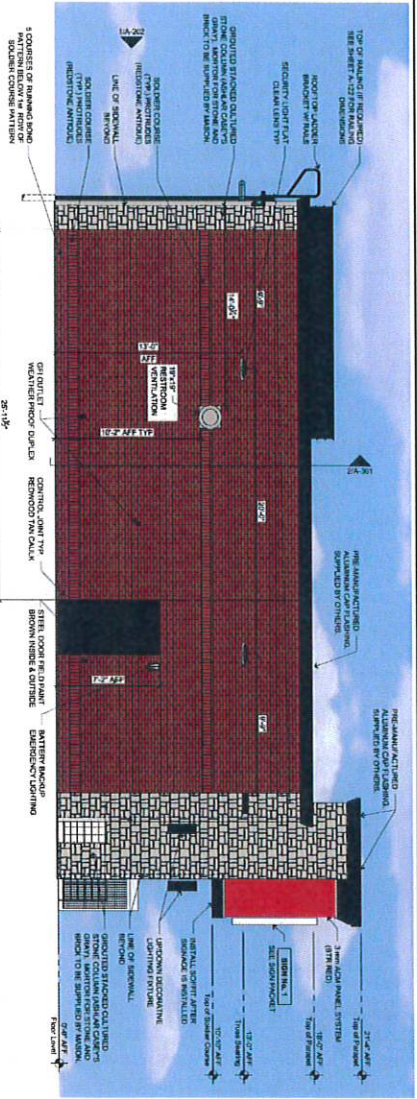


LANDSCAPE NOTES

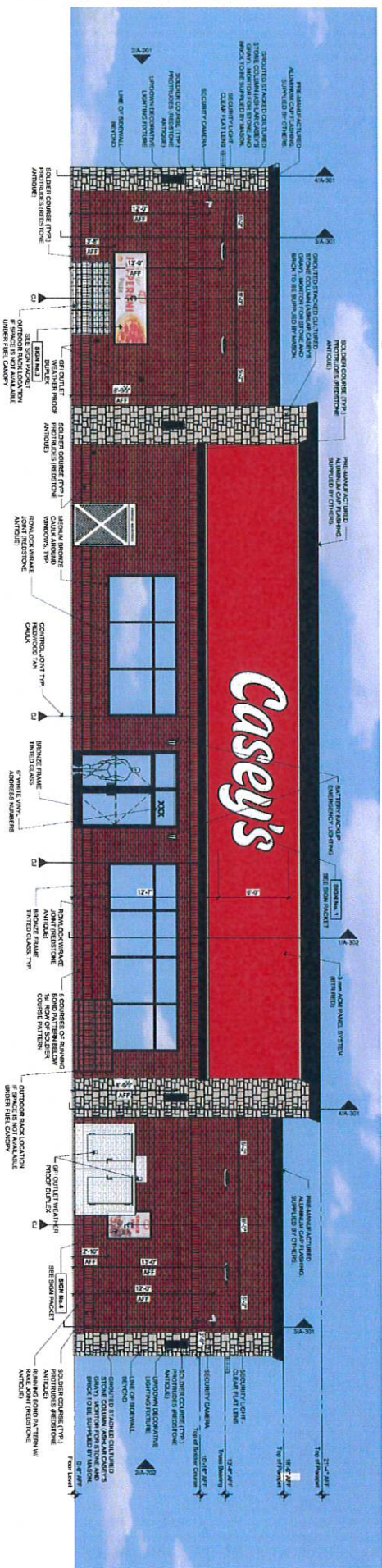
1. REMOVE ALL UTILITIES BEFORE ANY PLANTING
2. THE 2023 EDITION OF THE SOILS STANDARDS, TO BE USED FOR THIS PROJECT UNLESS OTHERWISE NOTED.
3. SOIL, COLOR, AND QUALITY OF PLANT MATERIAL, OF THE AMERICAN STANDARD FOR NURSERY STOCK.
4. ALL PLANT MATERIAL SHALL BE HEALTHY AND FREE FROM DISEASE, PESTS, AND DEFOLIATION. PLANTS SHALL BE SPECIALLY BOUND AND ROOT SYSTEMS SHALL BE PROTECTED FROM DAMAGE DURING TRANSPORT AND PLANTING.
5. SEED/SOD ALL DELIVERED AREAS (SEE PLAN).
6. SOD SHALL BE 12" x 12" x 1/2" FOR BRICK CURB WITH WEED BARRIER FABRIC SHALL BE PLACED IN ALL PLANTING AREAS TO A (MIN) DEPTH OF 4" UNLESS OTHERWISE NOTED.
7. ALL EDGING SHALL BE 3/4" x 3" x 1/2" STEEL EDGING WITH WEED BARRIER FABRIC SHALL BE PLACED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY AND PROTECT TO A RAIN EVENT. MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION SHALL BE PROVIDED BY THE CONTRACTOR.
8. CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER FOR APPROVAL.
9. ALL SODS ARE TO BE IRRIGATED.

SEED (28,205 SF)
 SOD (11,500 SF)





2 Exterior Elevation - Left Side of Building (Plan East)
1/4"=1'-0"



1 Exterior Elevation - Front of Building (Plan North)
1/4"=1'-0"

General Notes

1. REVIEW AND COORDINATE WITH ALL OTHER TRADES REFERENCED ON THIS PLAN NOTIFY ARCHITECT AND OWNER OF DISCREPANCIES
2. RELATED DRAWING SHEETS REFER TO THE FOLLOWING:
A-211 FOR INFORMATION RELATIVE TO SIGNALING
A-212 FOR INFORMATION RELATIVE TO SIGNALING
A-213 FOR INFORMATION RELATIVE TO EQUIPMENT
A-214 FOR INFORMATION RELATIVE TO EQUIPMENT
A-215 FOR INFORMATION RELATIVE TO EQUIPMENT
A-216 FOR INFORMATION RELATIVE TO EQUIPMENT
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3. REPORTING POINT: THE WORKING POINT WAS INDICATED ON THE DRAWINGS COMMON POINT OF REFERENCE WHERE EVER USED IN THESE DRAWINGS
4. ALL VENT PENETRATIONS ON ROOF OR DOORCASE OR ROOF.

ELDS DESIGN SERVICES

Architecture | Engineering | Surveying

2023 - 2024
14100 4th Street, Suite 100
Dallas, TX 75244
Phone: (214) 343-8800
Fax: (214) 343-8801

CASEY'S CONSTRUCTION DIVISION

2023 - 2024
14100 4th Street, Suite 100
Dallas, TX 75244
Phone: (214) 343-8800
Fax: (214) 343-8801

DATE: 06/17/23

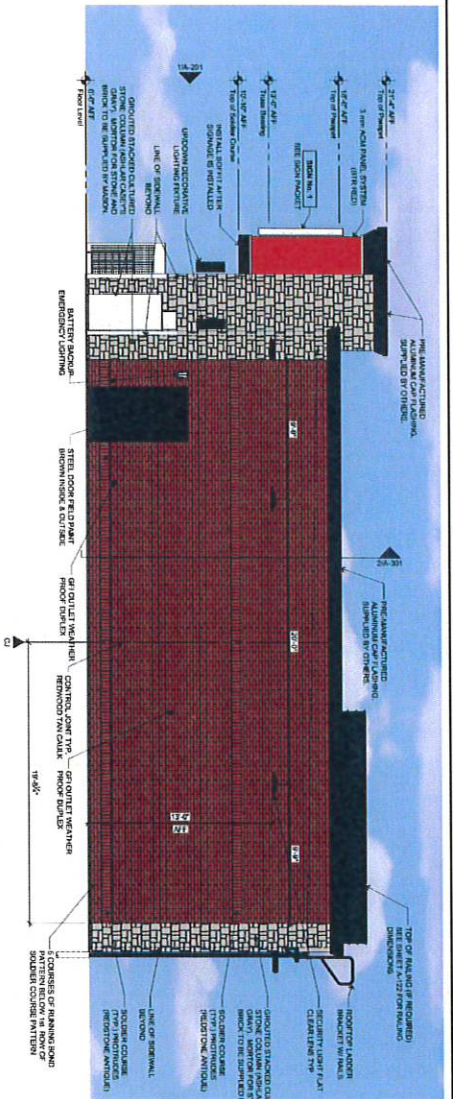
BY: JLD

PROJECT: 14100 4th Street, Suite 100

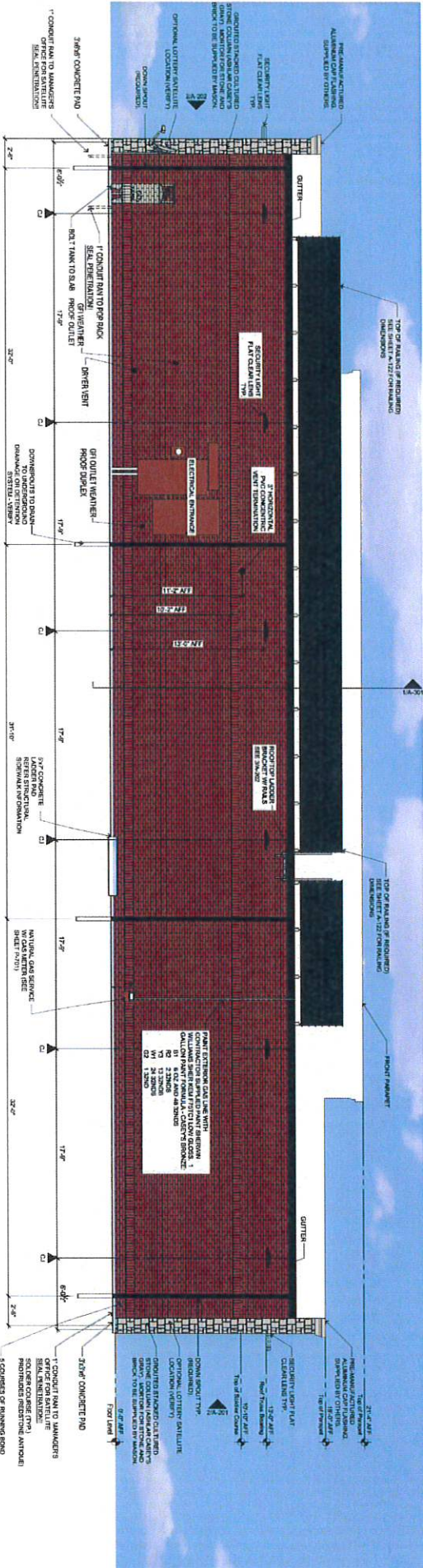
DESCRIPTION: EXTERIOR ELEVATIONS

SCALE: A-201

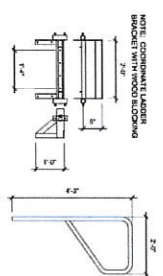
A-201



2 Exterior Elevation - Right Side of Building (Plan West)
1/4"=1'-0"



1 Exterior Elevation - Back of Building (Plan South)
1/4"=1'-0"



3 Ladder Bracket
1/2"=1'-0"

- General Notes**
1. REVIEW AND COORDINATE WITH ALL OTHER PAGES REFERENCED ON THIS PLAN NOTIFY ARCHITECT AND OWNER OF DISCREPANCIES
 2. RELATED DRAWING SHEETS REFER TO THE FOLLOWING:
 - A-201 FLOOR ORIENTATION RELATIVE TO SPACE
 - A-202 FLOOR FINISHES RELATIVE TO SPACE
 - A-203 FLOOR FINISHES RELATIVE TO SPACE
 - A-204 FLOOR FINISHES RELATIVE TO SPACE
 - A-205 FLOOR FINISHES RELATIVE TO SPACE
 - A-206 FLOOR FINISHES RELATIVE TO SPACE
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 - A-219 FLOOR FINISHES RELATIVE TO SPACE
 - A-220 FLOOR FINISHES RELATIVE TO SPACE
 3. WORKING POINT: THE WORKING POINT IS INDICATED ON THE DRAWING COMMAND POINT OF REFERENCE SHEET WITH LISTED IN THESE DRAWINGS
 4. ALL NEW FINISHES ON BACK OR SIDE OF ROOF

P ELDS DESIGN SERVICES
Architectural, Engineering & Surveying

2200 S.W. 11th Ave., Suite 100
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Phone: (954) 576-1111
Fax: (954) 576-1112
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CASTING SPECIALISTS
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Fax: (954) 576-1112
www.caseys.com

DATE: 03/14/23
DRAWN BY: J.A.
CHECKED BY: J.A.
PROJECT: 1A
SHEET: 1A-202

EXTERIOR ELEVATIONS
A-202

RESOLUTION NO. 2023-53

A RESOLUTION APPROVING THE SITE PLAN FOR THE PROPOSED CASEY'S STORE #4335 AT THE SOUTHWEST CORNER OF SUGAR GROVE AVENUE AND FAIR VIEW DRIVE

WHEREAS, Casey's Services Company of Ankeny, Iowa, has submitted on behalf of the owner, 44 Investments, LLC of Urbandale, Iowa, a Site Plan pursuant to Chapter 158 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, for the construction of a new Casey's Store #4335 at the southwest corner of Sugar Grove Avenue and Fair View Drive in Dallas Center, Iowa, which plans were reviewed by the Planning and Zoning Commission on August 22, 2023; and

WHEREAS, the City Engineer provided review comments and recommendations dated July 31, 2023, to the Planning and Zoning Commission, (a copy of which is attached as Exhibit "A") which comments and recommendations were reviewed and considered by the Commission; and

WHEREAS, the City Engineer reported he had received from the applicant a supplemental submission addressing his comments; and

WHEREAS, the Commission recommended approval of the Site Plan subject, however, to:

1. The 16 spaces adjacent to the gas pumps shown on the Site Plan shall be counted toward the required number of parking spaces, which, along with the 18 parking spaces shown on the Site Plan, will exceed the total number of 27 parking spaces required under the Zoning Code.

2. Sidewalks shall be constructed from the east side of the shared entrance to Sugar Grove Avenue easterly along Sugar Grove Avenue and then southerly along Fair View Drive to the south boundary of the property encompassed in the Site Plan, subject to review and approval of the City Engineer.

3. A landscaping plan as provided in Section 158.07(2)(Q) of the Code of Ordinances of the City of Dallas Center, Iowa, shall be provided by the applicant, which plan shall be reviewed and approved by the City Engineer.

4. A site lighting plan as provided in Section 158.07(2)(M) of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, shall be provided by the applicant, which plan shall be reviewed and approved by the City Engineer.

; and

WHEREAS, the Council has reviewed the recommendations of the Planning and Zoning Commission, and adopts the recommendations.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DALLAS CENTER, IOWA, that the Council accepts the recommendations of the Planning and Zoning Commission; and the Site Plan submitted by the applicant is approved, subject, however, to:

1. The 16 spaces adjacent to the gas pumps shown on the Site Plan shall be counted toward the required number of parking spaces, which, along with the 18 parking spaces shown on the Site Plan, will exceed the total number of 27 parking spaces required under the Zoning Code.

2. Sidewalks shall be constructed from the east side of the shared entrance to Sugar Grove Avenue easterly along Sugar Grove Avenue and then southerly along Fair View Drive to the south boundary of the property encompassed in the Site Plan, subject to review and approval of the City Engineer.

3. A landscaping plan as provided in Section 158.07(2)(Q) of the Code of Ordinances of the City of Dallas Center, Iowa, shall be provided by the applicant, which plan shall be reviewed and approved by the City Engineer.

4. A site lighting plan as provided in Section 158.07(2)(M) of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, shall be provided by the applicant, which plan shall be reviewed and approved by the City Engineer.

IT IS FURTHER RESOLVED that notification is hereby given to the applicant that Section 158.13 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, provides that the approval of this Site Plan shall expire and terminate 365 days after Council approval unless a building permit has been issued for the construction provided for in the Site Plan. The Council may, upon written request of the applicant, extend the time for the issuance of the required building permit for 60 additional

days. In the event the building permit for construction provided for in a Site Plan expires or is cancelled, then the Site Plan approval shall thereupon terminate.

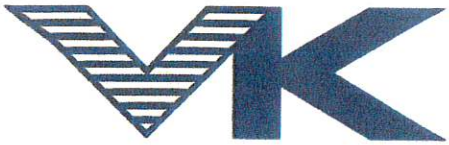
IT IS FURTHER RESOLVED that further notification is hereby given to the applicant that Section 158.11 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended provides that when there is any change in the location, size, design, conformity or character of the buildings and other improvements, an amendment to the Site Plan must be submitted to the City and reviewed by the Planning and Zoning Commission and approved by the City Council in the same manner as an original Site Plan.

PASSED, APPROVED, AND ADOPTED by the City Council of the City of Dallas Center, Iowa, on this 24th day of August, 2023.

Daniel Beyer, Mayor

ATTEST:

Shellie Schaben, City Clerk



VEENSTRA & KIMM INC.

3000 Westown Parkway
West Des Moines, Iowa 50266

515.225.8000 // 800.241.8000
www.v-k.net

July 31, 2023

Cindy Riesselman
City Administrator
City of Dallas Center
1502 Walnut Street
P.O. Box 396
Dallas Center, Iowa 50063

DALLAS CENTER, IOWA
CASEY'S STORE 4335
SITE PLAN

The writer has completed a review of the site plan submittal for the Casey's Store 4335 located at the southwest corner of Sugar Grove Avenue and Fairview Drive. The submittal included exterior elevation views of the building and a Stormwater Management Plan.

Based on review of the site plan the following comments are offered:

1. The site plan indicates construction is to be in accordance with the 2023 edition of SUDAS. This note is satisfactory.
2. The City will need to assign an address to the site.
3. The site plan indicates a total of 27 parking spaces are required under the City's zoning ordinance. The site plan indicates 18 parking spaces are being provided. As submitted, the site plan appears to provide 9 parking spaces less than the required minimum.
4. The site plan includes the zoning classification and bulk regulations.
5. The site plan appears to satisfy the bulk regulations in the C-2 zoning district.
6. Access to the site is by two driveways. One driveway is to Fairview Drive. This driveway is slightly offset to the south of the bank driveway on the east side of Fairview Drive. It is preferable to have driveways aligned. In this instance the offset is approximately half the width of the driveway. While less than desirable the offset appears to be such that vehicles entering and leaving from the driveways can observe the movement of the vehicle on the opposite side of the street. This will minimize the potential for vehicle conflicts.

7. The second driveway adjoins Highway 44 360 feet west of the east line of the parcel. In this area the Iowa Department of Transportation has minimum separate distances to the intersection. This driveway is located on the parcel to the west of the area being developed for the Casey's store. The driveway location and lot configuration would appear to contemplate there would be a potential second site that would be developed in the western half of the parcel. As long as the parcel remains in single ownership an ingress/egress easement would not be required for the driveway to Highway 44. If the parcel were to be divided with separate ownerships at a future date an ingress/egress easement would be required.
8. The site plan appears to indicate the water main along the south side of Highway 44 is owned by Xenia Rural Water. This water main is the City of Dallas Center's 12-inch water main and should be labeled accordingly.
9. The site plan shows water service to the site will be provided by a connection to the existing 12-inch water main on the east side of Fairview Drive.
10. The site plan shows the water service line to be directionally bored under Fairview Drive.
11. The site plan shows a new hydrant along the south side of the driveway to Fairview Drive. The hydrant coverage circle for this hydrant is satisfactory.
12. The City of Dallas Center's policy is all water mains with a fire hydrant with a length greater than 50 feet must be 8-inch diameter. The water main to the hydrant will need to be increased to 8-inch diameter.
13. The site plan shows a 2-inch water service extending from the larger water service to the south side of the building. The water service line appears to be satisfactory.
14. Sanitary sewer service is shown by a 6-inch sewer service extending east to connect to the City's sanitary sewer along the east side of Fairview Drive.
15. The location of the sanitary sewer service appears to be satisfactory.
16. The site plan shows the sanitary sewer service to be directionally bored in place under Fairview Drive.
17. The site plan shows a 750-gallon grease interceptor. The grease interceptor would serve the kitchen area of the new facility.
18. The site plan shows a stormwater detention basin located in the southwest corner of the site.

19. The discharge from the storm sewer is northerly to a surface discharge in the south ditch of Highway 44.
20. The overland flow from the south ditch is westerly.
21. The site plan indicates the discharge from the site is to the west to an unnamed tributary to the North Raccoon River. The south ditch of Highway 44 is tributary to the City storm sewer system that flows southeasterly to the East Dual Purpose sewer and is tributary to the Walnut Creek Basin rather than the North Raccoon River Basin.
22. The far northern part of the site north of the fuel islands is tributary to a west flowing storm sewer that connects to the outlet storm sewer from the stormwater pond.
23. The balance of the stormwater is conveyed overland and by three storm sewer systems to the stormwater detention basin.
24. The site plan shows an enclosed solid waste receptacle storage area west of the building. Access to this area is through the west part of the parking lot.
25. The parking lot appears to be configured in a manner that would allow truck access to the waste receptacle area as long as vehicles are not parked immediately in front of the storage area.
26. The project disturbs more than one acre and will be subject to a General Permit No. 2 and Stormwater Pollution Prevention Plan.
27. A cursory review of the erosion and sediment control plan indicates it is satisfactory.
28. Prior to the start of construction the applicant will need to submit a copy of General Permit No. 2 and the Stormwater Pollution Prevention Plan to the City. The City will not enforce General Permit No. 2. The City requests a copy of the plan and General Permit No. 2 only for the purpose of insuring the permit has been obtained.
29. The landscaping plan shows the areas disturbed by construction will predominantly be seeded. There are areas around the building and on the north side of the parking lot area that will be sodded.
30. The landscaping plan does not show and trees, shrubs, or similar plant material to be provided.

31. The architectural plan indicates the predominant material on all four sides of the building will be a brick material. A secondary material for the pillars will be a cultured stone.
32. The front of the building includes a red ACM panel system.
33. The brick and cultured stone would appear to meet the City's architectural standards.
34. The site plan should include a calculation of the percentage of the materials of construction to allow for a determination whether the design meets the requirements of the City's architectural standards.

Based on review of the stormwater management plan the following comments are offered:

1. The site plan includes a site area of 1.45 acres.
2. The stormwater analysis includes only the area of the site that is being developed. The stormwater report does not include the offset area to the west where the driveway is being located.
3. All of the discharge to the site is at the northwest corner of the site identified as discharge point 1.
4. The stormwater report indicates there is an 0.12 acre offsite area immediately to the south of the site that drains northerly to the site.
5. The five-year undeveloped runoff rate from the onsite area is 3.01 cfs.
6. The allowable rate from the site is the onsite release rate plus the 100-year runoff from the offsite area identified as DB-1.
7. Of the total onsite area of 1.45 acres, the area tributary to the detention basin is 1.31 acres.
8. The far northern portion of the site is directly tributary to the south ditch of Highway 44. This area of 0.14 acres is an undetained area.
9. The maximum release rate from the site must take into account the release rate from the basin that serves 1.31 acres of onsite area plus 0.12 acres of offsite area less the release rate from the 0.14 acres of undetained area.
10. The allowable release rate from the site including the onsite detained flow and the offsite pasture flow is 3.64 cfs.

11. The report indicates in a 100-year storm the maximum release rate would be 3.62 cfs or just less than the allowed release rate.
12. The analysis in the stormwater report is based on a post development time of concentration of 10 minutes. The actual time of concentration for the site may actually be slightly less than 10 minutes. However, under the SUDAD design standards used by the City a 10-minute time of concentration is satisfactory.
13. The report includes sizing analysis for the storm sewers and culverts. A cursory review of the stormwater report indicates that the internal storm sewers are adequately sized.
14. A cursory of the stormwater calculations would indicate the culverts under the driveways are adequately sized.
15. The stormwater report indicates the maximum release rate from the stormwater pond is 3.05 cfs.
16. The maximum release rate from the onsite undetained area is 0.97 cfs.
17. Due to the time of concentration the maximum release rate experienced from the undetained area and the detained area are offset. The stormwater calculations indicate the maximum release from the overall site is 3.62 cfs. This maximum release rate is less than the arithmetic sum of the release rates due to the differing times of peak release.
18. The stormwater reports indicates the maximum stored volumed in the detention basin is 8,133 cubic feet.
19. The bottom of the stormwater detention basin is sloped. At the outlet the bottom of the detention basin is approximately elevation 1043.88.
20. In a 100-year storm event the maximum water surface elevation is 1047.55 feet or a maximum water depth of 3.62 feet.

Cindy Riesselman

July 31, 2023

Page 6

If you have any questions or comments concerning the project, please contact the writer at 515-225-8000, or bveenstra@v-k.net.

VEENSTRA & KIMM, INC.



H. R. Veenstra Jr.

HRVJr:mav

212

Cc: Shellie Schaben
Ralph Brown
Matt Ostanik
Erin Ollendike, Civil Design Advantage

RESOLUTION NO. 2023-54

A RESOLUTION APPROVING THE ARCHITECTURAL PLAN FOR THE PROPOSED CASEY'S STORE #4335 AT THE SOUTHWEST CORNER OF SUGAR GROVE AVENUE AND FAIR VIEW DRIVE

WHEREAS, Casey's Services Company of Ankeny, Iowa, has submitted on behalf of the owner, 44 Investments, LLC of Urbandale, Iowa, an Architectural Plan pursuant to Chapter 158 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, for the construction of a new Casey's Store #4335 at the southwest corner of Sugar Grove Avenue and Fair View Drive in Dallas Center, Iowa, which plan was reviewed by the Planning and Zoning Commission on August 22, 2023; and

WHEREAS, the Plan as submitted indicates the predominant material on all four sides of the building will be a brick material and a secondary material for the pillars will be a cultured stone. The plan includes a red ACM (aluminum composite material) panel system for the front of the building. The identified primary exterior materials constitute more than 75% of the faces of the building as required by Section 158.10 (1) of the Code of Ordinances of the City of Dallas Center, Iowa, as amended; and

WHEREAS, the Planning and Zoning Commission recommended approval of the Architectural Plan.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DALLAS CENTER, IOWA, that the Council accepts the recommendations of the Planning and Zoning Commission; and the Architectural Plan submitted by the applicant is approved.

PASSED, APPROVED, AND ADOPTED by the City Council of the City of Dallas Center, Iowa, on this 24th day of August, 2023.

Daniel Beyer, Mayor

ATTEST:

Shellie Schaben, City Clerk

RESOLUTION NO. 2023-55

A RESOLUTION APPROVING THE TENTH AMENDMENT TO THE TWO-MILE AGREEMENT DATED JUNE 9, 1992, BETWEEN THE CITY AND XENIA RURAL WATER DISTRICT

WHEREAS, the on the 9th day of June, 1992, the City of Dallas Center and Xenia Rural Water District ("Xenia") entered into a Two-Mile Agreement pursuant to Chapter 357A of the Code of Iowa to provide for the boundaries of the Dallas Project within two miles of the Dallas Center corporate limits; which Agreement was filed in the office of the Dallas County, Iowa, Recorder in Book 728 at Page 906; and

WHEREAS, CS Trucking, LLC, the owner of Lot 2 of Raccoon Heights Subdivision Second Addition at 23090 Raccoon Road (which is within the territory reserved for service by the City) has requested that water service be provided to its property by Xenia; and

WHEREAS, the Public Works Department has determined that the City currently is unable to provide water service to the property in question, and recommends that the Two-Mile Agreement be amended to permit Xenia to provide service to the property; and

WHEREAS, the Council has determined that the Tenth Amendment, a copy of which is attached hereto, should be approved.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DALLAS CENTER, IOWA, that the Tenth Amendment to Two-Mile Agreement be approved, and that the Mayor and Clerk are authorized to sign the Amendment.

PASSED, APPROVED, AND ADOPTED by the City Council of the City of Dallas Center, Iowa, on this 24th day of August, 2023.

Daniel Beyer, Mayor

ATTEST:

Shellie Schaben, City Clerk

TENTH AMENDMENT TO TWO-MILE AGREEMENT

THIS AGREEMENT is made and entered into as of this 24th day of August, 2023, by and between the **CITY OF DALLAS CENTER, IOWA** ("Dallas Center"), a municipal corporation organized and existing under the laws of the State of Iowa, and **XENIA RURAL WATER DISTRICT** ("Xenia"), organized and incorporated as a body politics pursuant to Chapter 357A of the Code of Iowa.

RECITALS

WHEREAS, the parties on the 9th day of June, 1992, entered into a Two-Mile Agreement pursuant to Chapter 357A of the Code of Iowa to provide for the boundaries of the Dallas Project within two miles of the Dallas Center corporate limits; which Agreement was filed in the office of the Dallas County, Iowa, Recorder in Book 728 at Page 906; and

WHEREAS, the parties now desire to amend the previously-agreed upon boundary lines.

NOW, THEREFORE, the parties hereto agree as follows:

1. **Amendment to Original Map.** The map attached to the Two-Mile Agreement dated June 9, 1992, is amended to remove the following described parcel of real estate which lies east of the Raccoon River, south of Highway 44, and west of Highway 169 within the property excluded in the Dallas Center two-mile limit, and to include them within the territory comprising and to be served by Xenia's Dallas Project.

The following described real estate now owned by CS Trucking, LLC, an Iowa limited liability company:

Lot 2 of Raccoon Heights Subdivision Second Addition, an Official Plat, now included in a forming a part of Section 5, in Township 79 North, Range (27) West of the 5th P.M., Dallas County, Iowa.

2. **Xenia's Right to Construct.** From the date of this Tenth Amendment to Agreement, Xenia has and shall have the full unrestricted and exclusive right -- subject only to the conditions of the June 9, 1992, Agreement pertaining to a

purchase of one or more areas by Dallas Center -- to construct, operate, maintain, repair, replace and reconstruct the Dallas Project in the area described in paragraph one above.

3. **USDA Rural Development Approval.** This Amendment to Agreement shall not become effective until the terms and conditions herein contained have been approved by the USDA Rural Development.

4. **Resolutions and Execution.** Dallas Center and Xenia shall become a party to this Amendment to Agreement upon its execution by the respective chief executive officers after the passage of a resolution approving this Amendment to Agreement and authorizing the execution of the same.

Executed as of the day and year first written above.

CITY OF DALLAS CENTER, IOWA

By _____
Daniel Beyer, Mayor

ATTEST:

Shellie Schaben, City Clerk

XENIA RURAL WATER DISTRICT

By _____
Its _____

Approved this _____ day of _____, 2023, by:

USDA RURAL DEVELOPMENT

By _____
Its _____