

NOTICE OF A PUBLIC MEETING
Dallas Center City Council
Tentative Agenda
October 10, 2023 – 7:00 pm – Memorial Hall
1502 Walnut Street, Dallas Center

The Council meeting will be held in person in Memorial Hall. The meeting also may be accessed by the public electronically by Zoom at the following Internet link:

<https://us02web.zoom.us/j/85712563897>

If a Zoom user has the Zoom app, just enter the meeting ID **857 1256 3897** and the passcode is 901608

Or a member of the public may connect to the meeting by telephone using any of the following numbers (the Meeting ID is **857 1256 3897**, the passcode is **901608**: Dial by your time zone below:

312 626 6799 (CST) 646 558 8656 (EST) 719 359 4580 (MST) 669 900 9128 US (PST)

Depending on the caller's long-distance calling plan, long distance charges may apply.

1. Pledge of Allegiance
2. Roll call
3. Action to approve agenda
4. Public Comments [Anyone wanting to address the Council should raise your hand and the Mayor will acknowledge you. Please stand, state your name, address, and topic. You will have two minutes to address the Mayor and Council]
5. Action to approve consent agenda
 - a. Approve minutes of September 12th regular meeting and September 26th special meeting
 - b. September Treasurer's Report, Balance Sheet, and Budget Report
 - c. September Law Enforcement, Fire/Rescue, Compliance and Water Reports
 - d. Approve street closing for Halloween parade on October 28, 2023 at 3:00 pm, activities in Heritage Park and traditional trick-or-treating from 2:00-8:00 pm
 - e. Approve hiring Lance Studer as a temporary fill-in public works employee at \$25.25/hr. effective November 1st – March 31st pending background check and drug screening
 - f. Approve invoices for payment (review committee Coon & Kluss)
6. Parks and Recreation Board
7. Library annual report to Council – Shelly Cory
8. Planning and Zoning Commission – Matt Ostanik
 - a. Action on Resolution 2023-64 – approving the Site Plan submitted by Sonntag Properties, LLC at 1205 Walnut Street – for construction of off-street parking.
 - b. Action on Resolution 2023-65 – approving the Site Plan submitted by Raccoon Valley Bank at 590 Sugar Grove Avenue – for four basic modifications and improvements to the existing site and building (and requiring construction of sidewalk along west side of property).
 - c. Action on Resolution 2023-66 – approving the Architectural Plan submitted by Raccoon Valley Bank at 590 Sugar Grove Avenue
 - d. Action on Resolution 2023-67 – approving the revised Preliminary Plat of The Neighborhood Plat 2 previously approved by the Council by Resolution 2022-58 on July 12, 2022.
 - e. Discussion and action on Commission's recommendations that the contractor's signs placed on the shelter at the Community Swimming Pool be removed or covered
9. Fire Department
 - a. Action to accept retirement of Joel Hofland as Fire Chief effective September 29, 2023

- b. Action to approve the Fire Department's election of Daniel Howell as Fire Chief effective September 30, 2023
 - c. Administer Oath of Office to Daniel Howell
 - d. Action on Resolution 2023-68 – approving a Cost Reimbursement Agreement in connection with Emergency Medical Response (EMR) training for MaKenna Brooks
 - e. Action on Resolution 2023-69 – approving a Cost Reimbursement Agreement in connection with Emergency Medical Response (EMR) training for Johnathan Minger
 - f. Action to approve quote for Fire Department HVAC from Adel Heating & Cooling in an amount not to exceed \$9,000
 - g. Action to approve request to purchase Laser Range Finder in an amount not to exceed \$11,000 and authorizing payment from the Department's depreciation account (will require a budget amendment later)
10. Public Works
 - a. Director's Report
 11. Highway 44 Distribution Main Replacement – Phase 1
 - a. Engineer's Report
 - b. Action to approve Partial Payment Estimate No. 3 (Final) – Max Smith Construction, LLC - \$14,250.00
 - c. Action to approve Partial Payment Estimate No. 4 (Retainage) – Max Smith Construction, LLC - \$17,189.66 (payment on or about October 11, 2023)
 - d. Action on Resolution 2023-48 – acceptance of the Project
 12. Nutrient Reduction Strategy Report -Engineer's Report
 13. Dallas Center Outdoor Community Swimming Pool Construction Project – Engineer's Report
 14. Cross Developments Street Improvements
 - a. Engineer's Report
 - b. Action on Resolution 2023-70 – approving Amendment to Agreement (approved by Resolution 2023- 46) for professional services with Veenstra & Kimm, Inc.to establish the maximum fee for engineering services during construction
 15. Amendment No. 8 to the Dallas Center Urban Renewal Plan (adding territory to facilitate the construction of the Northeast Sewer Project, including the lift station)
 - a. Engineer's Report
 - b. Dallas County Board of Supervisors Consent to inclusion of extra-territorial property
 - c. Action on Resolution 2023-71 – setting dates for a consultation (October 26 at 3 p.m.) and a public hearing at 7 p.m. on November 14, 2023, on proposed Amendment No. 8 to the Dallas Center Urban Renewal Plan in the City of Dallas Center, Iowa
 16. Amendment No. 1 to the West Urban Renewal Plan (increasing to \$2,500,000 the maximum dollar amount of costs to support the urban renewal project)
 - a. Engineer's Report
 - b. Action on Resolution 2023-73 – setting dates for a consultation (October 26 at 3 p.m.) and a public hearing at 7 p.m. on November 14, 2023, on proposed Amendment No. 1 to the West Urban Renewal Plan in the City of Dallas Center, Iowa
 17. Pioneer Plat 4 – Final Plat
 - a. Engineer's Report
 - b. Action on Resolution 2023-74 – approving Final Plat
 18. City Engineer – Other Matters
 19. 28E Annexation Moratorium with the City of Waukee
 - a. Action on Resolution 2023-72 – setting a public hearing 7 p.m. on December 12, 2023 on proposed Agreement with the City of Waukee and directing the Clerk to make the required notifications
 20. Action on Ordinance No. 593 – pertaining to liquor licenses and cigarette and tobacco permits, first reading
 21. Action on Ordinance No. 594 – pertaining to fiscal management, first reading
 22. City Administrator
 - a. Set Budget Strategy Meeting

- b. Action to approve request of Parks and Recreation Board to spend \$1,477.17 paid for with T&A use funds for soccer nets from Fiscal Year 2023 Budget (will require a budget amendment later).

23. Council reports
24. Mayor's report
25. Adjournment

Shellie Schaben, City Clerk

CLAIMS

Access Systems Leasing	Lease	\$366.21
Access Systems	Maintenance	\$48.53
Ventilation Services Of	Repairs	\$2,410.43
Agsourc Coop Services	Tests	\$1,300.70
Ahlers & Cooney, Pc	Urban Renewal Amend #8	\$198.00
Alley Auto Sales	Tires	\$180.00
Anderson, Hailee	Reimbursement	\$96.27
Baker & Taylor Co.	Books	\$499.50
Baldon Hardware	Repairs	\$137.67
Bay Bridge Administrators	Insurance	\$100.42
Boyd Creative Llc	PW PPE	\$520.00
Brown, Fagen & Rouse	Oct Retainer	\$3,000.00
Capital City Equipment Co	Equipment	\$185.57
Daniel Case	PPE	\$38.50
Centurylink	Sept Serv	\$757.91
Occupational Health Centers	Pre-employment	\$59.00
Concrete & More, Llc	Sidewalks	\$6,712.00
Core & Main	Repairs	\$217.30
Cover's Construction	Pool Shelter House	\$35,200.00
Crossroads Ag, Llc	Seed	\$189.00
Culligan Water System	Oct Serv	\$38.36
Dallas County Treasurer	Sept Prot	\$18,924.51
Delta Dental	Insurance	\$41.50
Delta Dental	Insurance	\$668.74
Digital Stew Services	Repairs	\$457.80
DMACC	Training	\$1,350.00
Iowa Department of Natural Res	Fees	\$115.00
EBSCO	Renewals	\$1,247.91
EFTPS	Taxes	\$4,426.75
EFTPS	Taxes	\$4,784.70
Electric Pump	Equipment	\$20,215.54
Gatehouse- Db Iowa Holdings	Publications	\$701.34
Grainger	Repairs	\$514.69
GIS Workshop, Llc	Software	\$7,501.00
Heartland Co-Op	Sept. Serv	\$1,487.64
HSA Cory, Rochelle	HSA	\$100.00
HSA Riesselman, Cindy	HSA	\$329.00
HSA Schaben, Michele	HSA	\$412.50
HSA Scrivner, April	HSA	\$50.00

HSA Slaughter, Brian	HSA	\$300.00
HSA Tiffany, Joshua	HSA	\$100.00
Integrity Printing	Pocket Park Displays	\$1,030.43
Iowa American Rescue	Equipment	\$2,900.00
Iowa Firefighters Assoc.	Dues	\$425.00
Iowa One Call	Aug Serv	\$49.50
IPERS	IPERS	\$6,227.12
Iron Mountain	Sept Serv	\$106.59
Jerico Services	Dust Control	\$3,828.00
Karen McCleary	Sept Serv	\$675.00
Kimball Midwest	Supplies	\$145.60
Eddie Leedom	Sept Serv	\$577.84
Linde Gas & Equipment Inc.	Sept Serv	\$42.16
Manatts	Repairs	\$231.00
Max Smith Construction LLC	Pay Estimates	\$31,439.66
Menards	Pocket Park	\$1,001.36
Merritt Company	Supplies	\$589.41
MidAmerican Energy	Sept Serv.	\$1.00
MidAmerican Energy	Oct Serv	\$8,944.88
Minburn Communications	Oct Serv	\$54.99
Municipal Supply Inc	Meter Display	\$383.61
Nationwide Retirement Sol	Deferred Comp	\$225.00
Nationwide Retirement Sol	Deferred Comp	\$225.00
Northway Well and Pump	Repairs	\$10,064.00
Playaway Products	Supplies	\$510.91
Plumb Supply Company	Supplies	\$445.26
Preferred Pest Control	Monthly Serv	\$165.00
Quill.Com	Supplies	\$199.54
Treasurer - State of Iowa	Taxes	\$1,103.33
Treasurer - State of Iowa	Taxes	\$2,547.16
Schaben, Shellie	Mileage	\$20.80
Security Equipment Inc	2023 4TH QTR MONITORING	\$110.85
Simmering-Cory/Iowa Codifi.	2023 Legislative Updates	\$613.00
Sprayer Specialties, Inc	Pocket Park	\$320.00
State Library of Iowa	Cataloguing Records	\$35.50
Trionfo Solutions LLC	Insurance	\$49.92
Trionfo Solutions LLC	Insurance	\$87.32
UHS Premium Billing	Insurance	\$598.04
UHS Premium Billing	Insurance	\$11,262.72
USA Blue Book	Tests	\$504.32
Veenstra & Kimm	Aug Serv	\$21,612.13
Verizon Wireless	Sept Serv	\$280.07
Treasurer - State of Iowa	Taxes	\$1,268.06
Waste Management	Sept Serv	\$23,137.03
Wells Fargo	Aug Credit Card	\$1,718.08
Williamson, Mya	Reimbursement	\$289.95
Williamson, Neela	Reimbursement	\$283.99

Accounts Payable Total \$252,314.12

General	\$84,183.49
RUT	\$5,601.33
T&A (EB)	\$12,686.29
CAP IMPROVE POOL	\$43,346.73
CAP IMPROVE CROSS STREETS	\$10,738.24
WATER	\$45,837.39
WATER CAPITAL OUTLAY	\$31,591.42
SEWER	\$16,488.70
STORM DISTRICT	\$1,840.53
TOTAL FUNDS	<u>\$252,314.12</u>

REVENUES

General Total	\$138,869.64
T&A (FT) Total	\$47.02
T&A (SC) Total	\$1,010.11
Capital Improvement Total	\$551.24
T&A (SL) Total	\$29.34
RUT Total	\$30,170.49
T&A (EB) Total	\$13,215.11
Emergency Levy Fund Total	\$3,251.92
Local Option Sales Tax Total	\$55,802.12
TIF Total	\$15,372.74
Trees Total	\$40.59
Burnett Project Total	\$75.59
Debt Service Total	\$43,318.63
T&A (B) Total	\$8.24
T&A (Y) Total	\$4.89
Water Total	\$48,261.96
Sewer Total	\$39,267.74
Storm District Total	\$25,129.26
Drainage District 76 Total	<u>\$10,934.58</u>
Total Revenue by Fund	\$425,361.21

The Dallas Center City Council met in regular session September 12, 2023, at 7:00 pm. Mayor Beyer called the meeting to order and led the Pledge of Allegiance. Council members present included Amy Strutt, Ryan Coon, Angie Beaudet and Daniel Willrich. Also present were City Administrator Cindy Riesselman, City Attorney Ralph Brown, and City Engineer Bob Veenstra.

Agenda was amended to change the date of the homecoming parade from September 29th to September 28th.

Motion by Coon, 2nd by Willrich to approve the amended agenda. Motion passed 4-0.

Public Comments

Julie Becker stated multiple concerns.

Scott Cooper stated multiple concerns.

Willrich stated 478 hours of law enforcement service were provided (320 hours are required) which is 67% above the agreement. Fire and EMT responded to 27 calls last month. Motion by Strutt, 2nd by Beaudet to approve consent agenda: [Approve minutes of August 8th regular meeting and August 21st and 24th special meetings; August Treasurer's Report, Balance Sheet, and Budget Report; August Law Enforcement, Fire/Rescue, Compliance and Water Reports; Approve street closing request of Dallas Center-Grimes Schools for Homecoming celebration and parade on September 28, 2023; Approve street closing request for Percival/Ash intersection for neighborhood block party on October 21, 2023; Approve the reappointment of Jim Pohl to the Planning & Zoning Commission, term expires October 1, 2028; Approve the reappointment of Dustin Thomas to the Board of Adjustment, term expires October 1, 2028; Action to approve the purchase of a Forcible Entry Door Prop for the Dallas Center Fire Department in the amount of \$2,900.00; Action to set October 28, 2023 as Beggar's Night in Dallas Center; Action to approve disposal of the meeting table, air packs and outdated fire gear at the Fire Department.; Approve invoices for payment (review committee Willrich and Beaudet)] Motion passed 4-0.

Mayor Beyer held a swearing in ceremony for Ike Harris who received the honor of Dallas Center Dog Mayor during the Dallas Center Fall Festival.

Parks and Recreation Board

Motion by Coon, 2nd by Beaudet to approve Resolution 2023-62 – approving Rental Agreement with A King's Throne. Roll call all ayes, motion passed.

Planning and Zoning Commission

Motion by Coon, 2nd by Willrich to request that the Planning and Zoning Commission review City Code Section 158.07(2)(Q) on the landscaping plan requirements for Site Plans and to propose specific landscaping requirements in landscaping plans. Motion passed 4-0

Public Works

Public Works Director Brian Slaughter reported that the Public Works Department has completed the following tasks: Fair View Drive and 230th Avenue were graded by the county; Grimes Asphalt is in town this week completing the 2023/2024 road improvements; there was a water main break at 307 Kellogg; miscellaneous tasks including Fall Festival, tree removal at Mound Park and installing lights in the shelters at the park; the basketball court and berm have been completed on the south end of Mound Park; North parking lot at Mound Park being completed this week; and berm in Mound Park has been seeded and mulched. Mayor Beyer commended both the Parks & Rec Committee and the Public Works Department for their dedication and hard work toward making our community a family friendly place to live.

Ryan Kluss arrived at 7:14 pm

Dallas Center Outdoor Community Swimming Pool Construction Project

Engineer Veenstra provided an update on finalization items with the project.

Motion by Willrich, 2nd by Coon to approve Change Order No. 9 – Sande Construction & Supply Co. – installation of and provision of water service to slides – increases contract amount by \$46,640 and paid for by the CAT Grant. Motion passed 5-0

Motion by Willrich, 2nd by Kluss to approve Natural Structures quotation for two water slides in an amount not to exceed \$75,000 and paid for by the CAT Grant. Motion passed 5-0.

Salt Storage Building

City Engineer Bob Veenstra reported the results of quotations received for the building of the Salt Storage Building. The low bid was from Cover's Construction, LLC in the amount of \$130,615.00. Completion date target is November 30, 2023.

Motion by Kluss, 2nd by Coon to approve Resolution 2023-60 – making award of contract to Cover's Construction. Roll call all ayes, motion passed.

Motion by Coon, 2nd by Strutt to approve Resolution 2023-61 – approving contract to Cover's Construction. Roll call all ayes, motion passed.

East Area Sanitary Sewer Improvements

City Engineer Bob Veenstra provided an update on the development progress with Skye View Estates.

Motion by Kluss, 2nd by Beaudet to approve Resolution 2023-59 – approving an agreement for professional engineering services with Veenstra & Kimm, Inc. for design and preparation of plans and specifications and for construction services for the East Area Sanitary Sewer Improvements. Roll call all ayes, motion passed.

Engineer Veenstra mentioned Cross Developments streets will be asphalt overlay. Schedule is to bid it and starting the project in July, 2024.

Engineer Veenstra provided an update on the progress on The Neighborhood Plat 2 development.

Motion by Coon, 2nd by Willrich to authorize Iowa Codification to prepare amending ordinances to incorporate 2023 legislative changes impacting language in the City Code. Motion passed 5-0

City Attorney Ralph Brown reported on the Dallas County Board of Supervisors September 5 Public Hearing on proposed establishment of Drainage District No. 105 north of Dallas Center, which would benefit some Dallas Center City streets and rights-of-way.

City Administrator

Motion by Coon, 2nd by Kluss to approve Resolution 2023-56 – approval to transfer Drainage District 76 assessment receipts to reimburse Storm District fund for 2022 maintenance and repairs. Roll call all ayes, motion passed.

Motion by Kluss, 2nd by Willrich to approve Resolution 2023-57 – approving Annual Financial Report for Fiscal Year 2022-2023. Roll call all ayes, motion passed.

Motion by Strutt, 2nd by Coon to approve designating the August 8, 2023, approval of the Collateral Assignment of Solar Power and Services Agreement from Red Lion Dallas Center LLC to the Iowa Economic Development Authority as having been approved by Resolution 2023-58. Motion passed 5-0.

Motion by Beaudet, 2nd by Coon to approve Resolution 2023-63 – increasing the fire department's stipend amount to \$20 per call. Roll call all ayes, motion passed.

Council reports

The annexation moratorium with Waukee will be on the October 10, 2023 agenda.

The meeting adjourned at 7:34 pm.

Shellie Schaben, City Clerk

Claims

Access Systems Leasing	Lease	\$366.21
Access Systems	Aug Serv	\$48.53
AccuJet	Repairs	\$688.69
Adel Auto Parts	Supplies	\$132.63
Aerzen USA Corporation	Supplies	\$220.50
Agsources Coop Services	Tests	\$1,566.50
American Plumbing & Excavating	Refund	\$1,000.00
Anderson, Hailee	Reimbursement	\$90.00
Aztec Signs	Logos	\$575.00
Baker & Taylor Co.	Books	\$466.82
Baldon Hardware	Supplies	\$2.25
Bay Bridge Administrators	Insurance	\$100.42
Bentley Ridge Tree Farm	Trees	\$1,466.07
Brown, Fagen & Rouse	Sept Serv	\$3,133.53
Centurylink	Aug Serv	\$753.60
Chiochon, Jackson L	Reimbursement	\$251.16
Crossroads Ag, LLC	Supplies	\$55.00
Culligan Water System	Sept Serv	\$12.56
Dallas County Treasurer	Aug Protection	\$18,924.51
Dan Brubaker Enterprises	DD76	\$3,752.50
Davidson, Stella K	Reimbursement	\$350.00
Scott Deaver	Sign	\$1,362.15
Delta Dental	Insurance	\$41.50
Delta Dental	Insurance	\$624.18
Digital Stew Services	Aug Serv	\$195.60
Dirks, Mckenna	Reimbursement	\$59.91
EFTPS	Taxes	\$6,346.81
EFTPS	Taxes	\$4,503.74
Freedom Tire & Auto Center	Tires	\$704.00
Gatehouse- Db Iowa Holdings	Publications	\$350.48
Hawkeye Truck Equipment	Accessories	\$750.00
Heartland Co-Op	Aug Serv	\$2,315.32
HSA Cory, Rochelle	HSA	\$100.00
HSA Riesselman, Cindy	HSA	\$329.00
HSA Schaben, Michele	HSA	\$412.50
HSA Scrivner, April	HSA	\$50.00
HSA Slaughter, Brian	HSA	\$300.00
HSA Tiffany, Joshua	HSA	\$100.00
Iowa Dept of Natural Resources	Renewal	\$1,275.00
Iowa One Call	July Serv	\$61.20
Iowa Parks And Recreation	Renewal	\$65.00
IPERS	IPERS	\$6,245.85
Iron Mountain	Aug Serv	\$103.99
Johnson Controls Fire Protect.	Repairs	\$1,586.73
Karen McCleary	Aug Serv	\$675.00

Keenan, Gary	Services	\$1,200.00
Leaf	Contract	\$165.81
Eddie Leedom	Aug Serv	\$560.04
Linde Gas & Equipment Inc.	Aug Serv	\$42.16
Little, Hannah R	Reimbursement	\$350.00
Little, Haydn N	Reimbursement	\$294.95
Luebke, Nicole E	Reimbursement	\$350.00
Main Street Checks	Supplies	\$139.86
Manatts	Concrete	\$917.50
Marshall McCalley	Services	\$270.00
Menards	Supplies	\$403.11
Mercy Clinics Inc	Services	\$10.00
Mercy College Of Health Science	Services	\$5.00
Merritt Company	Supplies	\$66.45
Micromarking LLC	Books	\$124.45
Micromarking LLC	Books	\$88.98
MidAmerican Energy	Aug Serv	\$7,956.17
Midwest Breathing Air LLC	Testing	\$198.00
Miller, Jake	Refund	\$100.00
Minburn Communications	Sept Serv	\$54.99
Municipal Supply Inc	MXU'S	\$4,437.30
Nationwide Retirement Solutions	Deferred Comp	\$225.00
Nationwide Retirement Solutions	Deferred Comp	\$225.00
Navarro, James	Mural	\$3,687.50
ODP Business Solutions LLC	Supplies	\$62.76
Otis Elevator Company	Maintenance	\$100.00
Overdrive, Inc	Renewal	\$699.21
Cindy Riesselman	Mileage	\$69.43
Rinker Materials	Repairs	\$1,710.00
Rotary Club of Dallas Center	Dues	\$98.33
Treasurer - State of Iowa	Taxes	\$1,525.77
Treasurer - State of Iowa	Taxes	\$2,473.14
Schmitz, Ellie	Reimbursement	\$275.00
Schmitz, Madalyn	Reimbursement	\$274.44
Simmering-Cory/Iowa Codification	Services	\$450.00
Stivers Ford, Inc	2023 FORD F250 SRW	\$48,435.00
Storey Kenworthy/Matt Parrott	Supplies	\$94.48
Trionfo Solutions LLC	July Serv	\$87.32
Trionfo Solutions LLC	Aug Serv	\$137.24
Trugreen And Action Pest Control	Maintenance	\$308.48
UHS Premium Billing	Insurance	\$598.04
UHS Premium Billing	Insurance	\$11,262.72
Unplugged Wireless	Supplies	\$72.00
USA Blue Book	Supplies	\$871.35
Veenstra & Kimm	Aug Serv	\$12,420.46
Verizon Wireless	Aug Serv	\$280.07
Treasurer - State of Iowa	Taxes	\$1,507.12

Waste Management	Aug Serv	\$23,130.30
Waters Edge Aquatic Design	Services	\$1,650.00
Wells Fargo	Aug Payment	\$1,297.56
Woodward, Jill	Murals	\$1,140.00
Buse & Vrieze LLC	Tree Removal	\$6,335.00
	Accounts Payable Total	<u>\$201,747.93</u>
	General	\$91,303.90
	T&A (SC)	\$1,000.00
	Capital Improvement	\$15,699.00
	RUT	\$35,135.33
	T&A (EB)	\$12,671.98
	CAP Improve Pool	\$4,950.00
	CAP Improve Cross Streets	\$4,000.66
	Water	\$17,704.65
	Water Capital Outlay	\$720.00
	Sewer	\$12,955.67
	Storm District	\$1,854.24
	Drainage District 76	\$3,752.50
	Total Funds	<u>\$201,747.93</u>

Revenues

General Total	\$ 55,307.69
T&A(FT) Total	\$ 44.50
T&A(SC) Total	\$ 2,009.56
Capital Improvement Total	\$ 550.21
T&A(SL) Total	\$ 18.97
RUT Total	\$ 21,524.86
T&A(EB) Total	\$ 144.14
Local Option Sales Tax Total	\$ 58,134.04
TIF Total	\$ 16.40
Trees Total	\$ 38.40
Burnett Project Total	\$ 71.53
Debt Service Total	\$ 21,298.34
CAP Improve Pool Total	\$ 237,500.00
T&A(B) Total	\$ 7.80
T&A(Y) Total	\$ 4.63
Water Total	\$ 49,841.84
Sewer Total	\$ 42,025.19
Storm District Total	\$ 5,308.99
Drainage District 76 Total	\$ 34,324.09
Total Revenue By Fund	<u>\$ 528,171.18</u>

The Dallas Center City Council met in special session on September 26, 2023 at 7:30 am. Mayor Beyer called the meeting to order. Council members present included Ryan Coon and Daniel Willrich. Council members Amy Strutt, Ryan Coon and Angie Beaudet were present via Zoom. Motion by Kluss, 2nd by Willrich to approve the agenda. Motion passed 5-0.

Motion by Kluss, 2nd by Coon to approve hiring Christian Nolte as a Public Works Operations Specialist at \$25/hour effective October 9, 2023 pending background check and drug screening. Motion passed, 5-0

The meeting adjourned at approximately 7:31 pm.

Shellie Schaben, City Clerk

TREASURER'S REPORT
CALENDAR 9/2023, FISCAL 3/2024

FUND	LAST REPORT ON HAND	REVENUES	EXPENSES	CHANGE IN LIABILITY	ENDING BALANCE
001 GENERAL	438,259.62	138,869.64	97,233.59	.00	479,895.67
011 T&A (PD) BENEVOLENT	.00	.00	.00	.00	.00
015 T&A(FT)	416,389.22	47.02	.00	.00	416,436.24
021 T&A(SC)	14,596.62	1,010.11	1,000.00	.00	14,606.73
029 CAPITAL IMPROVEMENT	264,472.05	551.24	750.00	.00	264,273.29
041 T&A(SL)	9,117.65	29.34	.00	.00	9,146.99
110 RUT	215,781.11	30,170.49	1,649.33	.00	244,302.27
112 T&A(EB)	78,787.56	13,215.11	17,227.48	.00	74,775.19
119 EMERGENCY LEVY FUND	.00	3,251.92	.00	.00	3,251.92
121 LOCAL OPTION SALES TAX	67,079.74	55,802.12	16,055.11	.00	106,826.75
125 TIF	7,882.90	15,372.74	4,923.25	.00	18,332.39
161 TREES	18,459.82	40.59	.00	.00	18,500.41
166 T&A(REC PROGRAM) REV	.00	.00	.00	.00	.00
167 BURNETT PROJECT	109,384.74	75.59	.00	.00	109,460.33
168 T&A(BC)	.00	.00	.00	.00	.00
169 T&A(BURNETT CAP IMPROVE)	.00	.00	.00	.00	.00
177 T&A(PD)	.00	.00	.00	.00	.00
180 REC TRAIL	.00	.00	.00	.00	.00
200 DEBT SERVICE	153,803.89	43,318.63	.00	.00	197,122.52
301 CAP IMPROVE WASTEWATER	.00	.00	.00	.00	.00
305 PLAYGROUND EQUIPMENT	.00	.00	.00	.00	.00
308 CAP IMPROVE - LIBRARY	.00	.00	.00	.00	.00
309 CAP IMPROVE POOL	77,976.35-	.00	4,950.00	.00	82,926.35-
310 CAP IMPRV-AMERICAN RESCUE	.00	.00	.00	.00	.00
311 CAP IMPROVE CROSS STREETS	.00	.00	4,000.66	.00	4,000.66-
501 T&A(B)	15,746.86	8.24	.00	.00	15,755.10
502 T&A(Y)	12,226.28	4.89	.00	.00	12,231.17
600 WATER	507,217.38	48,261.96	24,135.18	.00	531,344.16
602 WATER CAPITAL OUTLAY	49,908.41	.00	720.00	.00	49,188.41
610 SEWER	650,895.94	39,267.74	17,080.59	.00	673,083.09
740 STORM DISTRICT	89,370.11	25,129.26	1,854.24	.00	112,645.13
760 DRAINAGE DISTRICT 76	17,824.09	10,934.58	23,764.17	.00	4,994.50
Report Total	3,059,227.64	425,361.21	215,343.60	.00	3,269,245.25

BALANCE SHEET
CALENDAR 9/2023, FISCAL 3/2024

ACCOUNT NUMBER	ACCOUNT TITLE	MTD BALANCE	YTD BALANCE
001-000-1110	CHECKING-GENERAL	8,724.20-	15,570.84
011-000-1110	CHECKING-T&A(PD) BENEVOLENT	.00	.00
015-000-1110	CHECKING-T&A(FT)	.00	.00
021-000-1110	CHECKING-T&A(SC)	.00	.00
029-000-1110	CHECKING-DEPR POLICE	.00	.00
029-000-1111	CHECKING-DEPR NON RUT EQUIP	.00	.00
029-000-1112	CHECKING-DEPR PARK	.00	.00
029-000-1113	CHECKING-DEPR SWIM POOL	.00	.00
029-000-1114	CHECKING-DEPR P/W BLDG	.00	.00
029-000-1115	CHECKING-DEPR FD EQUIP	.00	.00
029-000-1116	CHECKING-DEPR MEMORIAL HALL	.00	.00
041-000-1110	CHECKING-T&A(SL)	6.25	6.25
110-000-1110	CHECKING-RUT	.00	.00
110-000-1111	CHECKING-DEPR RUT EQUIP	.00	.00
110-000-1112	CHECKING-SIDEWALK PROJ	.00	.00
112-000-1110	CHECKING-T&A(EB)	4,164.68-	5,341.03
119-000-1110	CHECKING-EMERG LEVY	.00	.00
121-000-1110	CHECKING-LOST	.00	.00
121-000-1112	CHECKING-LOST SWIM POOL	.00	.00
125-000-1110	CHECKING-TIF	.00	.00
161-000-1110	CHECKING-TREE FUND	.00	.00
166-000-1110	CHECKING-T&A(REC PROGRAM)	.00	.00
167-000-1110	CHECKING-T&A(BURNETT REC)	.00	.00
167-000-1111	CHECKING-T&A(BURNETT REC/POOL)	.00	.00
168-000-1110	CHECKING-T&A(BURNETT LIBRARY)	.00	.00
169-000-1110	CHECKING-T&A(BURNETT CAP IMP)	.00	.00
180-000-1110	CHECKING-REC TRAIL	.00	.00
200-000-1110	CHECKING-DEBT SERVICE	.00	.00
305-000-1110	CHECKING-PLAYGROUND EQUIP	.00	.00
307-000-1110	CHECKING-2012 HWY 44 TURN LANE	.00	.00
301-000-1110	CHECKING-CAP IMPROVE SEWER	.00	.00
308-000-1110	CHECKING-CAP IMPROVE - LIBRARY	.00	.00
309-000-1110	CHECKING-CAP IMPROVE POOL	.00	.00
310-000-1110	CHECKING-CAP IMPRV ARPA	.00	.00
311-000-1110	CHECKING-CAP IMPROVE CROSS STR	.00	.00
501-000-1110	CHECKING-T&A(B)	.00	.00
502-000-1110	CHECKING-T&A(Y)	.00	.00
600-000-1110	CHECKING-WATER	3,366.98	15,938.51
600-000-1111	CHECKING-WATER SINKING	.00	.00
600-000-1112	CHECKING-T&A(M)	.00	.00
600-000-1113	CHECKING-WATER IMPROVEMENT	.00	.00
600-000-1114	CHECKING-WATER RESERVE	.00	.00
602-000-1110	CHECKING-WATER CAP OUTLAY	.00	.00
610-000-1110	CHECKING-SEWER	3,780.28-	16,351.58
610-000-1111	CHECKING-SEWER SINKING	.00	.00
610-000-1112	CHECKING-SEWER RESERVE	.00	.00
610-000-1113	CHECKING-SEWER IMPROVEMENT	.00	.00
740-000-1110	CHECKING-STORM DISTRICT	1,976.86-	3,142.93
760-000-1110	CHECKING-DRAINAGE DISTRICT 76	.00	.00
	CHECKING TOTAL	15,272.79-	56,351.14

BALANCE SHEET
CALENDAR 9/2023, FISCAL 3/2024

ACCOUNT NUMBER	ACCOUNT TITLE	MTD BALANCE	YTD BALANCE
001-000-1120	PETTY CASH	.00	100.00
	PETTY CASH TOTAL	.00	100.00
001-000-1160	SAVINGS-GENERAL	50,360.25	164,224.83
011-000-1160	SAVINGS-T&A(PD) BENEVOLENT	.00	.00
015-000-1160	SAVINGS-T&A(FT)	47.02	21,436.24
021-000-1160	SAVINGS-T&A(SC)	10.11	4,606.73
029-000-1160	SAVINGS-DEPR POLICE	.00	.00
029-000-1161	SAVINGS-DEPR NON RUT EQUIP	659.90-	41,072.00
029-000-1162	SAVINGS-DEPR PARK	4.56	2,079.55
029-000-1163	SAVINGS-DEPR SWIM POOL	.00	.00
029-000-1164	SAVINGS-DEPR P/W BLDG	396.35	193,669.04
029-000-1165	SAVINGS-DEPR FIRE	53.49	24,382.19
029-000-1166	SAVINGS-DEPR MEMORIAL HALL	6.74	3,070.51
041-000-1160	SAVINGS-T&A(SL)	23.09	9,140.74
110-000-1160	SAVINGS-RUT	28,451.20	182,409.78
110-000-1161	SAVINGS-DEPR RUT EQUIP	69.96	31,892.49
110-000-1162	SAVINGS-SIDEWALK PROJ	.00	.00
112-000-1160	SAVINGS-T&A(EB)	152.31	69,434.16
119-000-1160	SAVINGS-EMERG LEVY	3,251.92	3,251.92
121-000-1160	SAVINGS-LOST	39,747.01	106,826.75
121-000-1162	SAVINGS-LOST SWIM POOL	.00	.00
121-000-1163	SAVINGS-LOST SINKING	.00	.00
125-000-1160	SAVINGS-TIF	10,449.49	18,332.39
161-000-1160	SAVINGS-TREE FUND	40.59	18,500.41
166-000-1160	SAVINGS-T&A(REC PROGRAM)	.00	.00
167-000-1160	SAVINGS-T&A(BURNETT REC)	75.59	34,460.33
167-000-1161	SAVINGS-T&A(BURNETT REC/POOL)	.00	.00
168-000-1160	SAVINGS-T&A(BURNETT LIBRARY)	.00	.00
169-000-1160	SAVINGS-T&A(BURNETT CAP IMP)	.00	.00
177-000-1160	SAVINGS-T&A(PD)FORFEITURE	.00	.00
180-000-1160	SAVINGS-REC TRAIL	.00	.00
200-000-1160	SAVINGS-DEBT SERV	43,318.63	197,122.52
305-000-1160	SAVINGS-PLAYGROUND EQUIP	.00	.00
307-000-1160	SAVINGS-2012 HWY 44 TURN LANE	.00	.00
301-000-1160	SAVINGS-CAP IMPROVE SEWER	.00	.00
308-000-1160	SAVINGS-CAP IMPROVE - LIBRARY	.00	.00
309-000-1160	SAVINGS-CAP IMPROVE POOL	4,950.00-	82,926.35-
310-000-1160	SAVINGS-CAP IMPRV ARPA	.00	.00
311-000-1160	SAVINGS-CAP IMPROVE CROSS STRT	4,000.66-	4,000.66-
501-000-1160	SAVINGS-T&A(B)	8.24	3,755.10
502-000-1160	SAVINGS-T&A(Y)	4.89	2,231.17
600-000-1160	SAVINGS-WATER	10,681.42	313,023.67
600-000-1161	SAVINGS-WATER SINKING	10,078.38	37,840.42
600-000-1162	SAVINGS-T&A(M)	.00	4,053.88
600-000-1163	SAVINGS-WATER IMPROVEMENT	.00	10,487.68
600-000-1164	SAVINGS-WATER RESERVE	.00	.00
602-000-1160	SAVINGS-WATER CAP OUTLAY	720.00-	49,188.41
610-000-1160	SAVINGS-SEWER	9,645.76	368,940.17

BALANCE SHEET
CALENDAR 9/2023, FISCAL 3/2024

ACCOUNT NUMBER	ACCOUNT TITLE	MTD BALANCE	YTD BALANCE
610-000-1161	SAVINGS-SEWER SINKING	16,321.67	64,448.68
610-000-1162	SAVINGS-SEWER RESERVE	.00	.00
610-000-1163	SAVINGS-SEWER IMPROVEMENT	.00	13,342.66
740-000-1160	SAVINGS-STORM DISTRICT	25,251.88	109,502.20
760-000-1160	SAVINGS-DRAINAGE DISTRICT 76	12,829.59-	4,994.50
	SAVINGS TOTAL	225,290.40	2,020,794.11
001-000-1170	CD#48375-GENERAL	.00	250,000.00
001-000-1171	CD#48956-GENERAL	.00	50,000.00
015-000-1170	CD#48956-T&A (FT)	.00	240,000.00
015-000-1171	CD#48375-T&A (FT)	.00	155,000.00
021-000-1170	CD#48956-T&A (SC)	.00	10,000.00
029-000-1170	CD-DEPR POLICE	.00	.00
029-000-1171	CD-DEPR NON RUT EQUIP	.00	.00
029-000-1172	CD-DEPR PARK	.00	.00
029-000-1173	CD-DEPR SWIM POOL	.00	.00
029-000-1174	CD-DEPR P/W BLDG	.00	.00
029-000-1175	CD#-DEPR P/W BLDG	.00	.00
029-000-1176	CD-DEPR FIRE	.00	.00
110-000-1170	CD-RUT	.00	.00
110-000-1171	CD#48375-DEPR RUT EQUIP	.00	30,000.00
121-000-1172	CD-LOST SWIM POOL	.00	.00
121-000-1173	CD-LOST SWIM POOL	.00	.00
167-000-1170	CD#48375-T&A(BURNETT REC)	.00	75,000.00
167-000-1171	CD-T&A(BURNETT REC/POOL)	.00	.00
167-000-1172	CD-T&A(BURNETT REC)	.00	.00
168-000-1170	CD-T&A(BURNETT LIBRARY)	.00	.00
169-000-1170	CD-T&A(BURNETT CAP IMPR)	.00	.00
169-000-1171	CD-T&A(BURNETT CAP IMPR)	.00	.00
308-000-1170	CD-CAP IMPROVE LIBRARY	.00	.00
310-000-1170	CD-CAP IMPRV ARPA	.00	.00
501-000-1170	CD#48375-T&A(B)	.00	12,000.00
502-000-1170	CD#45375-T&A(Y)	.00	10,000.00
600-000-1170	CD#48375-WATER	.00	100,000.00
600-000-1171	CD#48956-WATER	.00	50,000.00
610-000-1170	CD#48956-SEWER	.00	200,000.00
610-000-1171	CD#48375-SEWER	.00	10,000.00
	CD'S TOTAL	.00	1,192,000.00
	TOTAL CASH	210,017.61	3,269,245.25

BUDGET REPORT
CALENDAR 9/2023, FISCAL 3/2024

PCT OF FISCAL YTD 25.0%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT EXPENDED
001-110-6010	POLICE-WAGES	.00	.00	.00	.00
001-110-6181	POLICE-CLOTHING	.00	.00	.00	.00
001-110-6210	POLICE-DUES,M'SHIPS, SPE	.00	.00	.00	.00
001-110-6230	POLICE-TRAINING	.00	.00	.00	.00
001-110-6310	POLICE-OFFICE RENTAL/MAI	.00	.00	.00	.00
001-110-6331	POLICE-VEHICLE OPERATION	.00	.00	.00	.00
001-110-6332	POLICE-VEHICLE/EQUIP REP	.00	.00	.00	.00
001-110-6371	POLICE-UTILITIES	.00	.00	.00	.00
001-110-6373	POLICE-TELEPHONE	.00	.00	.00	.00
001-110-6413	POLICE-PAYMENTS OTHER AG	164,843.00	13,778.59	41,006.44	24.88
001-110-6419	POLICE-TECHNOLOGY SERVIC	.00	.00	.00	.00
001-110-6499	POLICE-RESERVE OFFICERS	.00	.00	.00	.00
001-110-6505	POLICE-PIONEER GRANT	.00	.00	.00	.00
001-110-6506	POLICE-OFFICE SUPPLIES	.00	.00	.00	.00
001-110-6507	POLICE-OPERATING SUPPLIE	.00	.00	.00	.00
001-110-6599	POLICE-PUBLIC RELATIONS	.00	.00	.00	.00
011-110-6599	T&A(PD) BENEVOLENT	.00	.00	.00	.00
029-110-6799	DEPR-POLICE EXPENSE	.00	.00	.00	.00
112-110-6110	POLICE-FICA	10,365.00	863.76	2,566.08	24.76
112-110-6130	POLICE-IPERS	12,546.00	1,045.54	3,106.12	24.76
112-110-6150	POLICE-GROUP INSURANCE	36,972.00	3,081.00	9,242.21	25.00
112-110-6155	POLICE-CITY SHARE HSA	.00	.00	.00	.00
112-110-6160	POLICE-WORKER'S COMP	1,078.00	89.82	269.46	25.00
112-110-6170	POLICE-UNEMPLOYMENT	190.00	15.80	47.40	24.95
112-110-6181	POLICE-UNIFORM ALLOWANCE	600.00	50.00	150.00	25.00
177-110-6505	T&A(PD)-FORFEITURES EXPE	.00	.00	.00	.00
	POLICE TOTAL	226,594.00	18,924.51	56,387.71	24.88
001-150-6010	FIRE DEPT-SALARIES	10,000.00	.00	2,190.00	21.90
001-150-6150	FIRE DEPT-GROUP INSURANC	.00	.00	.00	.00
001-150-6210	FIRE DEPT-DUES	500.00	.00	.00	.00
001-150-6230	FIRE DEPT-TRAINING	5,000.00	15.00	15.00	.30
001-150-6310	FIRE DEPT-BUILDING MAINT	10,000.00	.00	889.92	8.90
001-150-6331	FIRE DEPT-VEHICLE OPERAT	3,000.00	190.51	824.15	27.47
001-150-6332	FIRE DEPT-VEHICLE MAINT/	11,000.00	113.94	2,259.47	20.54
001-150-6373	FIRE DEPT-TELEPHONE	1,800.00	134.87	409.67	22.76
001-150-6412	FIRE DEPT-HEALTH/FITNESS	1,000.00	.00	.00	.00
001-150-6415	FIRE DEPT-HYDRANT RENT	.00	.00	.00	.00
001-150-6419	FIRE DEPT-TECHNOLOGY SER	5,000.00	352.31	753.82	15.08
001-150-6505	FIRE DEPT-PAGERS/REPAIRS	4,000.00	.00	46.00	1.15
001-150-6507	FIRE DEPT-OPERATING SUPP	3,000.00	42.16	190.35	6.35
001-150-6599	FIRE DEPT-REPAIRS/SUPP N	18,000.00	270.00	1,294.15	7.19
015-150-6505	T&A(FT)-EXPENSES	.00	.00	.00	.00
029-150-6504	DEPR-FD MINOR EQUIPMENT	.00	.00	.00	.00
112-150-6110	FIRE-FICA	765.00	.00	167.58	21.91
112-150-6130	FIRE-IPERS	200.00	.00	.93	.47
112-150-6150	FIRE-GROUP INSURANCE	.00	.00	.00	.00
112-150-6155	FIRE-CITY SHARE HSA	.00	.00	.00	.00
112-150-6160	FIRE-WORKER'S COMP	7,920.00	.00	.00	.00
	FIRE TOTAL	81,185.00	1,118.79	9,041.04	11.14
001-170-6407	BUILDING INSPECTION-FEES	50,000.00	2,829.80	4,129.40	8.26
	BUILDING INSPECTIONS TOT	50,000.00	2,829.80	4,129.40	8.26

BUDGET REPORT
CALENDAR 9/2023, FISCAL 3/2024

PCT OF FISCAL YTD 25.0%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT EXPENDED
001-190-6499	ANIMAL CONTROL-EXPENSES	400.00	.00	84.35	21.09
	ANIMAL CONTROL TOTAL	400.00	.00	84.35	21.09
	PUBLIC SAFETY TOTAL	358,179.00	22,873.10	69,642.50	19.44
001-210-6010	STREETS-WAGES	40,061.00	3,101.80	9,305.40	23.23
001-210-6210	STREETS-DUES	200.00	98.33	98.33	49.17
001-210-6230	STREETS-EDUCATION/TRAINI	.00	220.00	220.00	.00
001-210-6332	STREETS-VEHICLE MAINT	.00	.00	.00	.00
001-210-6417	STREETS-PROJECTS	.00	.00	.00	.00
001-210-6419	STREETS-TECHNOLOGY SERV	2,200.00	30.01	690.03	31.37
001-210-6499	STREETS-CONTRACT LABOR	900.00	.00	.00	.00
001-210-6507	STREETS-SUPPLIES R16	.00	9.00	9.00	.00
001-210-6599	STREETS-MISC SUPPLIES	1,300.00	12.00	12.00	.92
021-210-6417	T&A(SC)-REFUNDS	1,000.00	1,000.00	5,000.00	500.00
029-210-6710	DEPR-NON RUT EQUIP	.00	750.00	15,699.00	.00
110-210-6331	RUT-VEHICLE OPERATIONS	3,000.00	297.64	912.53	30.42
110-210-6407	RUT-ENGINEERING	.00	.00	.00	.00
110-210-6408	RUT-LIABILITY INSURANCE	.00	.00	.00	.00
110-210-6417	RUT-STREET REPAIRS/MAINT	299,100.00	.00	.00	.00
110-210-6425	RUT-SIDEWALK IMPROVEMENT	1,000.00	.00	272.00	27.20
110-210-6490	RUT-FAIR VIEW DR SIDEWAL	.00	.00	.00	.00
110-210-6504	RUT-STREET EQUIP	.00	.00	.00	.00
110-210-6710	RUT-DEPR EQUIP EXPENSES	.00	.00	33,486.00	.00
112-210-6110	STREETS-FICA	3,065.00	237.25	742.38	24.22
112-210-6130	STREETS-IPERS	3,610.00	291.47	894.89	24.79
112-210-6150	STREETS-GROUP INSURANCE	9,618.00	1,067.17	3,195.18	33.22
112-210-6155	STREETS-CITY SHARE HSA	2,536.00	37.00	118.52	4.67
112-210-6160	STREETS-WORKER'S COMP	5,720.00	.00	.00	.00
112-210-6170	STREETS-UNEMPLOYMENT	.00	.00	.00	.00
112-210-6181	STREETS-UNIFORM ALLOWANC	800.00	.00	400.00	50.00
	ROADS, BRIDGES, SIDEWALK	374,110.00	7,151.67	71,055.26	18.99
110-230-6371	RUT-STREET LIGHTS	22,000.00	1,351.69	4,053.34	18.42
110-230-6509	RUT-STREET SIGNS	3,000.00	.00	44.40	1.48
	STREET LIGHTING TOTAL	25,000.00	1,351.69	4,097.74	16.39
110-250-6331	RUT-SNOW REM VEHICLE OPE	3,500.00	.00	.00	.00
110-250-6332	RUT-SNOW REM VEHICLE REP	4,500.00	.00	.00	.00
110-250-6499	RUT-SNOW REM CONTRACT LA	4,000.00	.00	.00	.00
110-250-6599	RUT-SNOW REM SUPPLIES	15,000.00	.00	487.78	3.25
	SNOW REMOVAL TOTAL	27,000.00	.00	487.78	1.81
001-290-6010	GARBAGE-WAGES	23,450.00	1,678.73	4,876.80	20.80
001-290-6411	GARBAGE-COURT CLAIMS	2,195.00	.00	.00	.00
001-290-6418	GARBAGE-SALES TAX	7,000.00	517.06	1,551.16	22.16
001-290-6499	GARBAGE-FEES	272,950.00	23,130.30	68,764.18	25.19
001-290-6506	GARBAGE-OFFICE SUPPLIES	1,200.00	31.49	185.45	15.45
001-290-6508	GARBAGE-POSTAGE	1,500.00	.00	1,400.00	93.33
112-290-6110	GARBAGE-FICA	1,794.00	128.41	373.03	20.79
112-290-6130	GARBAGE-IPERS	2,214.00	158.48	460.40	20.79
112-290-6150	GARBAGE-GROUP INSURANCE	9,741.00	717.52	2,152.20	22.09
112-290-6155	GARBAGE-CITY SHARE HSA	1,500.00	27.41	80.37	5.36

BUDGET REPORT
CALENDAR 9/2023, FISCAL 3/2024

PCT OF FISCAL YTD 25.0%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT EXPENDED
	GARBAGE TOTAL	323,544.00	26,389.40	79,843.59	24.68
001-299-6010	GARAGE-WAGES	22,051.00	1,840.05	5,520.17	25.03
001-299-6310	GARAGE-BUILDING REPAIRS	10,000.00	.00	1,705.00	17.05
001-299-6331	GARAGE-VEHICLE OPERATION	3,500.00	297.64	912.53	26.07
001-299-6332	GARAGE-VEHICLE REPAIRS	14,000.00	1,279.00	2,954.01	21.10
001-299-6371	GARAGE-UTILITIES	3,500.00	95.57	189.44	5.41
001-299-6373	GARAGE-TELEPHONE	.00	.00	.00	.00
001-299-6399	GARAGE-MINOR REPAIRS/MAI	4,500.00	.00	521.00	11.58
001-299-6490	STREET TREES	28,000.00	6,335.00	6,335.00	22.63
001-299-6507	GARAGE-OPERATING SUPPLIE	8,000.00	73.45	447.83	5.60
029-299-6799	DEPR-P/W BLDG EXPENSE	245,000.00	.00	.00	.00
112-299-6110	GARAGE-FICA	1,687.00	140.75	422.25	25.03
112-299-6130	GARAGE-IPERS	2,082.00	172.63	507.45	24.37
112-299-6150	GARAGE-GROUP INSURANCE	6,533.00	756.89	2,261.09	34.61
112-299-6155	GARAGE-CITY SHARE HSA	918.00	24.00	69.08	7.53
112-299-6160	GARAGE-WORKER'S COMP	2,000.00	.00	.00	.00
	OTHER PUBLIC WORKS TOTAL	351,771.00	11,014.98	21,844.85	6.21
	PUBLIC WORKS TOTAL	1,101,425.00	45,907.74	177,329.22	16.10
001-350-6501	MOSQUITO SPRAYING-FEES	8,600.00	.00	.00	.00
	WATER,AIR,MOSQUITO CONTR	8,600.00	.00	.00	.00
001-399-6590	COVID-19 EXPENSES	.00	.00	.00	.00
	OTHER HEALTH/SOCIAL SERV	.00	.00	.00	.00
	HEALTH & SOCIAL SERVICES	8,600.00	.00	.00	.00
001-410-6010	LIBRARY-WAGES	93,769.00	6,636.21	20,036.41	21.37
001-410-6230	LIBRARY-TRAINING/EDUCATI	250.00	.00	.00	.00
001-410-6310	LIBRARY-BLDG REPAIR/MAIN	8,000.00	2,031.71	3,803.89	47.55
001-410-6320	LIBRARY-GROUNDS MAINT	500.00	92.25	92.25	18.45
001-410-6340	LIBRARY-COMPUTER MAINT	6,000.00	270.00	369.98	6.17
001-410-6371	LIBRARY-UTILITIES	14,000.00	624.87	1,778.06	12.70
001-410-6373	LIBRARY-TELEPHONE	4,000.00	307.91	933.83	23.35
001-410-6390	LIBRARY-DALLAS CO FOUND	.00	.00	.00	.00
001-410-6419	LIBRARY-TECHNOLOGY SERV	1,600.00	.00	331.62	20.73
001-410-6502	LIBRARY-BOOKS	16,000.00	1,491.63	3,068.17	19.18
001-410-6505	LIBRARY-OFFICE FURNITURE	2,000.00	.00	.00	.00
001-410-6507	LIBRARY-SUPPLIES/PROG/DU	6,500.00	346.38	729.05	11.22
001-410-6508	LIBRARY-POSTAGE	500.00	5.14	109.14	21.83
001-410-6599	LIBRARY-EQUIPMENT	.00	.00	.00	.00
041-410-6502	T&A(SL)-EXPENSES	.00	.00	.00	.00
112-410-6110	LIBRARY-FICA	7,173.00	507.67	1,532.79	21.37
112-410-6130	LIBRARY-IPERS	8,852.00	626.47	1,891.46	21.37
112-410-6150	LIBRARY-GROUP INSURANCE	28,224.00	1,704.11	5,070.73	17.97
112-410-6155	LIBRARY-CITY SHARE HSA	5,000.00	100.00	300.00	6.00
112-410-6160	LIBRARY-WORKER'S COMP	500.00	.00	.00	.00
121-410-6770	LOST-CAP OUTLAY LIBRARY	.00	.00	.00	.00
168-410-6721	T&A(BURNETT LIBRARY)-EXP	.00	.00	.00	.00

BUDGET REPORT
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PCT OF FISCAL YTD 25.0%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT EXPENDED
501-410-6502	T&A BOOKS-EXPENSE	.00	.00	.00	.00
	LIBRARY TOTAL	202,868.00	14,744.35	40,047.38	19.74
001-430-6010	PARKS-WAGES	52,785.00	4,086.72	16,467.68	31.20
001-430-6210	PARKS-DUES	100.00	65.00	65.00	65.00
001-430-6230	PARKS-EDUCATION/TRAINING	250.00	.00	.00	.00
001-430-6310	PARKS-BLDG MAINT/REPAIR	10,000.00	291.86	552.73	5.53
001-430-6320	PARKS-GROUND MAINT/REPAI	31,000.00	4,226.61	14,322.53	46.20
001-430-6331	PARKS-VEHICLE OPERATION	3,000.00	300.00	920.58	30.69
001-430-6350	PARKS-EQUIP REPAIRS	1,000.00	.00	219.01	21.90
001-430-6371	PARKS-UTILITIES	2,500.00	199.54	550.14	22.01
001-430-6385	PARKS-GRANT EXPENSES	5,000.00	.00	8,000.00	160.00
001-430-6390	PARKS-DALLAS COUNTY FOUN	.00	.00	780.75	.00
001-430-6399	PARKS-PARK EQUIP/MAINT	20,000.00	.00	.00	.00
001-430-6450	PARKS-TREE MAINT	10,000.00	.00	.00	.00
001-430-6460	PARKS-TREES PLEASE GRANT	2,000.00	.00	.00	.00
001-430-6461	PARKS-TREES FOREVER GRAN	1,500.00	1,493.86	1,493.86	99.59
001-430-6495	PARKS-ACTIVITIES	200.00	.00	.00	.00
001-430-6505	PARKS-WELLMARK GRANT	.00	.00	.00	.00
001-430-6507	PARKS-MISC OPERATING SUP	2,000.00	15.00	367.48	18.37
029-430-6720	DEPR-PARK EXPENSES	.00	.00	.00	.00
112-430-6110	PARKS-FICA	4,038.00	312.62	1,259.78	31.20
112-430-6130	PARKS-IPERS	3,849.00	293.73	852.88	22.16
112-430-6150	PARKS-GROUP INSURANCE	6,712.00	256.36	771.43	11.49
112-430-6155	PARKS-CITY SHARE HSA	1,314.00	12.00	34.75	2.64
112-430-6160	PARKS-WORKER'S COMP	1,000.00	.00	.00	.00
112-430-6181	PARKS-UNIFORM ALLOWANCE	400.00	.00	.00	.00
167-430-6320	T&A(BURNETT REC)-PARK IM	80,000.00	.00	31,300.00	39.13
305-430-6505	PLAYGROUND-EXPENSES	.00	.00	.00	.00
	PARKS TOTAL	238,648.00	11,553.30	77,958.60	32.67
001-440-6010	SWIM POOL-WAGES	74,957.00	1,120.07	48,807.89	65.11
001-440-6230	SWIM POOL-TRAINING	2,000.00	350.00	1,610.00	80.50
001-440-6310	SWIM POOL-EQUIP/BLDG REP	5,000.00	.00	169.71	3.39
001-440-6350	SWIM POOL-OPER EQUIP REP	3,000.00	.00	.00	.00
001-440-6371	SWIM POOL-UTILITIES	6,000.00	610.81	2,037.37	33.96
001-440-6373	SWIM POOL-PHONE/DATA/HOT	500.00	67.77	414.72	82.94
001-440-6418	SWIM POOL-SALES TAX	4,000.00	.00	1,732.99	43.32
001-440-6419	SWIM POOL-TECHNOLOGY SER	.00	.00	.00	.00
001-440-6501	SWIM POOL-CHEM/INSPEC	10,000.00	.00	7,486.14	74.86
001-440-6507	SWIM POOL-OPERATING SUPP	3,000.00	215.34	2,904.05	96.80
029-440-6599	DEPR-POOL DONATION EXPEN	.00	.00	.00	.00
029-440-6710	DEPR-SWIM POOL EXPENSES	.00	.00	.00	.00
112-440-6110	SWIM POOL-FICA	5,734.00	85.68	3,733.79	65.12
112-440-6130	SWIM POOL-IPERS	1,412.00	105.20	310.04	21.96
112-440-6150	SWIM POOL-GROUP INS	4,979.00	273.94	821.42	16.50
112-440-6155	SWIM POOL-CITY SHARE HSA	425.00	16.00	46.75	11.00
112-440-6160	SWIM POOL-WORKER'S COMP	1,980.00	.00	.00	.00
166-440-6599	T&A(REC PROGRAM)-EXPENSE	.00	.00	.00	.00
167-440-6801	T&A(BURNETT REC)-PRINCIP	.00	.00	.00	.00
169-440-6750	T&A(BURNETT CAP IMPR)-PA	.00	.00	.00	.00
180-440-6320	REC TRAIL-EXPENSES	.00	.00	.00	.00
180-440-6380	REC TRAIL-PROJ MAIN ST G	.00	.00	.00	.00

BUDGET REPORT
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PCT OF FISCAL YTD 25.0%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT EXPENDED
180-440-6407	REC TRAIL-ENGINEERING	.00	.00	.00	.00
180-440-6499	REC TRAIL-TRAILHEAD ARTW	.00	.00	.00	.00
180-440-6801	REC TRAIL-BURNETT PRINC	.00	.00	.00	.00
180-440-6851	REC TRAIL-BURNETT INT	.00	.00	.00	.00
502-440-6505	T&A YOUTH-EXPENSES	.00	.00	1,477.17	.00
	RECREATION TOTAL	122,987.00	2,844.81	71,552.04	58.18
	CULTURE & RECREATION TOT	564,503.00	29,142.46	189,558.02	33.58
161-510-6450	DEVELOPMENT TREES- EXPEN	.00	.00	.00	.00
	COMMUNITY BEAUTIFICATION	.00	.00	.00	.00
001-520-6210	ECON DEV-DUES	5,000.00	.00	4,752.50	95.05
001-520-6371	ECON DEV-UTILITIES	200.00	130.83	130.83	65.42
001-520-6402	ECON DEV-ADVERTISING/SIG	1,000.00	.00	.00	.00
001-520-6407	ECON DEV-ENGINEERING	10,000.00	1,570.00	1,650.00	16.50
001-520-6413	ECON DEV-PAYMENT OTHER A	10,000.00	.00	8,000.00	80.00
001-520-6470	ECON DEV-COMPLIANCE	8,000.00	693.44	2,847.05	35.59
001-520-6490	ECON DEV-MISC EXPENSE	500.00	.00	.00	.00
001-520-6495	ECON DEV-ACTIVITIES	5,000.00	.00	.00	.00
001-520-6499	ECON DEV-OTHER PROF SERV	.00	.00	.00	.00
001-520-6761	ECON DEV-WALNUT STREET	.00	.00	60.74	.00
125-520-6411	TIF-LEGAL EXPENSES	.00	.00	.00	.00
125-520-6499	TIF-PIONEER REBATE AGREE	.00	.00	.00	.00
125-520-6799	TIF-STREETSCAPE	.00	.00	.00	.00
169-520-6499	T&A(BURNETT CAP IMP)-WAL	.00	.00	.00	.00
	ECONOMIC DEVELOPMENT TOT	39,700.00	2,394.27	17,441.12	43.93
001-540-6371	P&Z-UTILITIES	.00	.00	.00	.00
001-540-6407	P&Z ENGINEERING	20,000.00	.00	.00	.00
001-540-6414	P&Z-PUBLICATIONS	100.00	.00	.00	.00
001-540-6490	P&Z-MISC	300.00	.00	.00	.00
	PLANNING & ZONING TOTAL	20,400.00	.00	.00	.00
	COMMUNITY & ECONOMIC DEV	60,100.00	2,394.27	17,441.12	29.02
001-610-6010	MAYOR/COUNCIL-WAGES	9,600.00	400.00	1,200.00	12.50
001-610-6210	MAYOR/COUNCIL-DUES	3,000.00	.00	2,918.00	97.27
001-610-6230	MAYOR/COUNCIL-TRAINING	300.00	.00	.00	.00
001-610-6401	MAYOR/COUNCIL-AUDITS	20,000.00	.00	.00	.00
001-610-6414	MAYOR/COUNCIL-PUBLICATIO	7,200.00	701.34	1,544.57	21.45
001-610-6419	MAYOR/COUNCIL-TECHNOLOGY	1,500.00	59.94	179.82	11.99
001-610-6490	MAYOR/COUNCIL-BONDS/DUES	3,000.00	.00	.00	.00
001-610-6599	MAYOR/COUNCIL-MISC EXPEN	5,000.00	465.90	505.65	10.11
112-610-6110	MAYOR/COUNCIL-FICA	734.00	30.60	91.80	12.51
112-610-6130	MAYOR/COUNCIL-IPERS	634.00	.00	.00	.00
112-610-6160	MAYOR/COUNCIL-WORKER'S C	.00	.00	.00	.00
	MAYOR/COUNCIL/CITY MGR T	50,968.00	1,657.78	6,439.84	12.64
001-620-6010	CLERK-WAGES	78,780.00	6,536.16	20,260.30	25.72
001-620-6210	CLERK-DUES	300.00	120.00	120.00	40.00
001-620-6230	CLERK-EDUCATION/TRAINING	5,000.00	144.00	653.68	13.07

BUDGET REPORT
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ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT EXPENDED
001-620-6350	CLERK-EQUIPMENT REPAIRS	500.00	.00	.00	.00
001-620-6373	CLERK-TELEPHONE/RADIOS	3,100.00	233.06	718.00	23.16
001-620-6419	CLERK-TECHNOLOGY SERVICE	16,000.00	451.02	1,398.06	8.74
001-620-6490	CLERK-CONTRACT LABOR	1,000.00	.00	.00	.00
001-620-6505	CLERK-OFFICE EQUIP PURCH	5,000.00	.00	.00	.00
001-620-6507	CLERK-MISC OPERATING SUP	4,300.00	236.18	1,087.58	25.29
001-620-6508	CLERK-POSTAGE/BOX RENT	1,500.00	.00	188.00	12.53
112-620-6110	CLERK-FICA	6,027.00	500.03	1,549.95	25.72
112-620-6130	CLERK-IPERS	7,437.00	617.01	1,912.55	25.72
112-620-6150	CLERK-GROUP INSURANCE	35,923.00	2,764.38	8,297.52	23.10
112-620-6155	CLERK-CITY SHARE HSA	4,825.00	116.78	355.92	7.38
112-620-6160	CLERK-WORKER'S COMP	540.00	.00	.00	.00
	CLERK/TREASURER/ADM TOTA	170,232.00	11,718.62	36,541.56	21.47
001-630-6403	ELECTIONS-EXPENSES	1,200.00	.00	.00	.00
	ELECTIONS TOTAL	1,200.00	.00	.00	.00
001-640-6405	ATTORNEY-MISC EXP	3,000.00	133.53	448.53	14.95
001-640-6411	ATTORNEY-RETAINER	36,000.00	3,000.00	9,000.00	25.00
	LEGAL SERVICES/ATTORNEY	39,000.00	3,133.53	9,448.53	24.23
001-650-6310	MEMORIAL HALL-BLDG MAINT	10,000.00	.00	.00	.00
001-650-6320	MEMORIAL HALL-MISC EXPEN	4,000.00	122.56	194.37	4.86
001-650-6371	MEMORIAL HALL-UTILITIES	6,500.00	495.03	1,392.60	21.42
001-650-6373	MEMORIAL HALL-TELEPHONE	600.00	50.00	150.00	25.00
001-650-6399	MEMORIAL HALL-CAPITAL OU	.00	.00	.00	.00
001-650-6409	MEMORIAL HALL-JANITOR SE	4,300.00	260.00	780.00	18.14
001-650-6499	MEMORIAL HALL-ELEV MAINT	1,300.00	100.00	100.00	7.69
	CITY HALL/GENERAL BLDGS	26,700.00	1,027.59	2,616.97	9.80
001-660-6408	GENERAL-LIABILITY INSURA	75,000.00	.00	.00	.00
	TORT LIABILITY TOTAL	75,000.00	.00	.00	.00
001-699-6490	MISC UNALLOCATED REIMB	5,000.00	5.31	5.31	.11
	OTHER GENERAL GOVERNMENT	5,000.00	5.31	5.31	.11
	GENERAL GOVERNMENT TOTAL	368,100.00	17,542.83	55,052.21	14.96
307-210-6407	ENGINEERING	.00	.00	.00	.00
307-210-6499	OTHER CONTRACTUAL SERV	.00	.00	.00	.00
200-210-6801	DS PRINC-2005 STREETS	.00	.00	.00	.00
200-210-6802	DS PRINC-TIF FAIRVIEW	.00	.00	.00	.00
200-210-6803	DS PRINC-2011 STREETS	65,000.00	.00	.00	.00
200-210-6851	DS INT-2005 STREETS	.00	.00	.00	.00
200-210-6852	DS INT-TIF FAIRVIEW	.00	.00	.00	.00
200-210-6853	DS INT-2011 STREETS	12,160.00	.00	.00	.00
200-210-6899	DS BOND-REGISTRATION FEE	600.00	.00	.00	.00
	ROADS, BRIDGES, SIDEWALK	77,760.00	.00	.00	.00
305-430-6385	PLAYGROUND-PRAIRE MDWS G	.00	.00	.00	.00
305-430-6390	PLAYGROUND-DALLAS CNTY G	.00	.00	.00	.00
	PARKS TOTAL	.00	.00	.00	.00
200-440-6804	DS PRINC-2022 POOL	25,000.00	.00	.00	.00
200-440-6854	DS INT-2022 POOL	111,981.00	.00	.00	.00
200-440-6899	DS BOND-REGISTRATION FEE	600.00	.00	.00	.00
	RECREATION TOTAL	137,581.00	.00	.00	.00

BUDGET REPORT
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PCT OF FISCAL YTD 25.0%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT EXPENDED
200-815-6801	DS PRINC-2001 EDS	.00	.00	.00	.00
200-815-6802	DS PRINC-2001 SRF	.00	.00	.00	.00
200-815-6803	DS PRINC-2020 SRF	46,000.00	.00	.00	.00
200-815-6851	DS INT-2001 EDS	.00	.00	.00	.00
200-815-6852	DS INT-2001 SRF	.00	.00	.00	.00
200-815-6853	DS INT-2020 SRF	15,628.00	.00	.00	.00
200-815-6899	DS BOND-REGISTRATIONS FE	2,233.00	.00	.00	.00
	SEWER/SEWAGE DISPOSAL TO	63,861.00	.00	.00	.00
200-865-6801	DS PRINC-2016 SW STORM	150,000.00	.00	.00	.00
200-865-6851	DS INT-2016 SW STORM	65,720.00	.00	.00	.00
200-865-6899	DS BOND-REGISTRATION	600.00	.00	.00	.00
	STORM DISTRICT TOTAL	216,320.00	.00	.00	.00
	DEBT SERVICE TOTAL	495,522.00	.00	.00	.00
311-210-6407	CAP IMPR CROSS STS-ENGIN	50,000.00	4,000.66	4,000.66	8.00
311-210-6411	CAP IMPR CROSS STS-LEGAL	.00	.00	.00	.00
311-210-6490	CAP IMPR CROSS STS-BOND	.00	.00	.00	.00
311-210-6761	CAP IMPR CROSS STS-EXPEN	100,000.00	.00	.00	.00
	ROADS, BRIDGES, SIDEWALK	150,000.00	4,000.66	4,000.66	2.67
308-410-6770	CAP IMPROVEMENT LIBRARY-	.00	.00	.00	.00
	LIBRARY TOTAL	.00	.00	.00	.00
309-440-6407	CAP IMPROVE POOL-ENGINEE	55,000.00	4,950.00	24,362.71	44.30
309-440-6490	CAP IMPROVE POOL-BOND EX	.00	.00	.00	.00
309-440-6797	CAP IMPROVE POOL-BOCK GR	.00	.00	.00	.00
309-440-6798	CAP IMPROVE POOL-CAT GRA	250,000.00	.00	10,018.00	4.01
309-440-6799	CAP IMPROVE POOL-EXPENSE	1,200,000.00	.00	649,086.03	54.09
	RECREATION TOTAL	1,505,000.00	4,950.00	683,466.74	45.41
310-750-6374	CAP IMPRV ARPA-EXPENSES	.00	.00	.00	.00
	CAPITAL PROJECTS TOTAL	.00	.00	.00	.00
	CAPITAL PROJECTS TOTAL	1,655,000.00	8,950.66	687,467.40	41.54
600-810-6010	WATER-WAGES	104,848.00	8,033.48	23,941.10	22.83
600-810-6110	WATER-FICA	8,021.00	614.53	1,861.99	23.21
600-810-6130	WATER-IPERS	9,898.00	754.99	2,249.12	22.72
600-810-6150	WATER-GROUP INSURANCE	29,133.00	1,961.11	5,876.38	20.17
600-810-6155	WATER-CITY SHARE HSA	3,239.00	108.41	314.50	9.71
600-810-6160	WATER-WORKER'S COMP	3,200.00	.00	.00	.00
600-810-6181	WATER-UNIFORM ALLOWANCE	400.00	.00	400.00	100.00
600-810-6210	WATER-DUES	1,500.00	.00	269.17	17.94
600-810-6230	WATER-TRAINING	1,500.00	.00	.00	.00
600-810-6310	WATER-EQUIP/REPAIRS/MAIN	50,000.00	6,196.60	8,188.74	16.38
600-810-6320	WATER-WELL MAINTENANCE	25,000.00	.00	1,900.00	7.60
600-810-6331	WATER-VEHICLE OPERATIONS	2,000.00	127.56	391.08	19.55
600-810-6332	WATER-VEHICLE REPAIRS	500.00	.00	.00	.00
600-810-6340	WATER-OFFICE EQUIP	.00	.00	.00	.00
600-810-6350	WATER-CAPITAL PROJECTS	10,000.00	.00	.00	.00
600-810-6371	WATER-UTILITIES	25,000.00	2,717.50	7,214.77	28.86

BUDGET REPORT
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PCT OF FISCAL YTD 25.0%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT EXPENDED
600-810-6373	WATER-TELEPHONE	.00	.00	.00	.00
600-810-6374	T&A(M)DEPOSIT REFUND	13,000.00	716.76	2,848.98	21.92
600-810-6401	WATER-AUDIT	.00	.00	.00	.00
600-810-6407	WATER-ENGINEERING	30,000.00	.00	.00	.00
600-810-6408	WATER-INSURANCE	18,650.00	.00	.00	.00
600-810-6411	WATER-LEGAL	10,000.00	.00	.00	.00
600-810-6418	WATER-SALES TAX EXPENSE	29,870.00	2,547.16	7,404.60	24.79
600-810-6419	WATER-TECHNOLOGY SERVICE	8,000.00	51.93	755.79	9.45
600-810-6499	WATER-TESTS	6,500.00	231.75	763.35	11.74
600-810-6501	WATER-SALT/CHEMICALS	20,000.00	.00	595.10	2.98
600-810-6506	WATER-OFFICE SUPPLIES	1,800.00	62.09	265.10	14.73
600-810-6507	WATER-OPERATING SUPPLIES	4,000.00	6.00	158.86	3.97
600-810-6508	WATER-POSTAGE	1,500.00	.00	.00	.00
600-810-6599	WATER-MISC EXP	2,500.00	5.31	5.31	.21
600-810-6780	WATER-CAPITAL IMPROVEMEN	.00	.00	.00	.00
600-810-6801	WATER DEBT-PRINC 1996	.00	.00	.00	.00
600-810-6802	WATER DEBT PRINC 1999	.00	.00	.00	.00
600-810-6803	WATER DEBT-PRINC 2008 WT	.00	.00	.00	.00
600-810-6854	WATER DEPT-INT 2008 WTR	.00	.00	.00	.00
600-810-6805	WATER DEBT-PRINC 2021	112,000.00	.00	.00	.00
600-810-6851	WATER DEBT-INT 1996	.00	.00	.00	.00
600-810-6852	WATER DEBT-INT 1999	.00	.00	.00	.00
600-810-6855	WATER DEBT-INT 2021	8,341.00	.00	.00	.00
600-810-6899	WATER-BOND REGISTRATION	500.00	.00	600.00	120.00
602-810-6407	WATER CAP OUTLAY-ENGINEE	12,604.91	720.00	1,870.00	14.84
602-810-6780	WATER CAP OUTLAY-UTIL SY	50,000.00	.00	.00	.00
	WATER TOTAL	603,504.91	24,855.18	67,873.94	11.25
610-815-6010	SEWER-WAGES	97,547.00	7,628.57	22,726.20	23.30
610-815-6110	SEWER-FICA	7,462.00	583.67	1,769.39	23.71
610-815-6130	SEWER-IPERS	9,208.00	717.07	2,137.10	23.21
610-815-6150	SEWER-GROUP INSURANCE	30,220.00	2,517.30	7,541.43	24.96
610-815-6155	SEWER-CITY SHARE HSA	7,943.00	108.40	330.11	4.16
610-815-6160	SEWER-WORKER'S COMP	3,500.00	.00	.00	.00
610-815-6181	SEWER-UNIFORM ALLOWANCE	400.00	.00	400.00	100.00
610-815-6210	SEWER-DUES	350.00	.00	64.54	18.44
610-815-6230	SEWER-EDUCATION/TRAINING	1,500.00	.00	720.33	48.02
610-815-6310	SEWER-BLDG REPAIR/MAINT	10,000.00	.00	.00	.00
610-815-6320	SEWER-GROUND REPAIR/MAIN	2,500.00	.00	.00	.00
610-815-6331	SEWER-VEHICLE OPERATIONS	1,600.00	127.56	391.05	24.44
610-815-6332	SEWER-VEHICLE REPAIRS	.00	.00	.00	.00
610-815-6340	SEWER-OFFICE EQUIP	.00	.00	.00	.00
610-815-6350	SEWER-OPERATION/MAINT	10,000.00	649.93	2,007.36	20.07
610-815-6371	SEWER-UTILITIES	35,000.00	2,705.74	9,416.00	26.90
610-815-6373	SEWER-TELEPHONE	.00	.00	.00	.00
610-815-6374	SEWER DEPOSITS	2,000.00	60.78	210.78	10.54
610-815-6407	SEWER-ENGINEERING	50,000.00	.00	120.00	.24
610-815-6408	SEWER-INSURANCE	23,000.00	.00	.00	.00
610-815-6411	SEWER-LEGAL	.00	.00	.00	.00
610-815-6418	SEWER-SALES TAX EXPENSE	7,560.00	472.03	1,387.24	18.35
610-815-6419	SEWER-TECHNOLOGY SERVICE	12,500.00	107.21	920.73	7.37
610-815-6499	SEWER-TESTS	17,000.00	1,334.75	4,176.50	24.57

BUDGET REPORT
CALENDAR 9/2023, FISCAL 3/2024

PCT OF FISCAL YTD 25.0%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT EXPENDED
610-815-6506	SEWER-OFFICE SUPPLIES	1,700.00	62.10	265.11	15.59
610-815-6507	SEWER-SUPPLIES	500.00	.00	152.86	30.57
610-815-6508	SEWER-POSTAGE	1,500.00	.00	.00	.00
610-815-6599	SEWER-ADMIN EXPENSES	2,000.00	5.48	5.48	.27
610-815-6767	SEWER-FAIR VIEW DR SAN S	.00	.00	.00	.00
610-815-6780	SEWER-CAPITAL OUTLAY PRO	.00	.00	2,619.50	.00
610-815-6801	SEWER DEBT-PRINC-2001 ED	.00	.00	.00	.00
610-815-6802	SEWER DEBT-PRINC 1999	.00	.00	.00	.00
610-815-6803	SEWER DEBT-PRINC WASS	.00	.00	.00	.00
610-815-6804	SEWER DEBT-PRINC 2019 SR	140,000.00	.00	.00	.00
610-815-6851	SEWER DEBT-INT 2001 EDS	.00	.00	.00	.00
610-815-6853	SEWER DEBT-INT WASS	.00	.00	.00	.00
610-815-6852	SEWER DEBT-INT-1999	.00	.00	.00	.00
610-815-6854	SEWER DEBT-INT 2019 SRF	48,878.00	.00	.00	.00
610-815-6899	SEWER DEBT-REGISTRAR FEE	6,983.00	.00	.00	.00
	SEWER/SEWAGE DISPOSAL TO	530,851.00	17,080.59	57,361.71	10.81
740-865-6331	STORM DISTRICT-VEHICLE O	.00	.00	.00	.00
740-865-6379	STORM DISTRICT-MAINT/REP	65,000.00	1,710.00	2,060.00	3.17
740-865-6407	STORM DISTRICT-ENGINEER	.00	.00	.00	.00
740-865-6411	STORM DISTRICT-LEGAL	.00	.00	.00	.00
740-865-6418	STORM DISTRICT-SALES TAX	1,500.00	114.24	336.84	22.46
740-865-6419	STORM DISTRICT-TECH SERV	3,000.00	30.00	690.00	23.00
740-865-6765	STORM DISTRICT-CAPITAL P	.00	.00	.00	.00
740-865-6801	STORM DISTRICT DEBT-PRIN	.00	.00	.00	.00
740-865-6851	STORM DISTRICT DEBT-INTE	.00	.00	.00	.00
740-865-6899	STORM DISTRICT DEBT-REGI	.00	.00	.00	.00
	STORM DISTRICT TOTAL	69,500.00	1,854.24	3,086.84	4.44
760-899-6399	DRAINAGE DISTRICT 76-EXP	80,000.00	3,752.50	20,252.50	25.32
760-899-6407	DRAINAGE DISTRICT 76-ENG	8,000.00	.00	.00	.00
760-899-6411	DRAINAGE DISTRICT 76-LEG	8,000.00	.00	.00	.00
	OTHER BUSINESS TYPE TOTA	96,000.00	3,752.50	20,252.50	21.10
	ENTERPRISE FUNDS TOTAL	1,299,855.91	47,542.51	148,574.99	11.43
001-910-6910	GENERAL-TRANSFERS OUT	118,305.00	.00	.00	.00
011-910-6910	T&A(PD)BENEVOLENT-TRANSF	.00	.00	.00	.00
029-910-6910	DEPR-TRANSFER OUT	.00	.00	.00	.00
110-910-6910	RUT-TRANSFERS OUT	.00	.00	.00	.00
112-910-6910	T&A(EB)-TRANSFER OUT	.00	.00	.00	.00
119-910-6910	EMERGENCY-TRANSFER OUT	28,170.00	.00	.00	.00
121-910-6910	LOST-TRANSFER OUT	550,800.00	16,055.11	48,165.33	8.74
125-910-6910	TIF-TRANSFER OUT	163,832.00	4,923.25	14,769.75	9.02
161-910-6910	DEVELOPMENT TREES-TRANSF	.00	.00	.00	.00
167-910-6910	T&A(BURNETT REC)-TRANSFE	.00	.00	.00	.00
168-910-6910	T&A(BURNETT LIB)-TRANSFE	.00	.00	.00	.00
169-910-6910	T&A(BURNETT CAP IMP) TRA	.00	.00	.00	.00
180-910-6910	REC TRAIL-TRANSFER OUT	.00	.00	.00	.00
200-910-6910	DS-TRANSFER OUT	.00	.00	.00	.00
307-910-6911	TRANSFER OUT - TIF	.00	.00	.00	.00
301-910-6910	CAP IMPR WASTEWTR-TRANSF	.00	.00	.00	.00

BUDGET REPORT
CALENDAR 9/2023, FISCAL 3/2024

PCT OF FISCAL YTD 25.0%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT EXPENDED
308-910-6910	CAP IMPROVE LIBRY-TRANSF	.00	.00	.00	.00
309-910-6910	CAP IMPROV POOL-TRANSFER	62,750.00	.00	.00	.00
310-910-6910	CAP IMPRV ARPA-TRANSFER	.00	.00	.00	.00
311-910-6910	TRANSFER OUT	.00	.00	.00	.00
600-910-6910	WATER-TRANSFERS OUT	7,000.00	.00	.00	.00
602-910-6910	WATER CAP OUTLAY-TRANSFE	14,340.00	.00	.00	.00
610-910-6910	SEWER-TRANSFERS OUT	7,000.00	.00	.00	.00
740-910-6910	STORM DISTRICT-TRANSFER	5,000.00	.00	.00	.00
760-910-6910	DRAINAGE DISTRICT 76-TRA	18,000.00	20,011.67	20,011.67	111.18
	TRANSFERS TOTAL	975,197.00	40,990.03	82,946.75	8.51
	TRANSFER OUT TOTAL	975,197.00	40,990.03	82,946.75	8.51
TOTAL EXPENSES BY FUNCTI		6,886,481.91	215,343.60	1,428,012.21	20.74



September 2023

Dallas Center Calls for Service

Create Date/Time	Call Type	Location
9/1/2023 9:06	WELFARE CHECK	601 LINDEN ST, DALLAS CENTER
9/1/2023 13:23	RETURN PHONE CALL	609 LINDEN ST, DALLAS CENTER
9/1/2023 13:33	PUBLIC ASSIST	601 LINDEN ST, DALLAS CENTER
9/1/2023 21:00	SICK PERSON	1006 LINDEN ST, DALLAS CENTER
9/2/2023 5:18	DOMESTIC	406 10TH ST, DALLAS CENTER
9/2/2023 12:03	HARASSMENT/THREATS	1706 VINE ST, DALLAS CENTER
9/2/2023 15:00	ASSIST	105 14TH ST, DALLAS CENTER
9/2/2023 18:53	TRAFFIC STOP	2600 240TH ST, DALLAS CENTER
9/4/2023 18:50	INFORMATION	1202 SUGAR GROVE AVE, DALLAS CENTER
9/5/2023 11:42	ANIMAL COMPLAINT	104 PERCIVAL AVE, DALLAS CENTER
9/5/2023 12:39	WARRANT CHECK	601 LINDEN ST, DALLAS CENTER
9/5/2023 15:41	911 HANGUP	1204 LINDEN ST, DALLAS CENTER
9/5/2023 18:27	INFORMATION	104 PERCIVAL AVE, DALLAS CENTER
9/8/2023 4:54	DOMESTIC	1412 WALNUT ST, DALLAS CENTER
9/8/2023 15:08	RETURN PHONE CALL	1304 ASH ST, DALLAS CENTER
9/8/2023 17:00	TRAFFIC STOP	N AVE / ORCHARD LN, DALLAS CENTER
9/8/2023 20:24	WELFARE CHECK	1001 SYCAMORE ST, DALLAS CENTER
9/9/2023 7:54	CIVIL PAPER	1229 MAPLE ST, DALLAS CENTER
9/9/2023 19:33	CONTROLLED BURN	102 KELLOGG AVE, DALLAS CENTER
9/9/2023 20:04	THEFT	607 HICKORY CT, DALLAS CENTER
9/9/2023 22:25	SUSPICIOUS	1406 CHERRY ST, DALLAS CENTER
9/10/2023 17:48	DISTURBANCE	1406 WALNUT ST B, DALLAS CENTER
9/11/2023 6:22	MEET COMPLAINANT	1001 SYCAMORE ST, DALLAS CENTER
9/11/2023 7:29	MVC-PD	2514 240TH ST, DALLAS CENTER
9/11/2023 7:48	911 HANGUP	240TH ST / ORDER DR, DALLAS CENTER
9/11/2023 8:36	ABUSE	113 LAKE SHORE DR, DALLAS CENTER
9/11/2023 9:17	MEET COMPLAINANT	1502 WALNUT ST, DALLAS CENTER
9/11/2023 18:40	NOISE COMPLAINT	1800 LINDEN ST, DALLAS CENTER
9/12/2023 5:04	TRAFFIC STOP	800 SUGAR GROVE AVE, DALLAS CENTER
9/12/2023 15:06	SUSPICIOUS	1500 WALNUT ST, DALLAS CENTER
9/12/2023 15:13	RETURN PHONE CALL	113 LAKE SHORE DR, DALLAS CENTER
9/12/2023 17:02	SUSPICIOUS	595 SUGAR GROVE AVE, DALLAS CENTER

9/12/2023 17:08	MEET COMPLAINANT	1107 SUGAR GROVE AVE 20, DALLAS CENTER
9/13/2023 7:30	ORDINANCE VIOLATIONS	1008 8TH ST, DALLAS CENTER
9/13/2023 9:17	CIVIL PAPER	1107 SUGAR GROVE AVE 20, DALLAS CENTER
9/14/2023 3:51	EXTRA PATROL	1406 WALNUT ST B, DALLAS CENTER
9/14/2023 17:31	ANIMAL CONTROL	502 14TH ST, DALLAS CENTER
9/15/2023 6:56	TRAFFIC STOP	2700 240TH ST, DALLAS CENTER
9/15/2023 13:30	VEHICLE INSPECTION	1404 SUGAR GROVE AVE, DALLAS CENTER
9/17/2023 13:21	SICK PERSON	1006 LINDEN ST 417, DALLAS CENTER
9/17/2023 15:52	WELFARE CHECK	1005 SYCAMORE ST, DALLAS CENTER
9/17/2023 16:44	RETURN PHONE CALL	1202 SUGAR GROVE AVE, DALLAS CENTER
9/17/2023 19:46	TRAFFIC STOP	SYCAMORE ST / 13TH ST, DALLAS CENTER
9/17/2023 21:27	TRAFFIC STOP	SYCAMORE ST / 13TH ST, DALLAS CENTER
9/18/2023 9:34	911 HANGUP	QUINLAN AVE / SUGAR GROVE AVE, DALLAS CENTER
9/18/2023 14:52	RETURN PHONE CALL	707 PERCIVAL AVE, DALLAS CENTER
9/18/2023 16:50	911 HANGUP	1100 SUGAR GROVE AVE, DALLAS CENTER
9/18/2023 19:55	THEFT	707 PERCIVAL AVE, DALLAS CENTER
9/19/2023 4:32	SUSPICIOUS	1406 WALNUT ST A, DALLAS CENTER
9/19/2023 15:34	DISTURBANCE	595 SUGAR GROVE AVE, DALLAS CENTER
9/19/2023 16:23	VEHICLE UNLOCK	1202 SUGAR GROVE AVE, DALLAS CENTER
9/19/2023 17:37	911 MISDIAL	240TH ST / ORDER DR, DALLAS CENTER
9/19/2023 19:14	SUSPICIOUS	1301 ASH ST, DALLAS CENTER
9/20/2023 14:26	MVC-PI	10TH ST / SYCAMORE ST, DALLAS CENTER
9/20/2023 15:02	CIVIL DISPUTE	607 9TH ST, DALLAS CENTER
9/20/2023 17:26	ALARM	590 SUGAR GROVE AVE, DALLAS CENTER
9/20/2023 18:07	NOISE COMPLAINT	1806 LINDEN ST, DALLAS CENTER
9/20/2023 19:24	TRAFFIC STOP	WALNUT ST / 15TH ST, DALLAS CENTER
9/20/2023 20:22	TRAFFIC STOP	13TH ST / SUGAR GROVE AVE, DALLAS CENTER
9/21/2023 7:05	MOTORIST ASSIST	1915 SUGAR GROVE AVE, DALLAS CENTER
9/21/2023 16:44	PUBLIC ASSIST	1205 13TH ST, DALLAS CENTER
9/21/2023 17:17	NOISE COMPLAINT	1806 LINDEN ST 12, DALLAS CENTER
9/21/2023 23:26	FALLS	1006 LINDEN ST 426, DALLAS CENTER
9/22/2023 6:03	FALLS	1807 SUGAR GROVE AVE, DALLAS CENTER
9/22/2023 13:55	INFORMATION	1502 WALNUT ST, DALLAS CENTER
9/22/2023 17:44	NOISE COMPLAINT	1806 LINDEN ST 12, DALLAS CENTER
9/22/2023 20:20	SUSPICIOUS	1404 SUGAR GROVE AVE, DALLAS CENTER
9/23/2023 9:25	ANIMAL COMPLAINT	202 NORTHPOINT LN, DALLAS CENTER
9/23/2023 9:45	ASSIST	6 NORTH STAR LN, DALLAS CENTER
9/24/2023 4:05	FALLS	1301 LAUREL ST, DALLAS CENTER
9/24/2023 13:37	CHEST PAIN	1006 13TH ST 205, DALLAS CENTER
9/24/2023 21:11	SUSPICIOUS	902 8TH ST, DALLAS CENTER
9/25/2023 12:41	PROPERTY REPORT	1404 SUGAR GROVE AVE, DALLAS CENTER

9/25/2023 14:11	MVC-PD	1406 WALNUT ST, DALLAS CENTER
9/25/2023 15:49	TRAFFIC COMPLAINT	KELLOGG AVE / ASH ST, DALLAS CENTER
9/25/2023 16:13	PROPERTY REPORT	1006 LINDEN ST, DALLAS CENTER
9/26/2023 10:18	MOTORIST ASSIST	2400 240TH ST, DALLAS CENTER
9/26/2023 15:13	FOLLOW UP INVESTIGATION	707 PERCIVAL AVE, DALLAS CENTER
9/26/2023 15:44	TRAFFIC STOP	SUGAR GROVE AVE / FAIRVIEW DR, DALLAS CENTER
9/26/2023 19:22	TRAFFIC STOP	2500 240TH ST, DALLAS CENTER
9/26/2023 19:39	TRAFFIC STOP	2500 240TH ST, DALLAS CENTER
9/26/2023 19:53	TRAFFIC STOP	2500 240TH ST, DALLAS CENTER
9/26/2023 20:24	TRAFFIC STOP	CHERRY ST / 13TH ST, DALLAS CENTER
9/27/2023 5:04	EXTRA PATROL	802 PERCIVAL AVE, DALLAS CENTER
9/27/2023 15:41	FALLS	1006 13TH ST 217, DALLAS CENTER
9/27/2023 19:52	SUSPICIOUS	WALNUT ST / 14TH ST, DALLAS CENTER
9/28/2023 6:55	FOLLOW UP INVESTIGATION	607 9TH ST, DALLAS CENTER
9/28/2023 8:08	MISSING/RUNAWAY	604 NORTHVIEW DR, DALLAS CENTER
9/28/2023 9:37	THEFT	1502 WALNUT ST, DALLAS CENTER
9/28/2023 18:26	911 HANGUP	240TH ST / ORDER DR, DALLAS CENTER
9/28/2023 18:42	911 HANGUP	240TH ST / ORDER DR, DALLAS CENTER
9/28/2023 20:08	CHOKING	1607 ASH ST, DALLAS CENTER
9/29/2023 14:24	SICK PERSON	1107 SUGAR GROVE AVE 10, DALLAS CENTER
9/29/2023 16:56	ALARM	595 SUGAR GROVE AVE, DALLAS CENTER
9/29/2023 20:52	SICK PERSON	1006 LINDEN ST, DALLAS CENTER
Total	396 hours patrol, 15 hours on calls, 411 hours total, 320 required	95

FIRE & EMS REPORT

September 2023

Total calls : 19

FIRE 7 total

2 MVC

1 outside fire

2 Vehicle fire

1 structure fire with Grimes

1 Live Fire Training

EMS 12 Total

11 calls for service (11 City/1 Rural)

SEPTEMBER 2023 CODE ENFORCEMENT REPORT

DALLAS CENTER

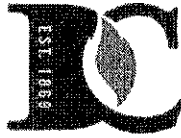
CASE #	ADDRESS	VIOLATION	DATE OF VIOLATION	REINSPECT DATE	COMMENTS	COMPLIED
		BEGIN 2017				
		BEGIN 2019				
		BEGIN-2020				
2020-139	804 Fairview	Junk	10/20/2020	10/27/2020 11/18/20 12/18/20 1/4/21 6/17/21 7/8/21	M- 11/2/20 Advisory-12/1/20 Certified- 12/21/20 FINAL 5/26/21 new violations Cert.- 6/22/21 FINAL 8-2-21 Refer to city	
2020-166	1506 Cherry	Junk	12/10/2020	12/15/2020 1/2/21 1/21/21 2/18/21 3/18/21 7/8/21	M- 12/17/20 Advisory- 1/5/21 Certified- 2/2/21 FINAL- 3/1/21 FINAL ii	
		BEGIN 2021				
		BEGIN 2022				
2022-149	1006 Sugar Grove	Junk	10/5/2022	10/22/2022	Advisory	
		BEGIN 2023				
2023-058	1200 Ash	Parking	4/3/2023	4/11/2023 5/4/23 6/21/23 7/26/23	M - 4/18/23 Advisory- 6/5/23 Certified- 7/10/23 FINAL	9/11/2023
2023-074	1204 Ash	Parking	5/2/2023	5/18/2023 6/21/23 7/26/23	Advisory 6/5/23 Certified- 7/10/23 FINAL	9/11/2023

	1201 Walnut	Junk	5/8/2023	5/15/2023	Certified- 7/10/23 Refer to City	
2023-084	1201 Walnut	Junk	5/8/2023	5/15/2023		
2023-158	1004 Laurel	Junk	6/26/2023	7/3/2023 7/20/23 8/9/23 8/28/23 9/27/23	M-7/3/23 Advisory- 7/24/23 Certified-8/14/23 FINAL- 9/19/23 Final C.U.	
2023-164	1607 Laurel	Parking	7/3/2023	7/20/2023 8/23/23	Advisory- 8/7/23 Certified	
2023-165	1404 Walnut	Grass	7/10/2023	7/17/2023	Advisory	9/11/2023
2023-166	1607 Cherry	Parking	7/10/2023	7/17/2023	M	9/11/2023
2023-167	1101151007	Grass	7/17/2023	8/3/2023 9/26/23	Advisory-9/19/23 New	
2023-187	700 Vine	Junk	8/7/2023	8/14/2023 9/7/23	M- 8/21/23 Advisory	9/11/2023
2023-189	512 Sycamore	Grass	8/14/2023	8/21/2023	Advisory	9/11/2023
2023-190	510 Sycamore	Grass	8/14/2023	8/21/2023	Advisory	9/11/2023
2023-193	205 Fairview	Grass	8/16/2023	8/23/2023	Advisory	9/11/2023
2023-194	1302 Sugar Grove	Grass	8/16/2023	8/23/2023	Advisory	9/11/2023
2023-195	307-10	Grass	8/21/2023	8/28/223	Advisory	9/11/2023
2023-196	906 Ash	Grass	8/21/2023	8/28/223	Advisory	9/11/2023
2023-197	705-10	Grass	8/21/2023	8/28/223	Advisory	9/11/2023
2023-198	707 Linden	Grass	8/21/2023	8/28/223	Advisory	9/11/2023
2023-199	1506 Cherry	Grass	8/21/2023	8/28/223	Advisory	9/11/2023
2023-200	205-11	Parking	9/11/2023	9/27/2023	Advisory	9/11/2023
2023-201	605-10	Parking	9/11/2023	9/18/2023	M	9/19/2023
2023-202	701-10	Parking	9/11/2023	9/18/2023	M	9/27/2023
2023-203	604 Fairview	Junk	9/11/2023	9/18/2023	M	9/27/2023
2023-204	701 Oak Ct.	Grass/Junk	9/11/2023	9/27/2023	Advisory	9/27/2023
2023-205	1101 Walnut	Junk	9/11/2023	9/18/2023	M	9/19/2023
2023-206	201-14	Grass	9/11/2023	9/19/2023	Advisory	9/27/2023
2023-207	302-14	Grass	9/11/2023	9/19/2023	Advisory	9/27/2023
2023-208	1601 Walnut	Bushes	9/11/2023	9/27/2023	Advisory	9/27/2023
2023-209	300 Percival	Junk	9/11/2023	9/18/2023	M	9/19/2023

2023-210	706 Northview	Junk	9/19/2023	9/25/2023	M	9/27/2023
2023-211	704-9	Junk	9/19/2023	9/25/2023	M	
2023-212	1101 Maple	Parking	9/19/2023	10/5/2023	Advisory	9/27/2023
2023-213	1304 Ash	Junk	9/19/2023	9/25/2023	M	9/27/2023
2023-214	107-15	Junk	9/19/2023	10/5/2023	Advisory	
2023-215	201-15	Parking	9/19/2023	10/5/2023	Advisory	
2023-216	400 Percival	Parking	9/19/2023	9/25/2023	M	9/27/2023
2023-217						

Monthly Water Report

Date	Sep-23																			
Water Plant																				
Total Gal.>	3,923,200	Max	184,500	Min	90,100	Avg	130,773	Gpm	245											
Total Hrs.>	269.6	Max	12.7	Min	5	Avg	9.0													
Last Month.>	4,541,300	Max	215,800	Min	90,500	Avg	146,494	Gpm	249											
Last Year.>	4,153,400	Max	177,700	Min	86,600	Avg	138,400	Gpm	268											
Lbs.of Chlorine	256	Lbs of Fluoride	55	Gallons of salt brine	5,140															
Chlorine.Mg/l	0.65	Fluoride.Mg/l	0.6	Hardness. Mg/l	97	Iron. Mg/l	0.03	Nitrate.Mg/l												
Well																				
Date	9/12/2023																			
	S	R	DD	Gpm	S	R	DD	Gpm	S	R	DD	Gpm	S	R	DD	Gpm	S	R	DD	Gpm
Well # 7	24	8	16	115																
Well # 9	24	10	14	100																
Well # 10	22	8	14	120																
Well # 11	28	4	24	220																
Water Meters																				
	New Installs				Read In															
	Replace Meter				Read Out															
	Replace Radio Read				Shut off For nonpayment															
	Repair																			
Fire Hydrants																				
	New Install				Flush Hyd				Repair Hyd											
Water Plant																				
Water Tower																				
Reservoir																				
Dist. System																				
Wells																				
	9/12/2023 - Tested Wells 7-9-10-11 no issues.																			
Other																				



DALLAS CENTER
(Quietly PROGRESSIVE)

CITY OF DALLAS CENTER STREET CLOSING PERMIT REQUEST

This request must be submitted 30 days prior to the event

Applicant/Organization: Mez Dickinson / Seasonal Fun

Address: [Redacted] Dallas Center, IA 50063

Phone: [Redacted]

Contact Person: Mez Dickinson

Phone: [Redacted]

Date of Event: Oct. 28, 2023 Time(s): 2 pm to 8 pm

Nature of Activities: Halloween Parade and community event/celebration.

Streets/Intersections Requested to Be Blocked Off: Walnut Street from Heritage Park to Kellogg Ave. and Kellogg Ave to Sycamore St.

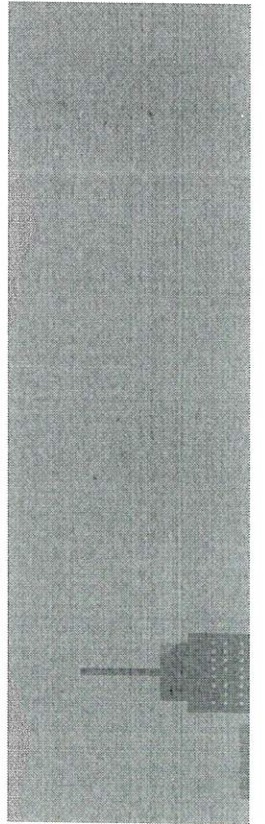
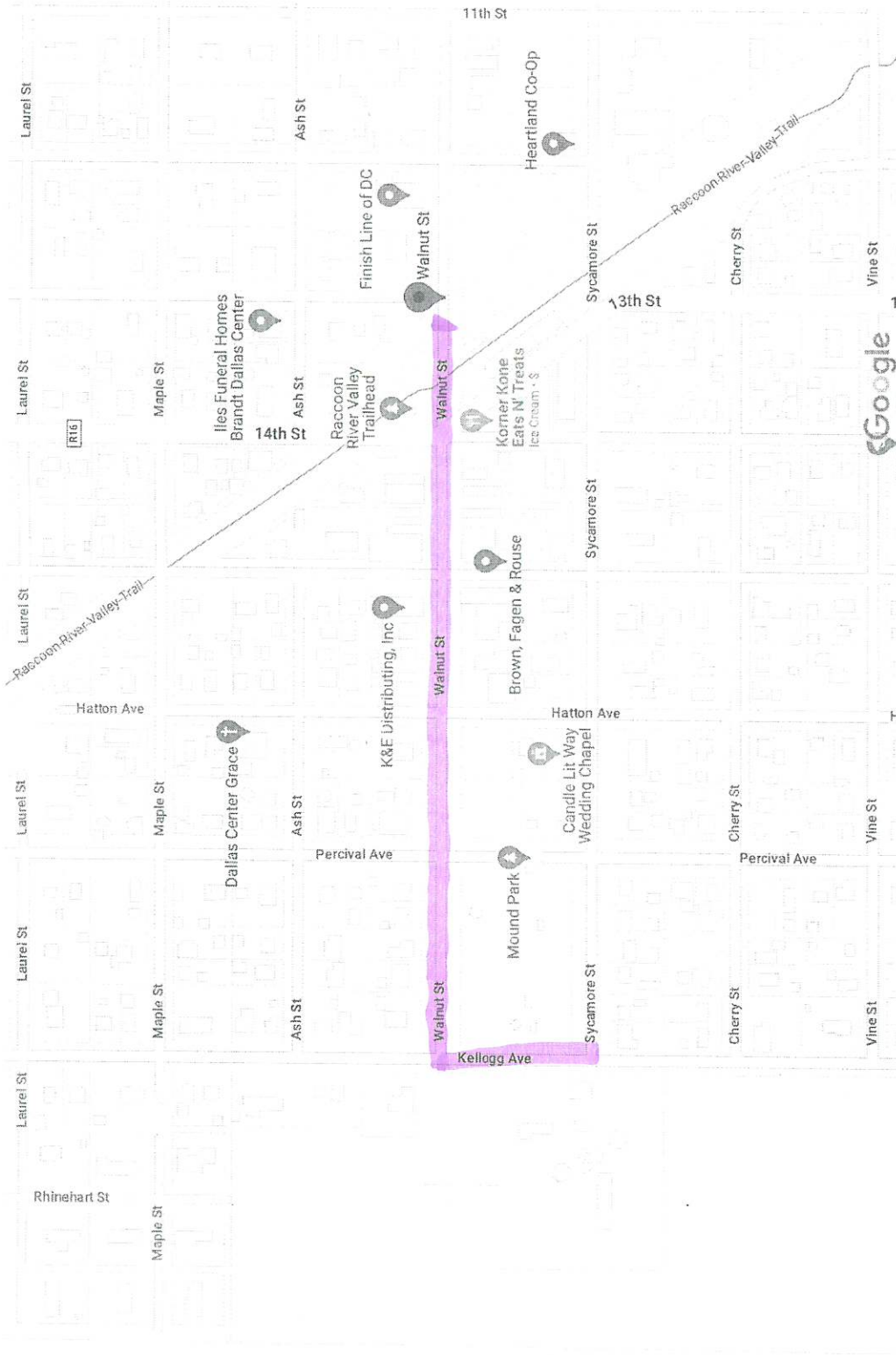
[Signature]
Signature of Applicant

18 Sep. 2023
Date

If this request in conjunction with a liquor license it is the licensee's responsibility to familiarize themselves with Iowa State law in regard to their liquor license. If you have specific questions in regard to your liquor license, please contact Iowa Alcoholic Beverages Division at 515-281-7400.

City Council _____ Approved
_____ Denied

Copies to: SO
FD
PW



P&Z Report – September 26, 2023

The Honorable Danny Beyer
and Members of the City Council
Dallas Center, IA 50063

Dear Mr. Mayor and Members of the Council:

The Dallas Center Planning & Zoning Commission met Tuesday, September 26, 2023 at 6:30 P.M. at Memorial Hall. Commission members Abby Anderson, Amanda Davison, Perry Gruver, Linda Licht, Jim Pohl, Thomas Strutt and Matt Ostanik were present. City Administrator Cindy Riesselman, City Attorney Ralph Brown and City Engineer Bob Veenstra also were present and participated.

Public Communications

No public communications were received.

Sonntag Roofing at 1205 Walnut Street

The Commission reviewed and discussed a proposed site plan for new concrete parking at Sonntag Roofing at 1205 Walnut Street.

The discussion included the importance of sidewalks to our growing community. When commercial properties are built or improved, the Commission believes that we should ensure that sidewalks are provided.

After discussion, Abby Anderson moved and Amanda Davison seconded to recommend that City Council approve the 1205 Walnut site plan subject to the construction of a new five-foot wide sidewalk from the north property line south to its intersection with the existing sidewalk along Walnut Street.

Ayes – Anderson, Davison, Gruver, Licht, Pohl, Strutt, Ostanik. Nays – none. The motion passed 7-0.

Raccoon Valley Bank at 590 Sugar Grove Avenue

The Commission reviewed and discussed proposed site and architectural plans for new parking, vestibules and other improvements to Raccoon Valley Bank.

The Commission again discussed the importance of sidewalks. Due to the bank's substantial improvements and the bank's location next to other new commercial and residential developments, the Commission believes the bank property should provide sidewalks. However the Commission agrees to waive the requirement for a sidewalk along Highway 44 at the current time because it would not connect to anything to the east.

After discussion, Abby Anderson moved and Perry Gruver seconded to recommend that City Council approve the Raccoon Valley Bank site plan subject to construction of a new five-foot wide sidewalk along Fair View Drive from the north property line to the south property line. The new sidewalk should connect with the new sidewalk also being provided by The Neighborhood.

Ayes – Anderson, Davison, Gruver, Licht, Pohl, Strutt, Ostanik. Nays – none. The motion passed 7-0.

Jim Pohl then moved and Thomas Strutt seconded to recommend that City Council approval the Raccoon Valley Bank architectural plan.

Ayes – Anderson, Davison, Gruver, Licht, Pohl, Strutt, Ostanik. Nays – none. The motion passed 7-0.

The Neighborhood Plat 2

The Commission reviewed and discussed a revised preliminary plat for the The Neighborhood Plat 2. The revised preliminary plat reduces the overall number of new residential lots and increased the width of the proposed lots.

After discussion, Perry Gruver moved and Linda Licht seconded to recommend that City Council approve the revised preliminary plan subject to construction of a new five-foot wide sidewalk along Fair View Drive.

Ayes – Anderson, Davison, Gruver, Licht, Pohl, Strutt, Ostanik. Nays – none. The motion passed 7-0.

Medicap Pharmacy Sign Variance

The Commission's agenda included discussion of a sign variance application from Medicap Pharmacy. However the materials for the application have not been received by the City. As a result, no discussion occurred and no action was taken on this item.

Advertising Signs on the Pool Shelter

Earlier this year the Commission reviewed and recommended approval of an architectural plan for the new open shelter next to the pool. The shelter has now been constructed, and advertising signs were placed on the shelter to promote the construction company that built it. The signs were not disclosed or shown in the architectural drawings that were previously submitted to the Commission.

The Commission discussed whether it is appropriate for private advertising signs to be placed on a publicly owned structure like the shelter. Our conclusion was that it is not.

After discussion, Thomas Strutt moved and Linda Licht moved to recommend to City Council that (1) the signs on the pool shelter do not comply with the approved architectural plan, (2) the signs on the pool shelter also do not comply with City's sign ordinance which states that no sign shall be located on public property except by permission of City Council, (3) the signs on the pool shelter should be removed or covered, and (4) private advertising signs and logos should not be allowed on any public structures moving forward.

Ayes – Anderson, Davison, Gruver, Licht, Pohl, Strutt, Ostanik. Nays – none. The motion passed 7-0.

Landscaping Requirements for Commercial Developments

The Commission had an initial discussion about defining landscaping requirements for new commercial developments. Our current ordinance requires a landscaping plan but does not define specific landscaping requirements. The Commission discussed examples from other cities. No action was taken. We plan to continue discussion at our next meeting.

Planning & Zoning Commission Responsibilities

The Commission had an initial discussion about updating Chapter 22 of the City's ordinances to better reflect the Commission's current responsibilities. No action was taken. We plan to further research how other cities handle this and then continue discussion at future meetings.

Respectfully submitted,
Matt Ostanik
P&Z Commission Chair

RESOLUTION NO. 2023-64

A RESOLUTION APPROVING THE SITE PLAN FOR SONNTAG PROPERTIES, LLC AT 1205 WALNUT STREET

WHEREAS, Sonntag Properties, LLC has submitted a Site Plan for the installation of off-street parking at 1205 Walnut Street, Dallas Center, Iowa, which involves the proposed construction of a 25-foot wide by 100-foot long off-street parking area along the west boundary of the property adjacent to 13th Street, all pursuant to Chapter 158 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, which plan was reviewed by the Planning and Zoning Commission on September 26, 2023; and

WHEREAS, the City Engineer provided review comments and recommendations dated September 1, 2023, a copy of which is attached hereto, to the Planning and Zoning Commission, which comments and recommendations were reviewed, discussed, and generally accepted by the Commission; and

WHEREAS, the Commission recommended that the Site Plan be approved, specifically including the construction of a five-foot wide sidewalk from the north property line south to its intersection with the existing sidewalk along Walnut Street; and

WHEREAS, the Commission noted the comments of the City Engineer on the poor condition of the existing sidewalk on the north side of Walnut Street, but the Commission determined that it should not be brought up to a suitable condition as a part of the approval of the Site Plan; and

WHEREAS, the Council has reviewed the recommendations of the Planning and Zoning Commission and adopts its recommendations.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DALLAS CENTER, IOWA, that the Council accepts the recommendations of the Planning and Zoning Commission; and that the Site Plan submitted by Sonntag Properties, LLC is approved.

IT IS FURTHER RESOLVED that notification is hereby given to the applicant that Section 158.13 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, provides that the approval of this Site Plan shall expire and terminate 365 days after Council approval unless a building permit has been issued

for the construction provided for in the Site Plan. The Council may, upon written request of the applicant, extend the time for the issuance of the required building permit for 60 additional days. In the event the building permit for construction provided for in a Site Plan expires or is cancelled, then the Site Plan approval shall thereupon terminate.

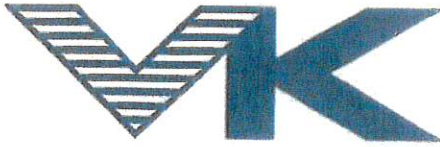
IT IS FURTHER RESOLVED that further notification is hereby given to the applicant that Section 158.11 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended provides that when there is any change in the location, size, design, conformity or character of the buildings and other improvements, an amendment to the Site Plan must be submitted to the City and reviewed by the Planning and Zoning Commission and approved by the City Council in the same manner as an original Site Plan.

PASSED, APPROVED, AND ADOPTED by the City Council of the City of Dallas Center, Iowa, on this 10th day of October, 2023.

Daniel Beyer, Mayor

ATTEST:

Shellie Schaben, City Clerk



VEENSTRA & KIMM INC.

3000 Westown Parkway
West Des Moines, Iowa 50266

515.225.8000 // 800.241.8000
www.v-k.net

September 1, 2023

Cindy Riesselman
City Administrator
City of Dallas Center
1502 Walnut Street
P.O. Box 396
Dallas Center, Iowa 50063

DALLAS CENTER, IOWA
1205 WALNUT STREET
SITE PLAN

Enclosed is a copy of a site plan submittal for the installation of off street parking on the Sonntag property parcel at 1205 Walnut Street. The site plan involves the proposed construction of a 25 foot wide by 100 foot long off street parking area along the west boundary of the property adjacent to 13th Street.

The site plan ordinance sets forth the information required on any site plan. For simple site plans it is not uncommon for the site plan to lack some of the information required under the site plan ordinance. In reviewing simple site plans the writer's approach is to focus on whether the relevant information is required. If there is not sufficient relevant information the writer will request information required under the ordinance. When all of the relevant information appears present, the writer will review the site plan even though some resolved information may be lacking. If in this instance the site plan is a relatively simple addition of a parking lot, driveway approach and sidewalk along the east side of 13th Street.

The site plan shows the construction of a 5 foot wide sidewalk from the sidewalk along the north side of Walnut Street to the north property line. The sidewalk would conform with the City's current requirement for sidewalks. There is currently no sidewalk located along the east side of 13th Street.

The site plan shows the existing sidewalk along the north side of Walnut Street adjacent to the property at 1205 Walnut Street. Historically, this sidewalk has been in poor condition. Although the sidewalk is not directly impacted by the proposed improvements the City may wish to consider whether this sidewalk should be brought up to a suitable condition as part of the approved site plan.

The site plan does not show the proposed drainage. The writer assumes the parking area on the east side of the sidewalk will be constructed in a manner where the parking lot, sidewalk and driveway approach will drain towards the east edge of 13th Street. This portion of 13th Street and the adjoining areas on Walnut Street are very flat with no defined storm water drainage improvements. The addition of a 100 foot by 45-foot paved area will increase both the volume of runoff and the rate of runoff. Given the current conditions of the area the additional runoff could create some drainage issues. The writer recognizes there may be no easy remedy to the drainage issues in this area. Nonetheless, the proposed site improvements would appear to have the potential to exacerbate what is already a challenging a drainage condition.

In a commercial area this site plan would appear to trigger the City's requirement for storm water management. Given the lack of drainage facilities in this area and the very flat slopes it is adding storm water detention to reduce the runoff from the parking lot area are not considered practical. It would appear reasonable to waive the requirement for storm water detention. In doing so the City should recognize the comments relative to the poor drainage in this area.

The City does not have appear to have any specific requirements that would limit the length of the driveway approach. While a 100-foot driveway approach to a parking area would be greater than considered typical there does not appear to be any specific prohibition.

The depth of the parking area on the east side of the sidewalk is 25 feet. Extended cab pickups cab reach a length of 22 feet or slightly more. In this type of off-street parking arrangement all of the vehicles will need to park on the east side of the sidewalk in a manner that does not create a real or perceived hazard. The writer would note that pedestrians will perceive a hazard if there is a vehicle parked too close to the edge of the sidewalk. If the City were to approve the site plan it is suggestive that approval be conditioned on the owner to preventing vehicles from parking within two feet of the edge of the sidewalk to reduce the issue of perceived hazards in addition to any actual hazards from overhanging vehicles.

The City normally requires that a hydrant coverage circles be shown on a site plan. Because there are no building improvements the City normally waives the requirement for hydrant coverage circles.

There are no water service or sewer service improvements proposed as part of the site plan.

The site plan shows a future landscaping at the southwest corner of the lot. The City site plan ordinance requires a landscaping plan, but there are no specific requirements regarding landscaping. The site plan would appear to comply with the site plan ordinance even though it provides no detail on the timing or type of plant material proposed.

Cindy Riesselman
September 1, 2023
Page 3

The ordinance requires the City a lighting plan. The lighting plan requirement would not appear applicable as there appears to be no lighting proposed as part of the project.

The project does not include any building improvements. As such the architectural standards would not be applicable to the site plan unless improvements to the existing at 1205 Walnut Street are proposed. In that instance the improvements would appear to trigger the requirement for the compliance with the architectural standards.

If you have any questions or comments concerning the project, please contact the writer at 515-225-8000, or bveenstra@v-k.net.

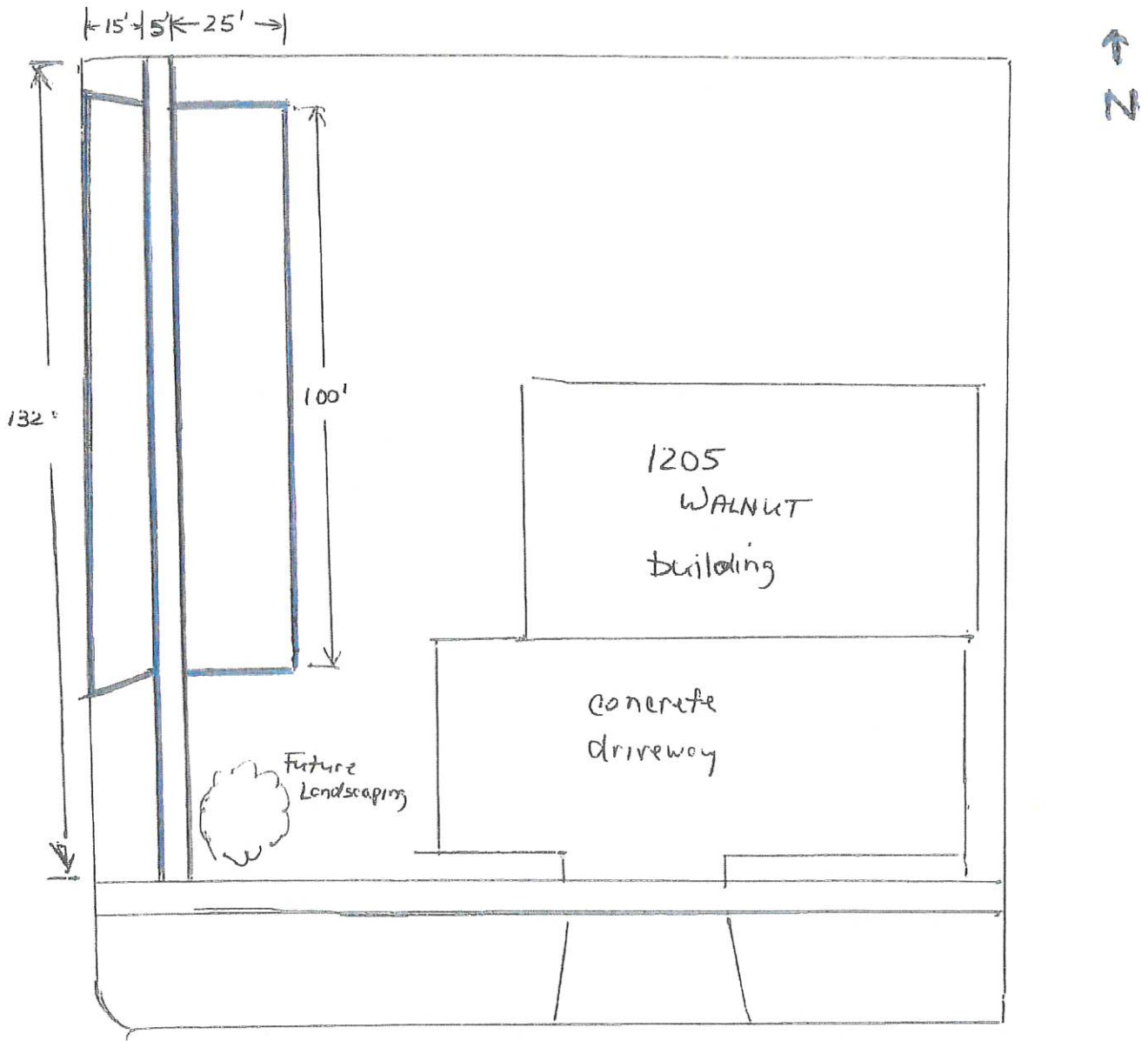
VEENSTRA & KIMM, INC.

A handwritten signature in blue ink, appearing to read "H. R. Veenstra Jr.", written in a cursive style.

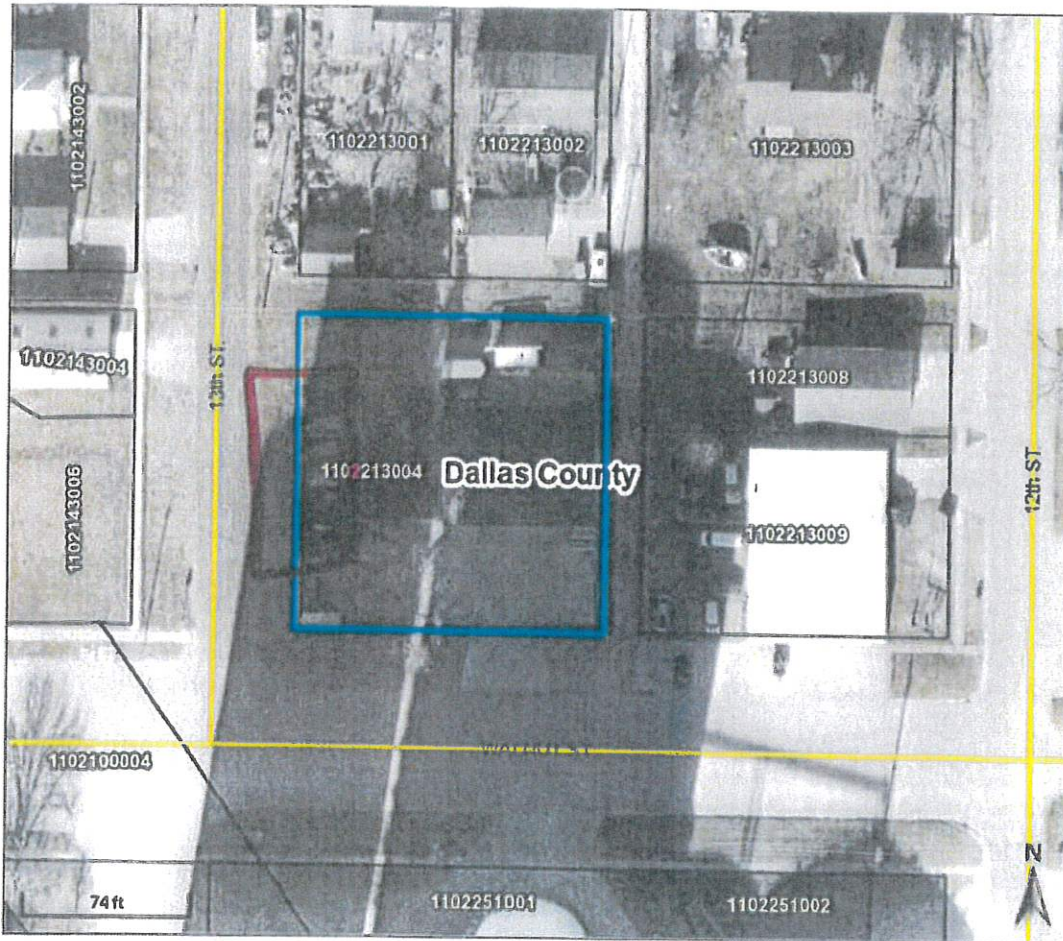
H. R. Veenstra Jr.

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Enclosure

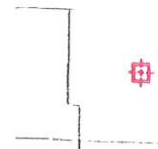
Cc: Shellie Schaben
Ralph Brown
Matt Ostanik



Sonntag Properties
1205 Walnut St



Overview



Legend

-  Parcels
-  USA Major Highways
-  Limited Access
-  Highway
-  Major Road
-  Local Road
-  Minor Road
-  Other Road
-  Ramp
-  Ferry
-  Pedestrian Way
-  City Limits

Parcel ID	1102213004	Alternate ID	n/a	Owner Address	SONNTAG PROPERTIES, LLC
Sec/Twp/Rng	2-79-27	Class	C		1402 WALNUT ST
Property Address	1205 WALNUT ST DALLAS CENTER	Acreage	n/a		DALLAS CENTER, IA 50063
District	560000				
Brief Tax Description	HUBER & VANDERCOOKS ADD LTS 7 & 12-16 BLK 45 <i>(Note: Not to be used on legal documents)</i>				

Date created: 7/28/2023
Last Data Uploaded: 7/28/2023 4:18:37 AM

Developed by  **Schneider**
GEOGRAPHICAL



City of Dallas Center

Email: cityhall@dallascenter.com

BUILDING PERMIT

PERMIT # 23-08-10



1502 Walnut Street, PO Box 396, Dallas Center, IA | Ph: 515-992-3725 Fax: 515-992-3764

TYPE OF PERMIT: Building Deck Pool Other

ATTACH SITE PLAN, DRAWINGS, AND/OR BUILDING PLANS

JOB SITE		BUILDING SQUARE FOOTAGE	
ADDRESS: <u>1205 Walnut St.</u>		Level 1 _____	Pool Size _____
NAME: <u>Sonntag Properties</u>		Level 2 _____	Deck _____
DATE: <u>8-18-23</u>		Finished Base _____	Shed/Garage _____
<input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Public <input type="checkbox"/> One-Family <input type="checkbox"/> Two-Family <input type="checkbox"/> Multi (No. _____)		Unfinished _____	
ZONING DISTRICT _____ VARIANCE NO. or CONDITIONAL USE _____		DESCRIPTION OF PROJECT:	
		<u>Install off street parking along 13th St. Pour concrete approach 5' sidewalk, and parking - all 6" concrete with rebar.</u>	
Name: <u>Tyler Sonntag</u> Email: _____ Address: _____ Fax No. _____ City: <u>Dallas Center</u> Telephone No. _____ State/Zip: <u>IA 50063</u> Cell No. <u>same</u>		PERMIT FEES Official Use Only	
Name: <u>Concrete & More</u> Address: _____ City: <u>Dallas Center</u> Telephone No. _____ State/Zip: <u>IA 50063</u> Cell No. <u>same</u>		BUILDING/ZONING \$ _____ TRADE PERMITS \$ _____ WASS/SEWER CONNECT \$ _____ WATER CONNECT \$ _____ DRIVEWAY (Separate Permit) \$ _____ UTILITY/METER DEPOSIT \$ _____ BULK WATER (New Home/Non-Refundable) \$250 \$ _____ TOTAL PERMIT FEE \$ _____	
Name: _____ Email: _____ Address: _____ Fax No. _____ City: _____ Telephone No. _____ State/Zip: _____ Cell No. _____		I agree to comply with all city ordinances and state laws regulating building construction. I further agree and understand that the City has not, by issuance of this permit, reviewed, nor does it make any representation concerning, any covenants or any restrictions where there may be covenants or other restrictions prohibiting the proposed improvements. I understand that construction on any easement will be at my own risk and responsibility and that I will be liable for any necessary removal should it become necessary. It is the property owner's responsibility to determine their own property line and to assure improvements are built in compliance with this application. Except as provided by law, where any work has been started prior to obtaining this permit, the regular fee shall be doubled. This permit shall expire if work has not commenced or has been abandoned for 120 days. A new permit will be required. Permit expires if work has not been substantially completed within two (2) years of issuance.	
Company Name: _____ Phone: _____ State Lic. # _____		SIGNATURE OF OWNER OR AGENT <input checked="" type="checkbox"/> <u>Bainbridge Concrete & More, LLC</u> DATE: <u>8-18-23</u>	
Company Name: _____ Phone: _____ State Lic. # _____		To schedule an inspection, or have any questions please call Veenstra & Kimm at 515-850-2980. Email: BuildingInspection@v-k.net A 24 hour inspection notice is needed.	
Company Name: _____ Phone: _____ State Lic. # _____		ISSUED BY: _____ Date: _____ BUILDING OFFICIAL	

23-08-10

RESOLUTION NO. 2023-65

A RESOLUTION APPROVING THE SITE PLAN FOR RACCOON VALLEY BANK AT 590 SUGAR GROVE AVENUE

WHEREAS, Raccoon Valley Bank has submitted a Site Plan for its property at 590 Sugar Grove Avenue, Dallas Center, Iowa, for (a) the removal and replacement of the existing driveway, parking lot, drive thru area, and sidewalks, (b) connection to the City's sanitary sewer system and abandonment of the existing septic tank, and (c) additional drainage facilities to discharge the downspouts and parking lots easterly, all pursuant to Chapter 158 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, which plan was reviewed by the Planning and Zoning Commission on September 26, 2023; and

WHEREAS, the City Engineer provided review comments and recommendations dated September 8, 2023, a copy of which is attached hereto, to the Planning and Zoning Commission, which comments and recommendations were reviewed, discussed, and accepted by the Commission; and

WHEREAS, the Commission recommended that the Site Plan be approved, subject however, to the construction of a five-foot wide sidewalk on the east side of Fair View Avenue from the north property line to the south property line; and

WHEREAS, the Council has reviewed the recommendations of the Planning and Zoning Commission and adopts its recommendations.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DALLAS CENTER, IOWA, that the Council accepts the recommendations of the Planning and Zoning Commission; and that the Site Plan submitted by Raccoon Valley Bank is approved, subject to the requirement that a five-foot wide sidewalk be constructed on the east side of Fair View Avenue from the north property line to the south property line.

IT IS FURTHER RESOLVED that notification is hereby given to the applicant that Section 158.13 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, provides that the approval of this Site Plan shall expire and terminate 365 days after Council approval unless a building permit has been issued for the construction provided for in the Site Plan. The Council may, upon written request of the applicant, extend the time for

the issuance of the required building permit for 60 additional days. In the event the building permit for construction provided for in a Site Plan expires or is cancelled, then the Site Plan approval shall thereupon terminate.

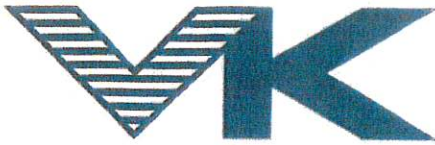
IT IS FURTHER RESOLVED that further notification is hereby given to the applicant that Section 158.11 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended provides that when there is any change in the location, size, design, conformity or character of the buildings and other improvements, an amendment to the Site Plan must be submitted to the City and reviewed by the Planning and Zoning Commission and approved by the City Council in the same manner as an original Site Plan.

PASSED, APPROVED, AND ADOPTED by the City Council of the City of Dallas Center, Iowa, on this 10th day of October, 2023.

Daniel Beyer, Mayor

ATTEST:

Shellie Schaben, City Clerk



VEENSTRA & KIMM INC.

3000 Westown Parkway
West Des Moines, Iowa 50266

515.225.8000 // 800.241.8000
www.v-k.net

September 8, 2023

Cindy Riesselman
City Administrator
City of Dallas Center
1502 Walnut Street
P.O. Box 396
Dallas Center, Iowa 50063

DALLAS CENTER, IOWA
RACCOON VALLEY BANK
SITE PLAN

Enclosed is a copy of the site plan submitted for the Raccoon Valley Bank project located at 590 Sugar Grove Avenue. The project involves four basic modifications and improvements to the existing site and building as follows:

1. The existing driveway, parking lot, drive thru lane area, and sidewalks on the existing site are to be removed and replaced. Although there are minor modifications the project essentially involves the removal and replacement of the existing paved areas. On the north side of the building the location of the handicap stalls is moved easterly and two stalls are being provided. On the south side of the building the handicap stall is being moved easterly. The driveway transitions to the parking lot and drive thru lane areas will have a circular radius rather than more abrupt transitions. The driveway radii at Fairview Drive will be expanded. The trash enclosure at the southwest corner of the parking lot is being replaced.
2. The site plan shows the bank will connect to the sanitary sewer system with a sewer service to be located on the south side of the bank building. The existing septic tank will be abandoned.
3. Additional drainage facilities are being added to discharge the downspouts and parking lot areas easterly. Underdrains are being installed in both the north and south parking lots. The drainage will all discharge to the easterly edge of the parking lot.
4. New vestibules are being added at the north door and the south door of the existing building. The architectural plan indicates the vestibules will match the existing building architecture.

Cindy Riesselman
September 8, 2023
Page 2

Based on review of the site plan the following comments are offered:

1. The replacement of existing pavement with new pavement with minor geometric modifications appears to be satisfactory.
2. The sanitary sewer service connection is satisfactory.
3. The proposed drainage improvements appear to be satisfactory. The improvements do not result in any identifiable increase in the impervious area of the existing site. The site was developed prior to the City implementing the requirement for onsite storm water drainage improvements. Given the limited modifications to the site this project would be exempt from the requirement for providing onsite storm water detention.
4. The addition of the building vestibules appears to be in conformance with the City's architectural standards.

If you have any questions or comments concerning the project, please contact the writer at 515-225-8000, or bveenstra@v-k.net.

VEENSTRA & KIMM, INC.



H. R. Veenstra Jr.

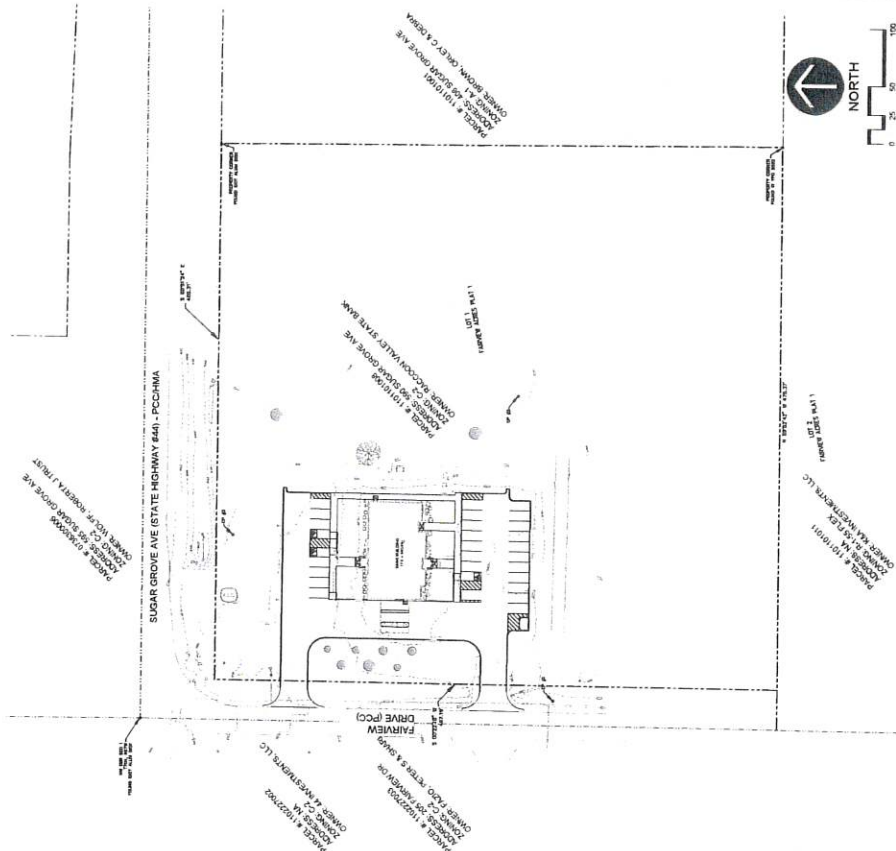
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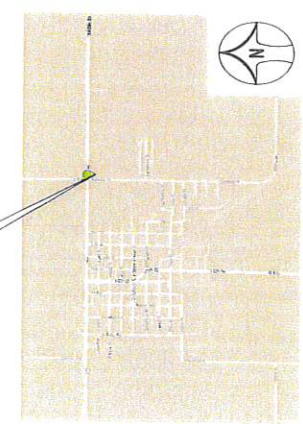
Enclosure

Cc: Shellie Schaben
Ralph Brown
Matt Ostanik

PROJECT:
RACCOON VALLEY STATE BANK
 COMMERCIAL BUILDING & SITE DEVELOPMENT



LOCATION
 590 SUGAR GROVE AVE
 DALLAS CENTER, IA 50805



VICINITY MAP
 NTS

PARCEL INFORMATION
 LOT 1, FARVIEW ACRES PLAT 1
 SECTION 10N, TOWNSHIP 57S, RANGE 02E, DALLAS CENTER, DALLAS
 COUNTY, IOWA



DATE:	10/11/2023
PROJECT:	RACCOON VALLEY STATE BANK
CLIENT:	RACCOON VALLEY STATE BANK
DESIGNED BY:	LAURENCE W. LARSON
SCALE:	AS SHOWN
CHECKED BY:	LAURENCE W. LARSON
DATE:	10/11/2023
PROJECT:	RACCOON VALLEY STATE BANK
CLIENT:	RACCOON VALLEY STATE BANK
DESIGNED BY:	LAURENCE W. LARSON
SCALE:	AS SHOWN
CHECKED BY:	LAURENCE W. LARSON

811
 Call Before You Dig
 1-800-4-A-DIG

HOWA
 Homeowners Association
 1-800-4-A-DIG

Larson Engineering, Inc.
 1001 Office Park Rd, Suite 120
 Dallas, Texas, IA 50805
 515.225.4377
 www.larsoneng.com
 LET Project # 82220101.000
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PRELIMINARY NOT FOR CONSTRUCTION

PROJECT CONTACTS

OWNER/CLIENT:
 RACCOON VALLEY STATE BANK
 138 FOURTH STREET
 WEST DES MOINES, IOWA 50365
 CONTACT: MATHIAS SCOTT, AS
 TITLE: VICE PRESIDENT
 EMAIL: MATHIAS@RACCOONVALLEYSTATEBANK.COM

ARCHITECT:
 LARSON ENGINEERING, INC.
 1001 OFFICE PARK ROAD, SUITE 120
 DALLAS, TEXAS 50805
 CONTACT: LAURENCE W. LARSON, P.E.
 TITLE: PROFESSIONAL ENGINEER
 EMAIL: LARSON@LARSONENGINEERING.COM

INDEX OF DRAWINGS

T	CIVIL TITLE SHEET
D1	TOPOGRAPHIC SURVEY
D2	UTILITY PLAN
D3	PARKING PLAN
D4	GRADING AND EROSION CONTROL PLAN
D5	UTILITY PLAN
D6	CIVIL DETAILS

PRINT DATE: SEPTEMBER 7, 2023
 SHEET NAME: SHEET T
 CIVIL TITLE SHEET

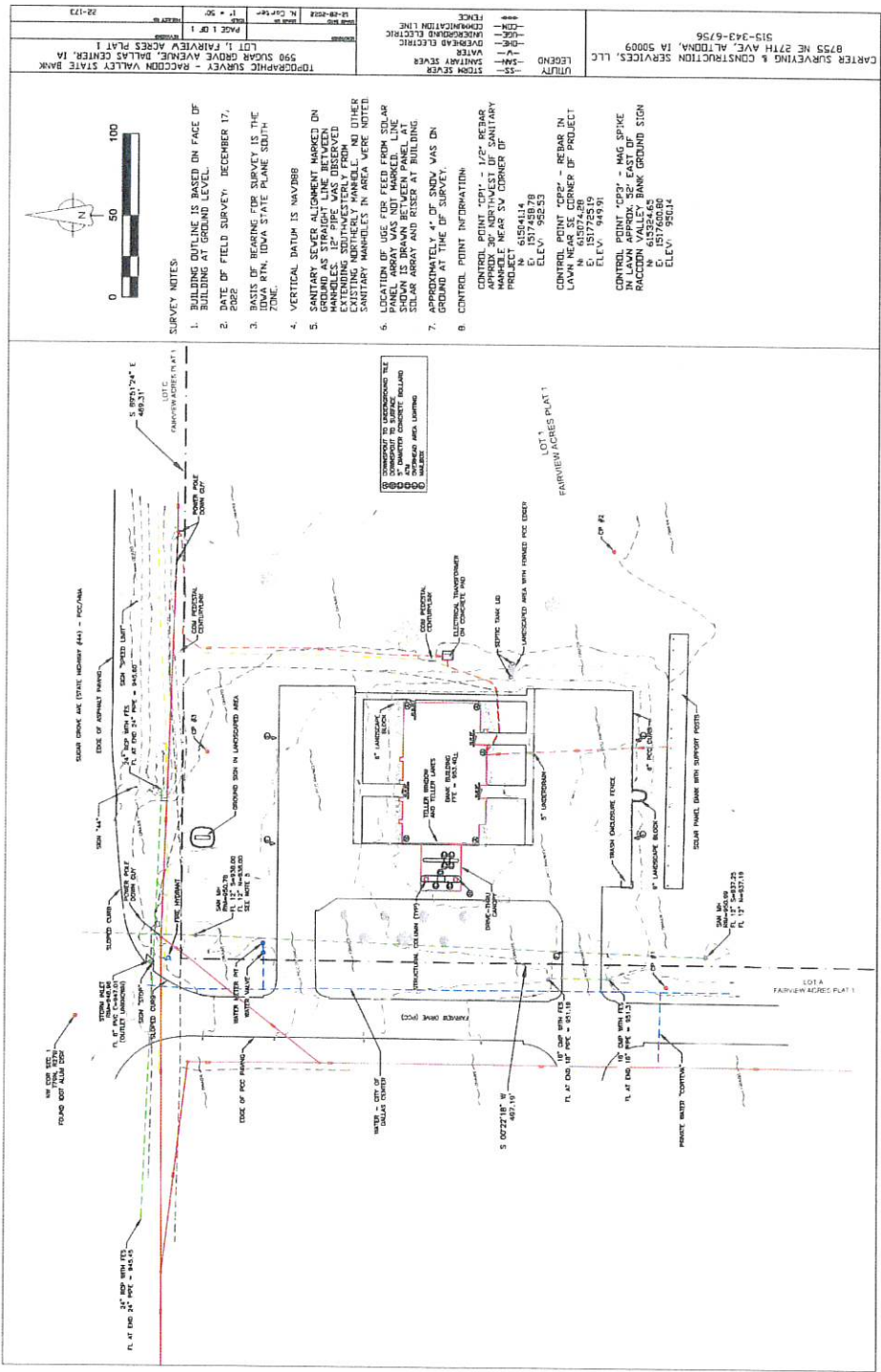
RACCOON VALLEY BANK
 COMMERCIAL BUILDING & SITE DEVELOPMENT
 590 SUGAR GROVE AVE
 DALLAS CENTER, IOWA 50805

STUDIO MEELE
 138 FOURTH STREET
 WEST DES MOINES, IOWA 50365





PRELIMINARY NOT FOR CONSTRUCTION



NOTE: SURVEY PDF HAS BEEN SCALED 1/8" TO FIT THIS SHEET. ORIGINAL PDF VERSIONS OF THE SURVEY CAN BE MADE AVAILABLE UPON REQUEST.



TOPOGRAPHIC SURVEY - RACCOON VALLEY STATE BANK
 590 SUGAR GROVE AVENUE, DALLAS CENTER, IA
 LOT 1, FAIRVIEW ACRES PLAT 1
 PAGE 1 OF 1
 23-123



SYMBOL LEGEND

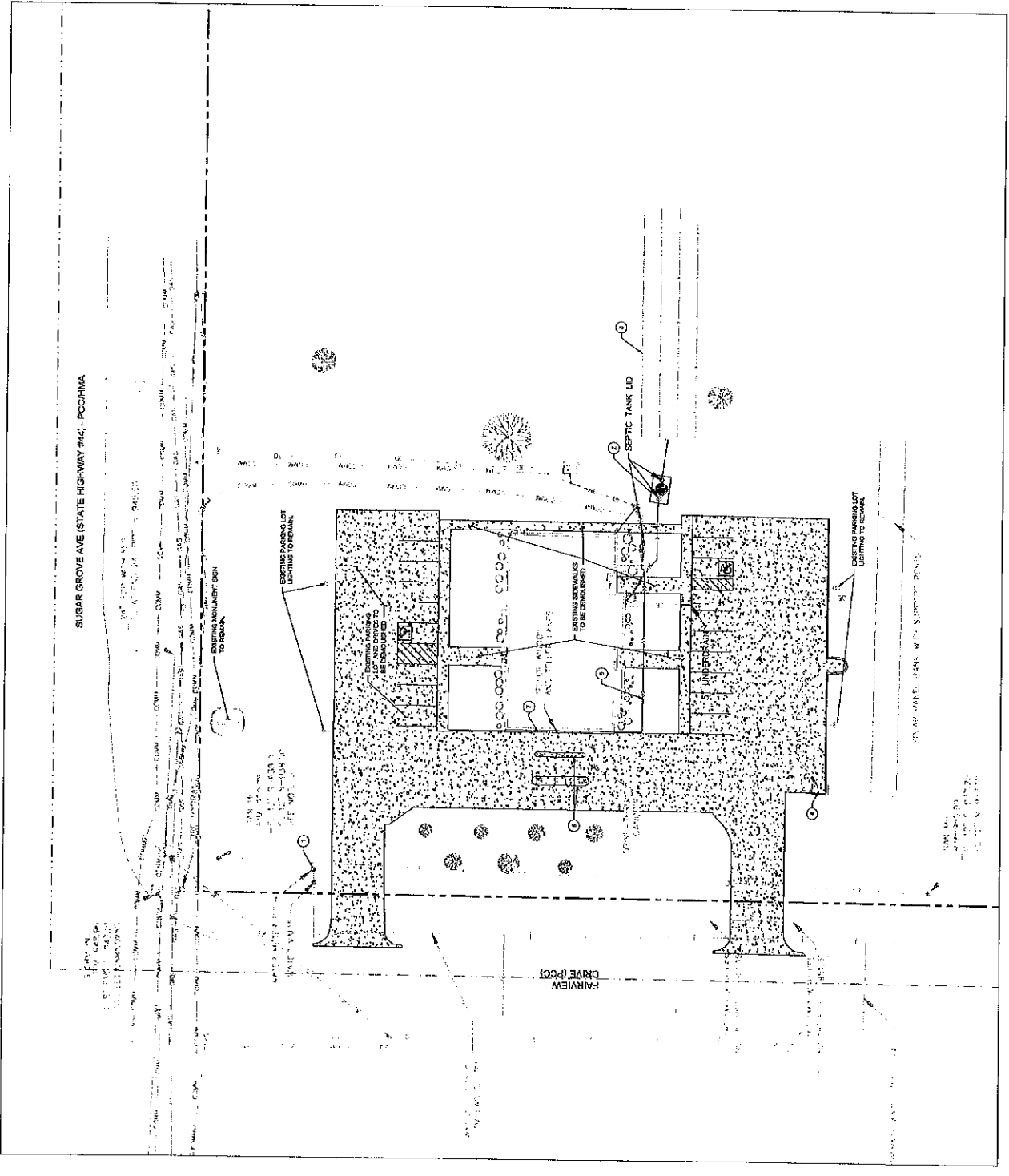
- REMOVE AND DISPOSE OF EXISTING BRICKWORK
- REMOVE AND DISPOSE OF EXISTING CONCRETE
- REMOVE AND DISPOSE OF EXISTING ASPHALT
- REMOVE AND DISPOSE OF EXISTING UTILITY

KEY NOTES

1. REMOVE AND DISPOSE OF EXISTING WATER METERS BY SEE UTILITY PLAN FOR REPLACEMENT.
2. REMOVE AND DISPOSE OF EXISTING SEPTIC TANK. REMOVE EXISTING SERVICE LINE FROM CONNECTION POINT TO SEPTIC TANK TO CURB.
3. EXISTING SEPTIC TANK TO BE DEMOLISHED IN PLACE. RAMP UP TO BE CURBED.
4. REMOVE AND DISPOSE OF EXISTING SITE FENCING/WOOD TRASH ENCLOSURE.
5. REMOVE AND DISPOSE OF EXISTING UNDERGROUND ROOF DRAINAGE SYSTEMS. REMOVAL TO REMAIN AND BE REPAIRED AS NECESSARY.
6. REMOVE AND DISPOSE OF EXISTING CONCRETE IN BASE. EXISTING INCLUDES TO REMAIN. CONTRACTOR TO PROTECT EXISTING UTILITIES AND STRUCTURES. CONTRACTOR TO VERIFY ALL UTILITIES AND STRUCTURES. CONTRACTOR TO VERIFY ALL UTILITIES AND STRUCTURES.
7. REMOVE AND DISPOSE OF EXISTING CURB AT EXISTING BUILDING FACE.

DEMOLITION NOTES

1. Verify all existing utility locations.
2. It is the responsibility of the Contractor to perform or supervise all work necessary to complete the demolition project. This includes, but is not limited to, obtaining all necessary permits, utility marking, safety fencing, shoring, bracing, etc.
3. Prior to beginning work, contact Iowa One Call (800-252-4359) to locate all underground utilities. The Contractor shall be responsible for protecting all existing utilities and structures.
4. Remove all debris of materials, demolition, and debris to remain.
5. All construction shall be performed in accordance with state and local codes and regulations.
6. All construction materials, including, but not limited to, shall be prohibited on public streets or within the public right-of-way.



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 Des Moines, IA 50319
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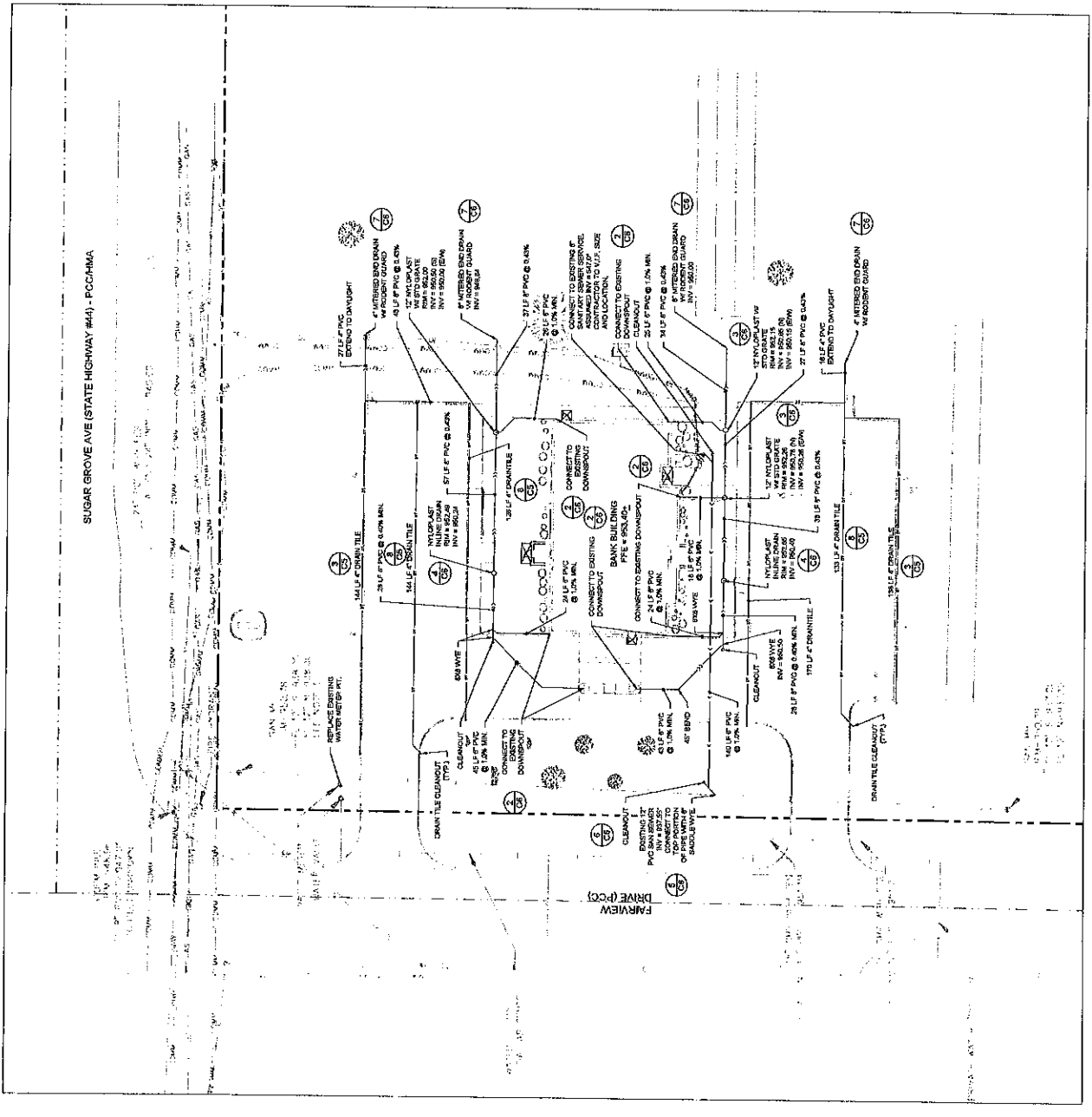


LEGEND

- STORM MAINLINE
- CATCH BASIN
- CONCRETE
- FLARED END
- HYDRANT
- GATE VALVE & BOX
- WATER SHUTOFF
- LIGHT POLE
- 18" I.D. UNDERGROUND LINE
- 12" I.D. UNDERGROUND LINE
- 8" I.D. UNDERGROUND LINE
- 4" I.D. UNDERGROUND LINE
- ASBESTOS CEMENT UNDERGROUND LINE
- STEEL UNDERGROUND LINE
- STAINLESS STEEL UNDERGROUND LINE
- STEEL ABOVE GROUND LINE
- WATER MAIN
- DRINKABLE PIPE

UTILITY NOTES

1. All work performed shall meet the specifications indicated in the schedule sheets, as well as the (Optional) Union Register and Specifications (URSS) minimum specifications. Refer to notes for additional information.
2. It is the responsibility of the contractor to perform or coordinate all necessary utility connections and relocations from existing utility lines to the proposed building, as well as to all service assemblies. These connections, relocations, and relocations are not limited to water, sanitary, storm, gas, electric, and telecommunications. These connections, relocations, and relocations shall be in accordance with applicable codes, standards, and specifications. These connections, relocations, and relocations shall be in accordance with applicable codes, standards, and specifications. These connections, relocations, and relocations shall be in accordance with applicable codes, standards, and specifications.
3. All existing connections shall be performed in accordance with applicable codes, standards, and specifications. All existing connections shall be performed in accordance with applicable codes, standards, and specifications. All existing connections shall be performed in accordance with applicable codes, standards, and specifications.
4. The contractor shall verify the dimensions of proposed connections to existing utilities prior to any identification or relocation.
5. The contractor shall verify the dimensions of proposed connections to existing utilities prior to any identification or relocation.
6. Maintain a minimum of 2' of cover over all water lines and sanitary sewer lines. Install water lines 18" above existing sanitary sewer lines. Maintain a minimum of 2' of cover over all water lines and sanitary sewer lines. Install water lines 18" above existing sanitary sewer lines. Maintain a minimum of 2' of cover over all water lines and sanitary sewer lines. Install water lines 18" above existing sanitary sewer lines.
7. Verify the location of existing utilities prior to any relocation or relocation. Verify the location of existing utilities prior to any relocation or relocation. Verify the location of existing utilities prior to any relocation or relocation.
8. All minimum pipe shall be class 20 ductile iron pipe unless noted otherwise.
9. See SDCS Section 2110 for bedding requirements.
10. Pressure test and disinfect all new water lines in accordance with state and local requirements.
11. Sanitary sewer piping shall be PVC D3022 for depths less than 20' and class 20 D311P for depths of 20' or more.

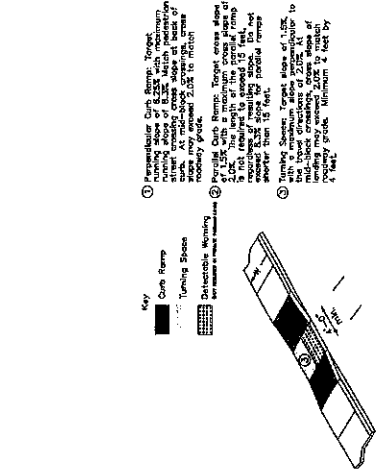


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 1325 North University, Des Moines, IA 50319

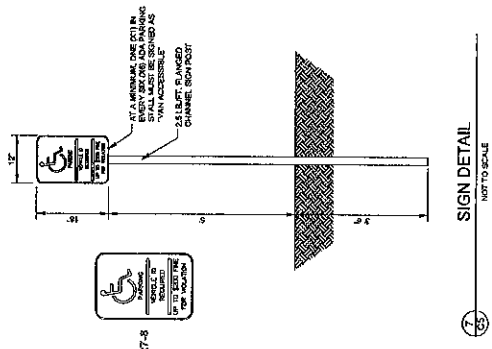
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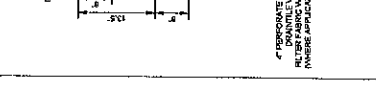
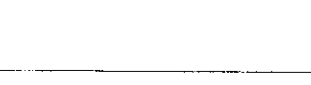
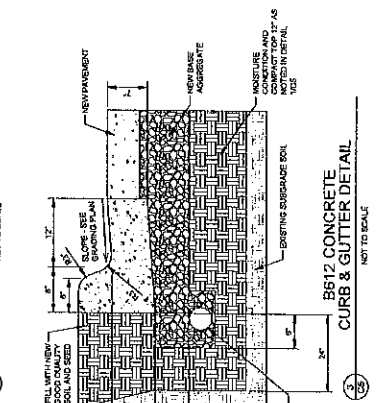
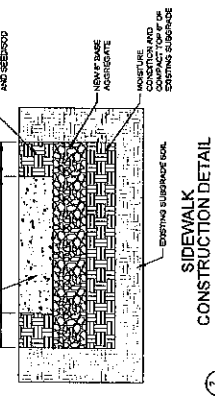
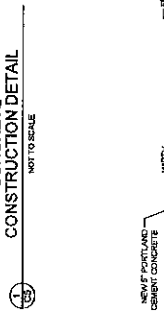
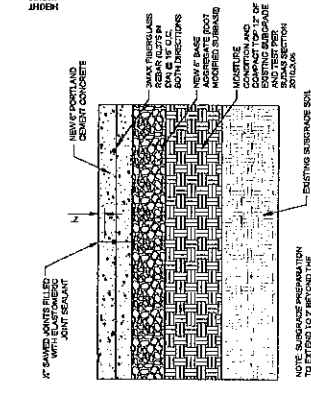
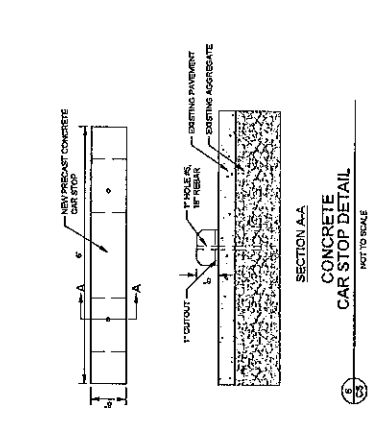
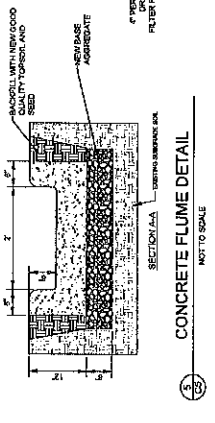
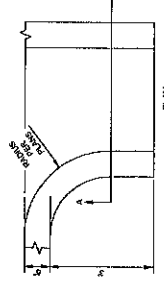
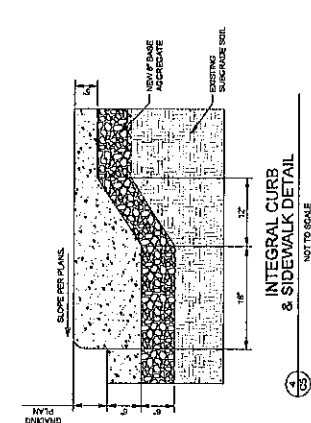
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PARALLEL CURB RAMP
NOT TO SCALE

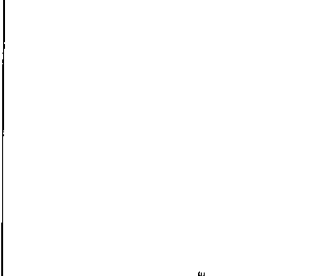


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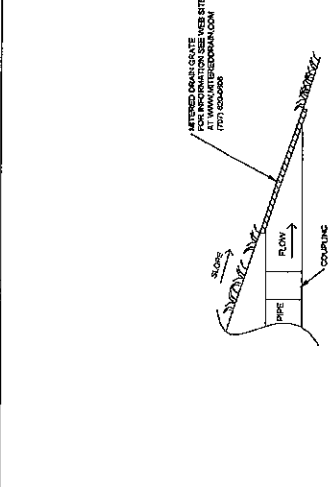


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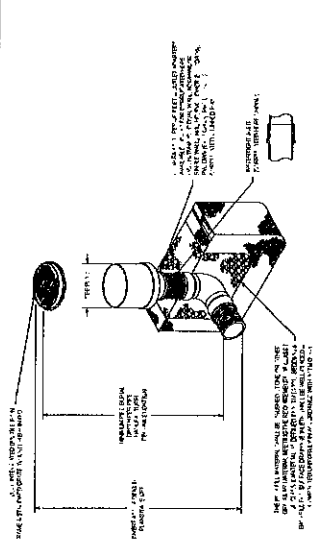
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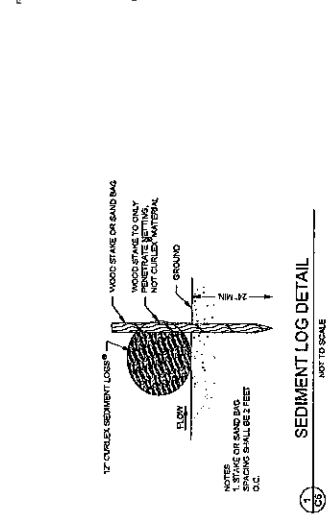
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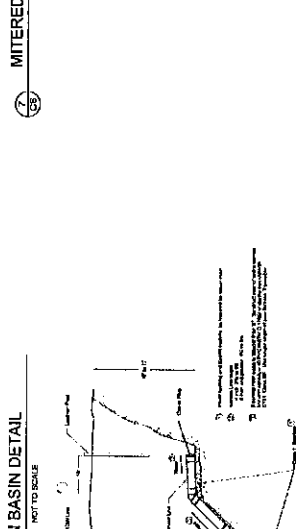
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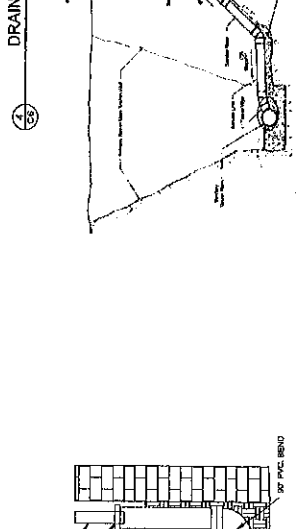
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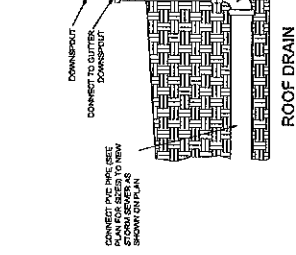
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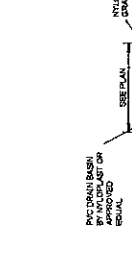
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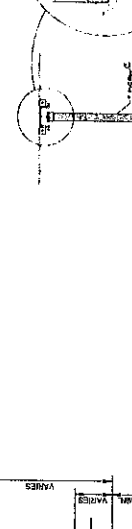
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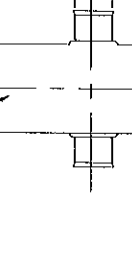
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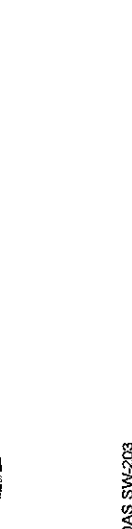
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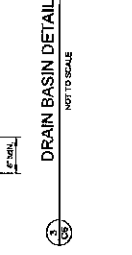
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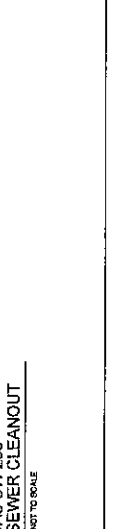
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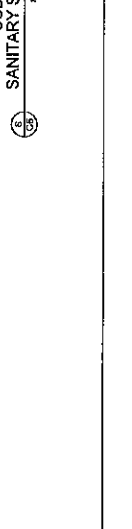
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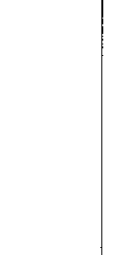
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PRINT DATE: 09 SEPTEMBER 2023
SHEET NAME: FIRST FLOOR PLAN

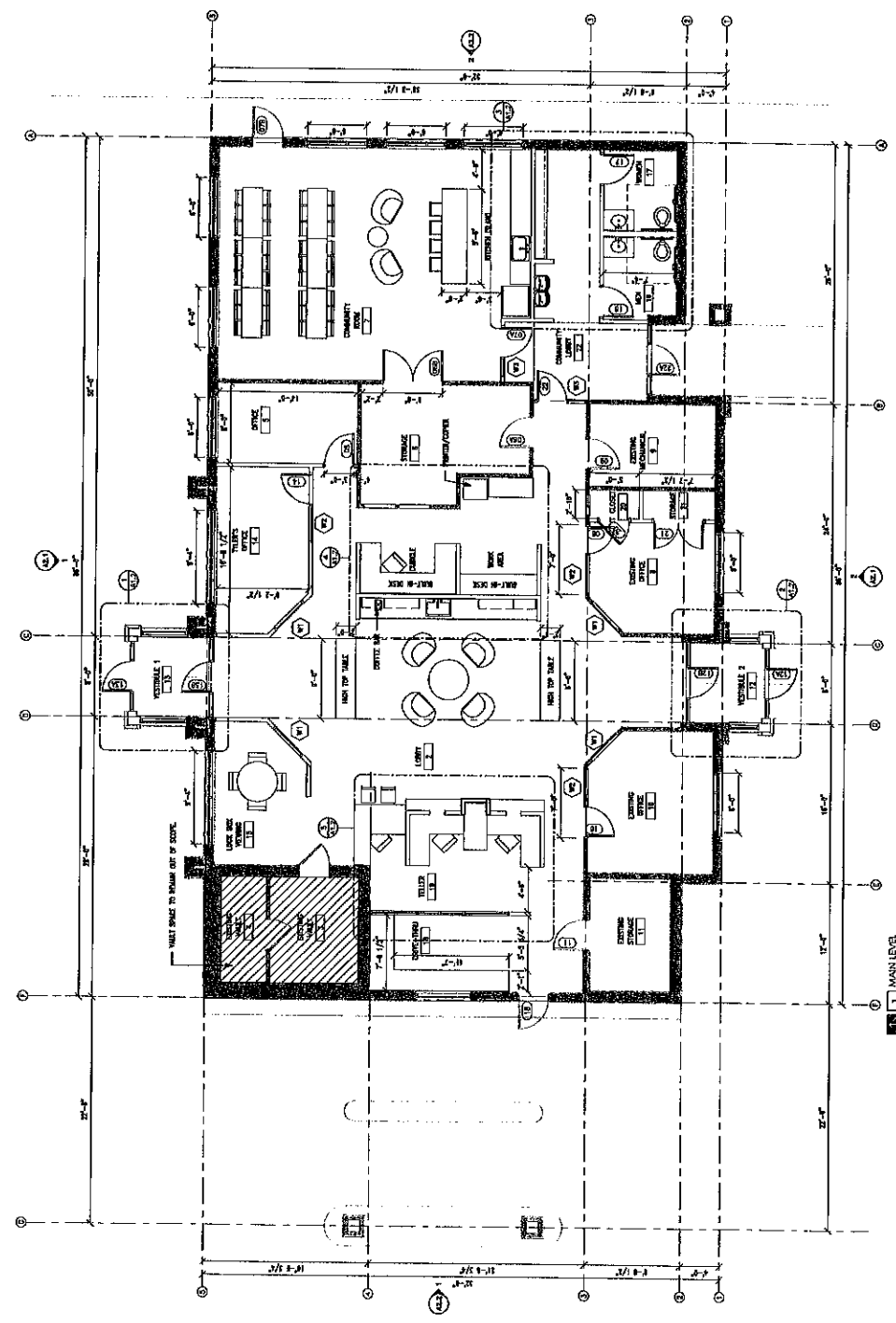
RACCOON VALLEY BANK
DALLAS CENTER
590 SUGAR GROVE AVENUE
DALLAS CENTER, IA 50063

STUDIO MEELE
139 4TH STREET
WEST DES MOINES, IOWA 50265

DATE: 08/22/23
PROJECT: RACCOON VALLEY BANK
SHEET: FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

REVISIONS
NO. DESCRIPTION
1.000

1. THE ARCHITECT SHALL VERIFY ALL EXISTING CONDITIONS AND REPORT DISCREPANCIES TO THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE IOWA BUILDING CODE.
3. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
4. THE OWNER SHALL BE RESPONSIBLE FOR THE UTILITIES WORK AT THE PROJECT SITE.
5. EXISTING WALLS TO REMAIN ARE SHOWN WITH HATCHING.



DATE: 08/22/23
SCALE: 1/8" = 1'-0"

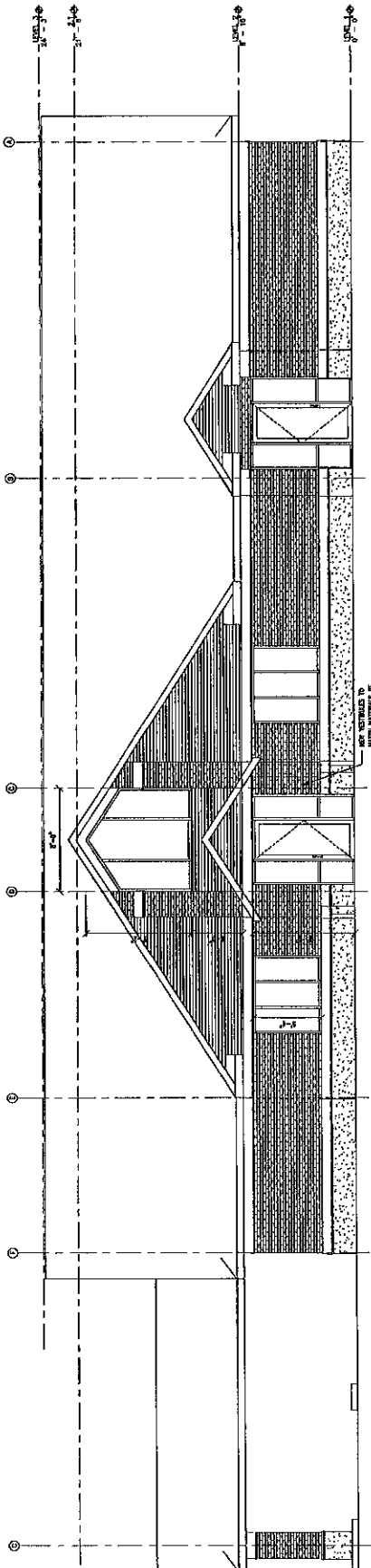
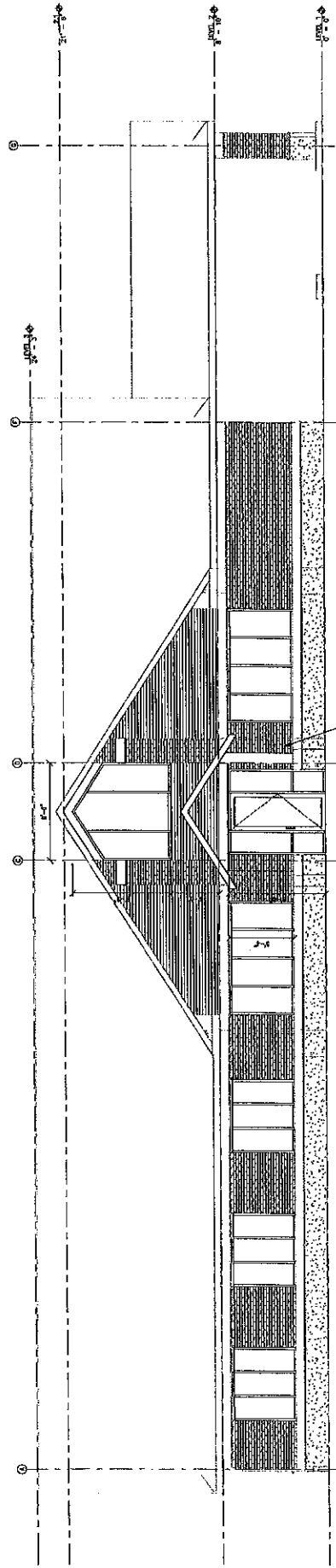


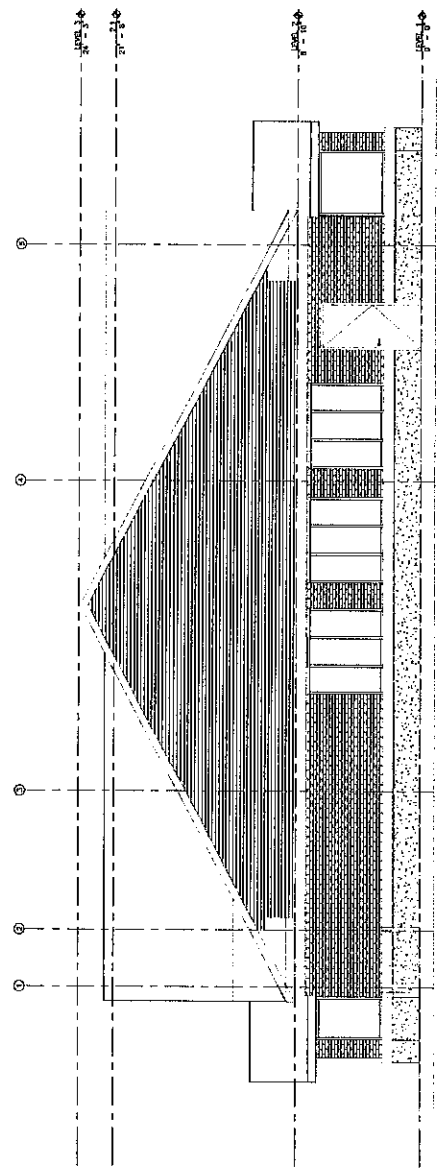
SCHEMATIC DESIGN

PRELIMINARY - NOT FOR CONSTRUCTION

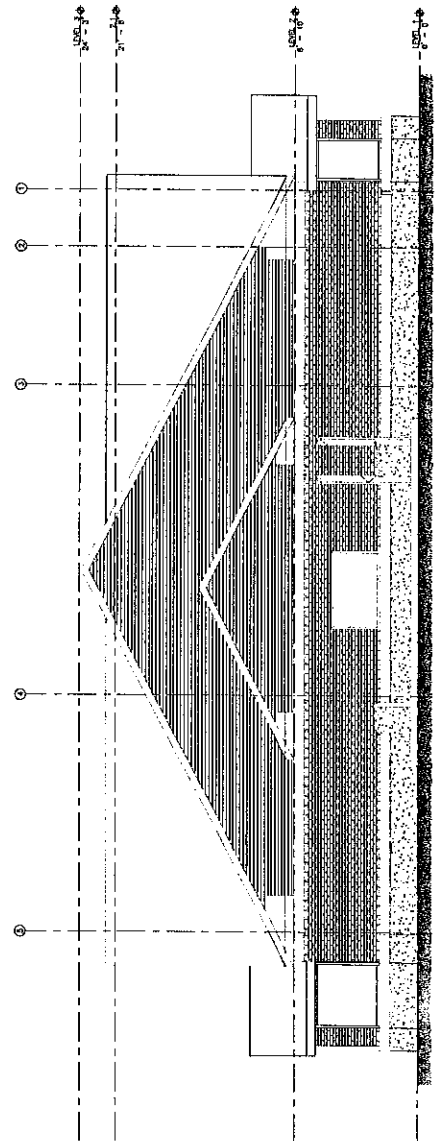
1 NORTH ELEVATION
1/2" = 1'-0"

2 SOUTH ELEVATION
1/2" = 1'-0"





2 EAST ELEVATION
1/4" = 1'-0"



1 WEST ELEVATION
1/4" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

RESOLUTION NO. 2023-66

**A RESOLUTION APPROVING THE ARCHITECTURAL PLAN FOR THE
CONSTRUCTION OF ADDITIONS TO THE RACCOON VALLEY BANK
AT 590 SUGAR GROVE AVENUE**

WHEREAS, Raccoon Valley Bank has submitted an Architectural Plan pursuant to Chapter 158 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, for the construction of new vestibules at the north and south doors of the existing bank building at 590 Sugar Grove Avenue, Dallas Center, which Plan was reviewed by the Planning and Zoning Commission on September, 2023; and

WHEREAS, the submitted Plan for the vestibules shows that the vestibules will match the existing building architecture and thus will comply with City's architectural standards contained in Chapter 158 of the Code of Ordinances; and

WHEREAS, the Planning and Zoning Commission recommended approval of the Architectural Plan.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DALLAS CENTER, IOWA, that the Architectural Plan submitted by Raccoon Valley for the construction of new vestibules at the north and south doors of the Bank's building at 590 Sugar Grove Avenue is approved.

PASSED, APPROVED, AND ADOPTED by the City Council of the City of Dallas Center, Iowa, on this 10th day of October, 2023.

Daniel Beyer, Mayor

ATTEST:

Shellie Schaben, City Clerk

RESOLUTION NO. 2023-67

A RESOLUTION APPROVING THE REVISED PRELIMINARY PLAT OF THE NEIGHBORHOOD PLAT 2, A SUBDIVISION, TO THE CITY OF DALLAS CENTER, IOWA

WHEREAS, K&A Investments, LLC, as owner and developer, submitted to the Planning and Zoning Commission of the City of Dallas Center, Iowa, a Preliminary Plat of The Neighborhood Plat 2, a subdivision, which Preliminary Plat was approved by the Council on July 12, 2022, by Resolution No. 2022-58, following a recommendation by the Planning and Zoning Commission that the Preliminary Plat be approved; and

WHEREAS, the owner and developer has submitted to the Planning and Zoning Commission a revised Preliminary Plat of the The Neighborhood Plat 2, a subdivision; and

WHEREAS, the Planning and Zoning Commission reviewed the revised Preliminary Plat at its meeting on September 26, 2023, all in accord with Chapter 170 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended; and

WHEREAS, the City Engineer provided review comments and recommendations dated September 20, 2023, which comments and recommendations were accepted and adopted by the Commission; and

WHEREAS, the Planning and Zoning Commission has recommended to the Council the approval of said revised Preliminary Plat, subject to the following specific recommendations: (a) the requirement, pursuant to Section 170.14(7) of the Code of Ordinances, as amended, that on the plans and specifications for all public improvements, the subdivider shall identify the provider that will provide broadband high speed fiber internet access to all parcels within the subdivision; (b) on each lot one street tree will be planted by the Tree Board for every thirty (30) feet of street frontage and the owner and developer will pay a tree fee of \$400 for each street tree to the City Clerk before approval of the Final Plat as required by Section 170.06(19) of the Code of Ordinances; (c) subject to the paved street widths being in compliance with the requirements of the Code of Ordinances at the time of construction; and (d) the construction of a five-foot wide

sidewalk along the west side of the Plat along Fair View Drive.

WHEREAS, the owner and developer has submitted to the City with the original Preliminary Plat, pursuant to Section 170.13(5) of the Code of Ordinances of the City of Dallas Center, as amended, an Alternate Plan for a cash payment to the City which payment may be used by the City only for park and recreation facility and park connectivity purposes consistent with the City's Comprehensive Plan; and

WHEREAS, following the approval of this revised Preliminary Plat, and prior to the submittal of a Final Plat, pursuant to Section 170.13.(5)(C) of the Code of Ordinances, as amended, the owner and developer shall initiate the appraisal process set out in Section 170.13(5)(A) of the Code of Ordinances; and

WHEREAS, as provided in Section 170.13(5)(C) of the Code of Ordinances, following the appraisal process, the Council shall accept the amount of a payment in lieu of land dedication in connection with its approval of the Final Plat; and

WHEREAS, the owner and developer has submitted the revised Preliminary Plat to the City as a Phased Preliminary Plat pursuant to Section 170.04(5) of the Code of Ordinances, as amended.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Dallas Center, Iowa, that the revised Preliminary Plat of The Neighborhood Plat 2 be approved as a Phased Preliminary Plat pursuant to the provisions of Section 170.04 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, subject to the following provisions:

(a) the requirement, pursuant to Section 170.14(7) of the Code of Ordinances, as amended, that on the plans and specifications for all public improvements, the subdivider shall identify the provider that will provide broadband high speed fiber internet access to all parcels within the subdivision ;

(b) one street tree will be planted by the Tree Board for every thirty (30) feet of street frontage on each lot and the owner and developer will pay a tree fee of \$400 for each street tree to the City Clerk before approval of the Final Plat as required by Section 170.06(19) of the Code of Ordinances;

(c) the paved street widths must be in compliance with the requirements of the Code of Ordinances at the time of construction;

(d) the construction of a five-foot wide sidewalk along the west side of the Plat along Fair View Drive;

(e) pursuant to Section 170.13.(5)(C) of the Code of Ordinances, as amended, the owner and developer shall initiate the appraisal process set out in Section 170.13(5)(A) of the Code of Ordinances in connection with its proposal to make a payment to the City in lieu of park land dedication.

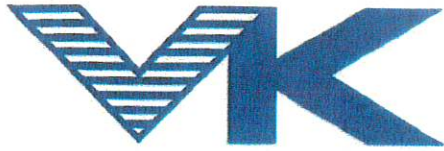
IT IS FURTHER RESOLVED that the owner and developer are hereby notified that the approval of the Phased Preliminary Plat, pursuant to Section 170.04(7) of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, will be null and void unless the Final Plat is (or Final Plats are) presented to the Council within two years after the date of the Phased Preliminary Plat approval. However, the filing of a Final Plat constituting more than five percent (5%) of the area of the Phased Preliminary Plat extends the validity of the Phased Preliminary Plat by two (2) additional years.

PASSED, APPROVED AND ADOPTED by the City Council of the City of Dallas Center, Iowa, this 10th day of October, 2023.

Daniel Beyer, Mayor

ATTEST:

Shellie Schaben, City Clerk



VEENSTRA & KIMM INC.

3000 Westown Parkway
West Des Moines, Iowa 50266

515.225.8000 // 800.241.8000
www.v-k.net

September 20, 2023

Cindy Riesselman
City Administrator
City of Dallas Center
1502 Walnut Street
P.O. Box 396
Dallas Center, Iowa 50063

DALLAS CENTER, IOWA
THE NEIGHBORHOOD PLAT 2
REVISED PRELIMINARY PLAT

Enclosed is a copy of the revised preliminary plat of The Neighborhood Plat 2. The revisions to the preliminary plat involve the creation of a number of larger lots than set forth in the previously approved preliminary plat. The park lot, Outlot X, remains essentially unchanged. The only change is the width of the park lot increased from 58 feet to 58.51 feet. The access lots on the west side of Lot D, identified as Lot U and Lot V, remain unchanged.

With the revised preliminary plat the number of lots decreases from the previously approved 112 to the revised count of 99. Please note on the preliminary plat the largest lot number is 101. However, on the south side of Lot C there is no Lot 86 and on the north side of Lot E there is no Lot 93. When these two skipped numbers are taken into account the lot count is 99.

The number of lots along each side of each street is reduced in all areas except along the south side of Lot E. On the south side of Lot E the 14 lots between Lot B and Outlot U are unchanged.

The following is a summary of the lot changes:

- North side of Lot A – the number of lots decreases from 23 lots to 22 lots. These lots are still the smallest lots. There are now more 60-foot lots on the north side of Lot A. The earlier version of the preliminary plat only had one 60-foot lot on the north side of the street.
- East side of Lot B – the number of lots decreases from 12 lots to 11 lots. With the adjustment all of the lots along the east side of Lot B are 70-foot frontage.

- South side of Lot A – the number of lots decreases from 14 lots to 11 lots. The original plat had a number of lots in the 52 to 58-foot frontage range. With the revision all of the lots have a frontage of 70 feet or greater.
- North side of Lot C – the number of lots decreases from 13 lots to 11 lots. The original preliminary plat showed the lots in this area to range from 56 to 62 feet in frontage. With the revised preliminary plat all of the lots have a 70-foot frontage.
- South side of Lot C – the number of lots decreases from 14 lots to 11 lots. The original preliminary plat showed lots ranging from 56 to 64-foot frontage. With the revised plat the smallest lot is 72-foot frontage and the majority of the lots are 74 to 75-foot frontage.
- North side of Lot D – the number of lots decreases from 12 lots to 11 lots. The original plat had several lots with a frontage between 66 and 70 feet. With the revised frontage all of the lots have at least a 72-foot frontage and all except one lot have a frontage between 74 feet and 75 feet.
- West side of Lot D – the number of lots decreases from 10 lots to 8 lots. The original preliminary plat had lots ranging in size from 58 feet to 66 feet with most of the lots having a 58-foot frontage. With the revised plat all of the lots have a minimum frontage of 76.5 feet.

With the revised plat the remaining smaller lots are located on the north side of Lot A. Except for this area all lots have a minimum frontage of 66 feet and except for the south side of Lot E all of the lots have a frontage of at least 70 feet.

If you have any questions or comments concerning the project, please contact the writer at 515-225-8000, or bveenstra@v-k.net.

VEENSTRA & KIMM, INC.



H. R. Veenstra Jr.

HRVJr:paj

212

Enclosure

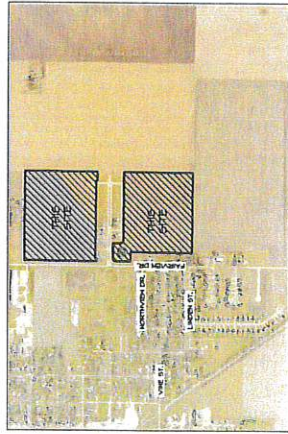
Cc: Shellie Schaben
Ralph Brown
Matt Ostanik

PRELIMINARY PLAT

THE NEIGHBORHOOD PLAT 2

DALLAS CENTER, IOWA

K & A INVESTMENTS, LLC 10640 JUSTIN DR URBANDALE, IA 50322



VICINITY SKETCH

OWNER/DEVELOPER:

K & A INVESTMENTS, LLC
10640 JUSTIN DR
URBANDALE, IA 50322

ZONING/LAND USE

R1-35 FLEX R1-40 FLEX R1-70

LEGAL DESCRIPTION:

PORTION OF DALLAS CENTER PLAT 1, AN OFFICIAL PLAT, CITY OF DALLAS CENTER, DALLAS COUNTY, IOWA

BULK REGULATIONS:

LOT AREA	8,000 SQ FT
LOT FRONTAGE	10 FEET
LOT DEPTH	80 FEET AVE
FRONT SETBACK	5 FEET
REAR SETBACK	5 FEET
SIDE SETBACK	5 FEET
TOTAL SIDEYARD SETBACK	10 FEET
REAR SETBACK	10 FEET

GENERAL NOTES:
 1. BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR TESTING AND INSPECTION AND NOTIFY THE FOLLOWING AT LEAST ONE WEEK PRIOR TO:
 a. COMMENCEMENT OF CONSTRUCTION.
 b. C1 & A INVESTMENTS, LLC OR VENDOR'S REPRESENTATIVE.
 c. CIVIL ENGINEERING CONSULTANTS, INC. PHONE: 563-776-8004
 2. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND LEASES NEEDED TO COMPLETION PROJECT.
 3. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE CITY OF DALLAS CENTER, IOWA, REGARDING THE LOCATION OF EXISTING FACILITIES AND APPROPRIATE SHOWN ON PLANS BASED ON AVAILABLE INFORMATION WITHOUT REGARD TO THE LOCATION OF EXISTING FACILITIES AS SHOWN ON PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF EXISTING FACILITIES AS SHOWN ON PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF EXISTING FACILITIES AS SHOWN ON PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF EXISTING FACILITIES AS SHOWN ON PLANS.
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 5. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE CITY OF DALLAS CENTER, IOWA, REGARDING THE LOCATION OF EXISTING FACILITIES AND APPROPRIATE SHOWN ON PLANS BASED ON AVAILABLE INFORMATION WITHOUT REGARD TO THE LOCATION OF EXISTING FACILITIES AS SHOWN ON PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF EXISTING FACILITIES AS SHOWN ON PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF EXISTING FACILITIES AS SHOWN ON PLANS.
 6. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE CITY OF DALLAS CENTER, IOWA, REGARDING THE LOCATION OF EXISTING FACILITIES AND APPROPRIATE SHOWN ON PLANS BASED ON AVAILABLE INFORMATION WITHOUT REGARD TO THE LOCATION OF EXISTING FACILITIES AS SHOWN ON PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF EXISTING FACILITIES AS SHOWN ON PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF EXISTING FACILITIES AS SHOWN ON PLANS.
 7. CIVIL ENGINEERING CONSULTANTS, INC. IS NOT A REGISTERED ENGINEER.
 8. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ARRANGE FOR INSPECTIONS AS NEEDED.

NPDES/SWPPP

- OWNER AND/OR CONTRACTOR ARE REQUIRED TO OBTAIN NPDES PERMIT AND FOLLOW THE REQUIREMENTS OF ASSOCIATED PERMIT.
- OWNER AND/OR CONTRACTOR IS REQUIRED TO PREPARE A SWPPP SOCKET INDICATING ALL EROSION AND SEDIMENTATION CONTROL MEASURES TO BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
- OWNER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE CITY OF DALLAS CENTER, IOWA, REGARDING THE LOCATION OF EXISTING FACILITIES AND APPROPRIATE SHOWN ON PLANS BASED ON AVAILABLE INFORMATION WITHOUT REGARD TO THE LOCATION OF EXISTING FACILITIES AS SHOWN ON PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF EXISTING FACILITIES AS SHOWN ON PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF EXISTING FACILITIES AS SHOWN ON PLANS.
- ADDITIONAL SILT FENCING MAY BE REQUIRED BY CITY AFTER FIELD INSPECTION.

GRADING NOTES

- STEP TROPICAL FROM ALL AREAS WHICH ARE TO RECEIVE STRUCTURAL FILL.
- PREPARE BOTTOMS OF TRENCH FOR FILL BY DRAINING TO DEPTH OF ANCHORS.
- PREPARE BOTTOMS OF TRENCH FOR FILL BY DRAINING TO DEPTH OF ANCHORS.
- CONCRETE FOUNDATIONS SHALL BE CONCRETED TO DEPTH.
- MAINTAIN ALL CITY AND ILLINOIS FILL AREAS FOR SURFACE DRAINAGE AT ALL TIMES.
- ADDITIONAL SILT FENCING MAY BE REQUIRED BY CITY AFTER FIELD INSPECTION.

SHEET LIST TABLE

SHEET NUMBER	SHEET TITLE
1	COVER
2	OVERALL
3	DIVISION PLAN NORTH
4	DIVISION PLAN SOUTH
5	SEWERAGE PLAN NORTH
6	SEWERAGE PLAN SOUTH
7	UTILITY PLAN NORTH
8	UTILITY PLAN SOUTH



EXISTING

LOT LINE	0
SANITARY/STORM MANHOLE	○
WATER VALVE	○
FIRE HYDRANT	○
STORM SEWER SINGLE INTAKE	○
STORM SEWER DOUBLE INTAKE	○
STORM SEWER ROUND INTAKE	○
PLAIN END SECTION	○
DECIDUOUS TREE	○
CONIFEROUS TREE	○
SHRUB	○
POKER POLE	○
STREET LIGHT	○
60' ANCHOR	○
ELECTRIC TRANSFORMER	○
GAS METER	○
TELEPHONE RISER	○
UNDERGROUND TELEVISION	○
UNDERGROUND ELECTRIC	○
UNDERGROUND GAS	○
UNDERGROUND FIBER OPTIC	○
OVERHEAD TELEPHONE	○
OVERHEAD ELECTRIC	○
SANITARY SEWER WITH SIZE	○
STORM SEWER WITH SIZE	○
WATER MAIN WITH SIZE	○
EXISTING CONTOUR	○
TREELINE	○

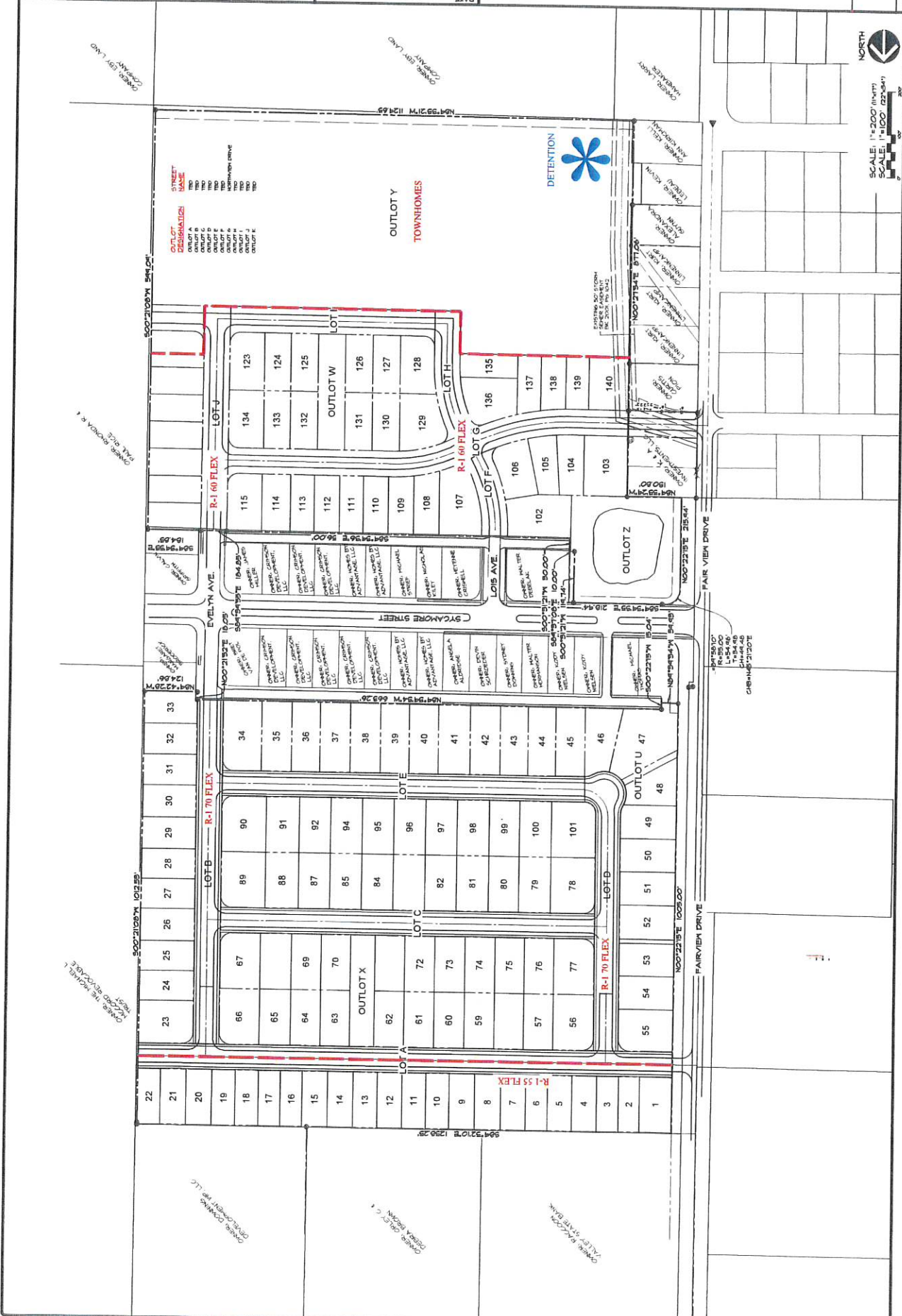
CERTIFICATION

I HEREBY CERTIFY THAT THIS LAND SURVEYING WORK WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA. EXPIRES: 2022 DATE OF THIS SURVEY: 02/20/2022 DATE OF THIS PLAT: 02/20/2022 DATE OF THIS PLAT: 02/20/2022



DATE:	02-20-2022
DESIGNED BY:	
DRAWN BY:	

DATE OF SURVEY:	MAR 14, 2011
DATE OF PLAT:	MAR 14, 2011
PROJECT:	THE NEIGHBORHOOD PLAT 2
LOCATION:	DALLAS CENTER, IOWA

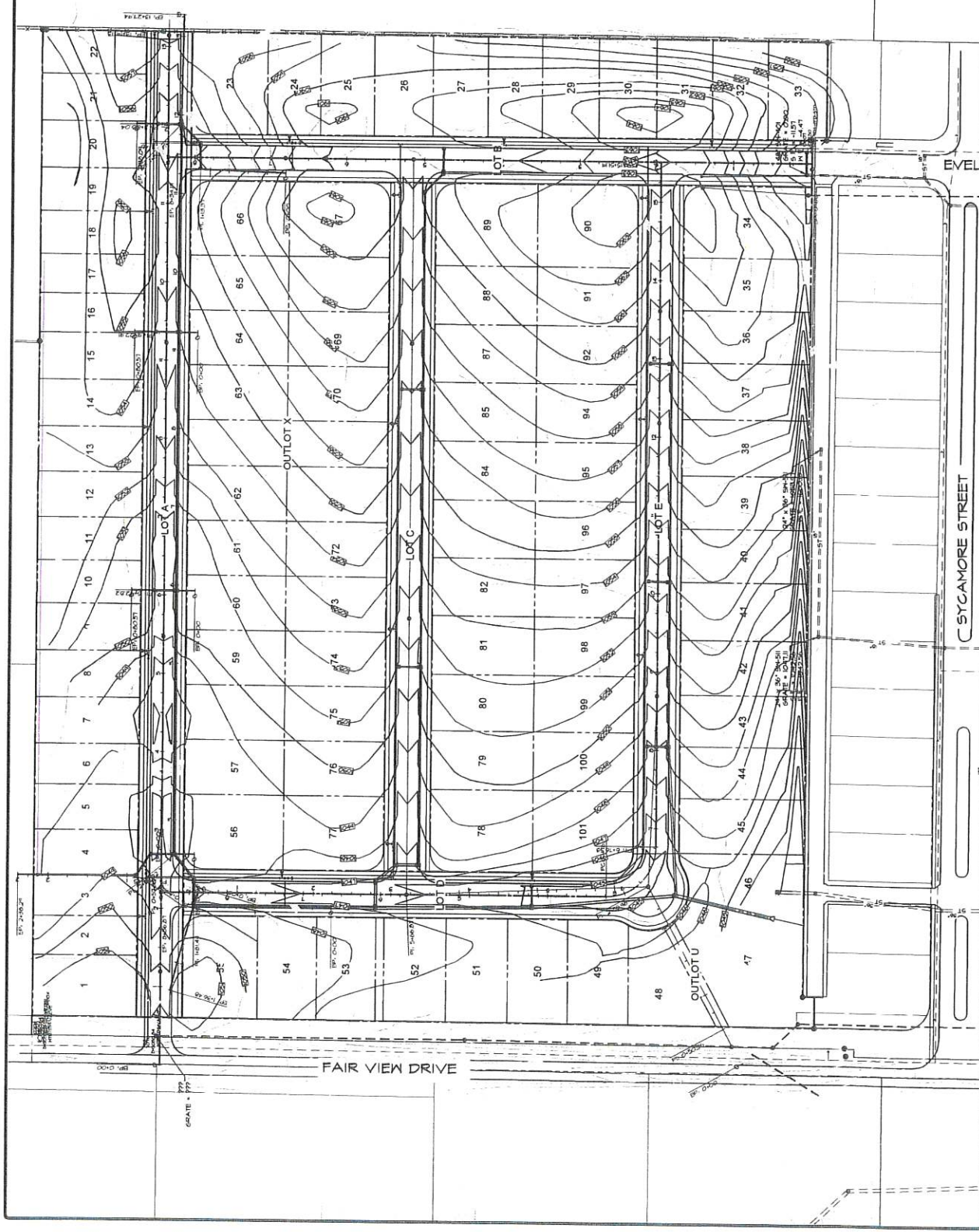


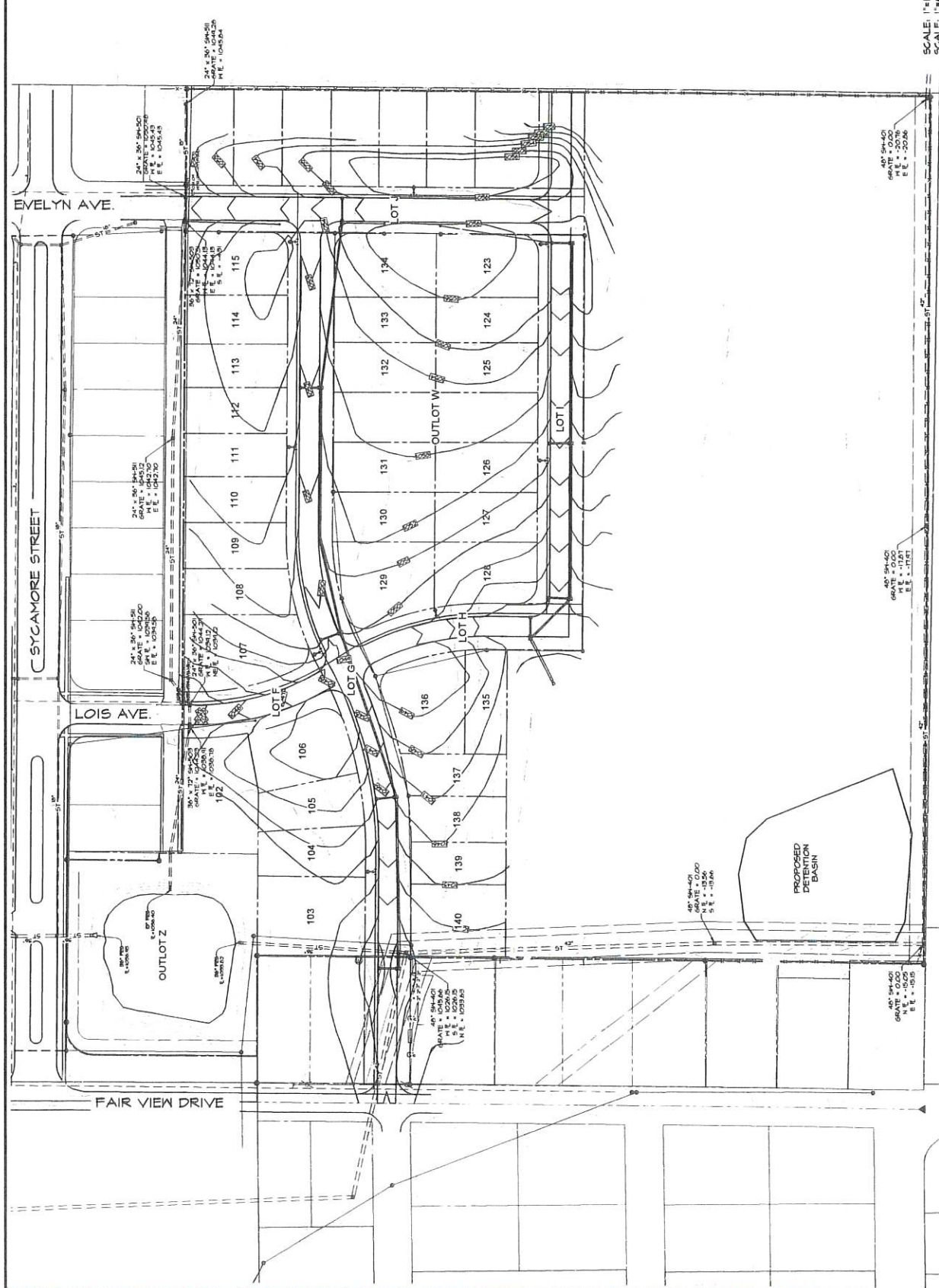
CD	DELTA	BEARING	LENGTH	MARKET	LABORED LOT	BEARING	LENGTH	MARKET
1	10.000	N00°00'00"E	100.000	100.000	100.000	N00°00'00"E	100.000	100.000
2	10.000	N00°00'00"E	100.000	100.000	100.000	N00°00'00"E	100.000	100.000
3	10.000	N00°00'00"E	100.000	100.000	100.000	N00°00'00"E	100.000	100.000
4	10.000	N00°00'00"E	100.000	100.000	100.000	N00°00'00"E	100.000	100.000
5	10.000	N00°00'00"E	100.000	100.000	100.000	N00°00'00"E	100.000	100.000
6	10.000	N00°00'00"E	100.000	100.000	100.000	N00°00'00"E	100.000	100.000
7	10.000	N00°00'00"E	100.000	100.000	100.000	N00°00'00"E	100.000	100.000
8	10.000	N00°00'00"E	100.000	100.000	100.000	N00°00'00"E	100.000	100.000
9	10.000	N00°00'00"E	100.000	100.000	100.000	N00°00'00"E	100.000	100.000
10	10.000	N00°00'00"E	100.000	100.000	100.000	N00°00'00"E	100.000	100.000
11	10.000	N00°00'00"E	100.000	100.000	100.000	N00°00'00"E	100.000	100.000
12	10.000	N00°00'00"E	100.000	100.000	100.000	N00°00'00"E	100.000	100.000
13	10.000	N00°00'00"E	100.000	100.000	100.000	N00°00'00"E	100.000	100.000
14	10.000	N00°00'00"E	100.000	100.000	100.000	N00°00'00"E	100.000	100.000
15	10.000	N00°00'00"E	100.000	100.000	100.000	N00°00'00"E	100.000	100.000
16	10.000	N00°00'00"E	100.000	100.000	100.000	N00°00'00"E	100.000	100.000
17	10.000	N00°00'00"E	100.000	100.000	100.000	N00°00'00"E	100.000	100.000
18	10.000	N00°00'00"E	100.000	100.000	100.000	N00°00'00"E	100.000	100.000
19	10.000	N00°00'00"E	100.000	100.000	100.000	N00°00'00"E	100.000	100.000
20	10.000	N00°00'00"E	100.000	100.000	100.000	N00°00'00"E	100.000	100.000
21	10.000	N00°00'00"E	100.000	100.000	100.000	N00°00'00"E	100.000	100.000
22	10.000	N00°00'00"E	100.000	100.000	100.000	N00°00'00"E	100.000	100.000
23	10.000	N00°00'00"E	100.000	100.000	100.000	N00°00'00"E	100.000	100.000
24	10.000	N00°00'00"E	100.000	100.000	100.000	N00°00'00"E	100.000	100.000
25	10.000	N00°00'00"E	100.000	100.000	100.000	N00°00'00"E	100.000	100.000
26	10.000	N00°00'00"E	100.000	100.000	100.000	N00°00'00"E	100.000	100.000
27	10.000	N00°00'00"E	100.000	100.000	100.000	N00°00'00"E	100.000	100.000
28	10.000	N00°00'00"E	100.000	100.000	100.000	N00°00'00"E	100.000	100.000
29	10.000	N00°00'00"E	100.000	100.000	100.000	N00°00'00"E	100.000	100.000
30	10.000	N00°00'00"E	100.000	100.000	100.000	N00°00'00"E	100.000	100.000
31	10.000	N00°00'00"E	100.000	100.000	100.000	N00°00'00"E	100.000	100.000
32	10.000	N00°00'00"E	100.000	100.000	100.000	N00°00'00"E	100.000	100.000
33	10.000	N00°00'00"E	100.000	100.000	100.000	N00°00'00"E	100.000	100.000



DATE:	SEP. 20, 2023
DATE OF SURVEY:	MAR. 14, 2017
DESIGNED BY:	J.D.
DRAWN BY:	J.M.

Civil Engineering Consultants, Inc.
 2909 86th Street, Unit 12, Des Moines, Iowa 50323
 515.276.4884
 mail@cecinc.com







SCALE: 1"=120'
SCALE: 1"=60'

UTILITY PLAN (NORTH PLAN)
DALLAS CENTER, IOWA

DATE: Sep. 20, 2023
DRAWN BY: [blank]
CHECKED BY: [blank]
DATE OF SURVEY: MAR. 14, 2017
SHEET NO.: 104

Civil Engineering Consultants, Inc.
2800 86th Street, Unit 12, Des Moines, Iowa 50323
515.276.4884
maff@cecinc.com





SCALE 1"=100' (Utility)
 SCALE 1"=50' (Plat)





**COST REIMBURSEMENT AGREEMENT IN
CONNECTION WITH MEMBER OF DALLAS CENTER
FIRE DEPARTMENT RECEIVING EMR TRAINING**

THIS AGREEMENT is entered into effective this 10th day of October, 2023, by and between **THE CITY OF DALLAS CENTER, IOWA**, a municipal corporation (the "City"), and **MAKENNA BROOKS**, a member of the Dallas Center Fire Department ("Brooks").

WHEREAS, it is necessary that Brooks attend and complete Emergency Medical Response (EMR) training during calendar year 2023, and the City will pay the \$675.00 cost of that course of instruction by Des Moines Area Community College and held on the Dallas County Human Services Campus; and

WHEREAS, attending and completing the training will benefit both the City and Brooks; and

WHEREAS, the City and Brooks have agreed that in the event Brooks should leave her volunteer service with the Fire Department once the City has incurred the costs for the training that Brooks should, under certain circumstances, reimburse the City for all or a portion of the costs incurred by the City for the training; and

WHEREAS, this Agreement has been approved by the Dallas Center City Council by its approval of Resolution No. 2023-68.

NOW, THEREFORE, IT IS AGREED BY THE PARTIES:

1. In the event Brooks leaves the Dallas Center Fire Department within the first year of the EMR training between the period beginning September 11, 2023, and ending September 10, 2024, she shall reimburse the City 100 percent of the costs incurred by the City for the training.
2. In the event Brooks leaves the Fire Department on or after September 11, 2024, and before September 10, 2025, she shall reimburse the City one-half of the costs incurred by the City for the training.
3. In the event Brooks leaves the Fire Department on or after September 11, 2025, she shall not be required to make any reimbursement to the City.

CITY OF DALLAS CENTER, IOWA

By _____
Daniel Beyer, Mayor

MaKenna Brooks

**COST REIMBURSEMENT AGREEMENT IN
CONNECTION WITH MEMBER OF DALLAS CENTER
FIRE DEPARTMENT RECEIVING EMR TRAINING**

THIS AGREEMENT is entered into effective this 10th day of October, 2023, by and between **THE CITY OF DALLAS CENTER, IOWA**, a municipal corporation (the "City"), and **JOHNATHAN MINGER**, a member of the Dallas Center Fire Department ("Minger").

WHEREAS, it is necessary that Minger attend and complete Emergency Medical Response (EMR) training during calendar year 2023, and the City will pay the \$675.00 cost of that course of instruction by Des Moines Area Community College and held on the Dallas County Human Services Campus; and

WHEREAS, attending and completing the training will benefit both the City and Minger; and

WHEREAS, the City and Minger have agreed that in the event Minger should leave his volunteer service with the Fire Department once the City has incurred the costs for the training that Minger should, under certain circumstances, reimburse the City for all or a portion of the costs incurred by the City for the training; and

WHEREAS, this Agreement has been approved by the Dallas Center City Council by its approval of Resolution No. 2023-69.

NOW, THEREFORE, IT IS AGREED BY THE PARTIES:

1. In the event Minger leaves the Dallas Center Fire Department within the first year of the EMR training between the period beginning September 11, 2023, and ending September 10, 2024, he shall reimburse the City 100 percent of the costs incurred by the City for the training.
2. In the event Minger leaves the Fire Department on or after September 11, 2024, and before September 10, 2025, he shall reimburse the City one-half of the costs incurred by the City for the training.
3. In the event Minger leaves the Fire Department on or after September 11, 2025, he shall not be required to make any reimbursement to the City.

CITY OF DALLAS CENTER, IOWA

By _____
Daniel Beyer, Mayor

Johnathan Minger

Adel Location
 916 Main Street • Adel, IA 50003
 Phone: (515) 993-4287 • Fax: (515) 993-3824



Winterset Location
 224 Highway 92 • Winterset, IA 50273
 Phone: (515) 462-2939 • Fax: (515) 462-5092

tammy@adelwintersettv.com

PROPOSAL SUBMITTED TO: <i>City of Dallas Center</i>	JOB NAME: <i>HVAC System Quote</i>	DATE: <i>9/19/23</i>
ADDRESS: <i>1502 Walnut</i>	JOB LOCATION: <i>Fire Station</i>	
CITY, STATE AND ZIP CODE: <i>Dallas Center, Ia. 50063</i>	HOME PHONE: <i>Brian</i>	WORK PHONE:
EMAIL ADDRESS:	CELL 1:	CELL 2:

We hereby submit specifications and estimates for:

- 1- Amona Furnance AM95 960403A/M 40,000 BTU 96.1%
- 1- Amona Condenser ASXH501810 18,000 BTU
- 1- Cased Coil CARFA ~~1810~~ 1810
- 1- TXU2N4A

All Install Mo+.

Installed

~~\$~~ 8357.00

+ 230 to

raise it

per Terry

We Propose hereby to furnish material and labor - complete in accordance with above specifications, for the sum of:

Payment to be made as follows: _____ dollars (\$ _____)

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or diation from above specifications involving extra costs will be executed only upon writted orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary Insurance. Our workers are fully covered by Workman's Compensation Insurance.

Authorized Signature _____
 Note: this proposal may be withdrawn by us if not accepted within _____ days.

Acceptance of Proposal - The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. payment will be made as outlined above.

Date of Acceptance: _____

Signature _____
 Signature _____



VEENSTRA & KIMM INC.

3000 Westown Parkway
West Des Moines, Iowa 50266

515.225.8000 // 800.241.8000
www.v-k.net

September 26, 2023

Cindy Riesselman
City Administrator
City of Dallas Center
1502 Walnut Street
P.O. Box 396
Dallas Center, Iowa 50063

DALLAS CENTER, IOWA
HIGHWAY 44 DISTRIBUTION MAIN REPLACEMENT
PROJECT ACCEPTANCE
PARTIAL PAYMENT ESTIMATES

Max Smith Construction, LLC recently completed the final seeding on the project. With the completion of the seeding there are no original work items remaining to be completed on the project. Based on review it appears appropriate for the City to move forward with the acceptance of the project and to authorize the remaining payment on the project.

Enclosed is a copy of Partial Payment Estimate No. 3 (Final). Partial Payment Estimate No. 3 (Final) covers the remaining work on the project. Under Partial Payment Estimate No. 3 (Final) the amount to be paid would be \$14,250.00.

Enclosed is a copy of the Engineer's Certificate of Completion. The Engineer's Certificate of Completion shows the final contract amount to be \$343,793.20. This compares to the original contract price of \$336,622.80. During construction of the project there were minor modifications including a slight increase in the quantity of water main and two additional valves added as part of the project.

It is recommended the City Council at its meeting on October 10, 2023, adopt a resolution approving the project and authorizing the Mayor to sign the Engineer's Certificate of Completion.

Enclosed is Partial Payment Estimate No. 4 (Retainage). This payment estimate authorizes the payment of the 5% statutory retainage. The retainage payment is in the amount of \$17,189.66.

It is recommended the City Council at its meeting on October 10, 2023, approve Partial Payment Estimate No. 4 (Retainage). This payment estimate would be scheduled for payment on or about October 11, 2023.

Cindy Riesselman
September 26, 2023
Page 2

If you have any questions or comments concerning the project, please contact the writer at 515-225-8000, or bveenstra@v-k.net.

VEENSTRA & KIMM, INC.

A handwritten signature in blue ink, appearing to read "H. R. Veenstra Jr.", written in a cursive style.

H. R. Veenstra Jr.

HRVJr:rsb
212194
Enclosure

Cc: Ralph Brown, Brown, Fagen & Rouse
Shellie Schaben, City of Dallas Center



VEENSTRA & KIMM INC.

3000 Westown Parkway
West Des Moines, Iowa 50266

515.225.8000 // 800.241.8000
www.v-k.net

Date: September 26, 2023

PAY ESTIMATE NO. 3 (FINAL)

Project Title	Highway 44 Distribution main Replacement Dallas Center, Iowa		Contractor	Max Smith Construction, LLC 1681 E. Adgams St. Creston, IA 50801
Original Contract Amount & Date	\$336,622.80	October 11, 2022	Pay Period	June 6, 2023 - September 25, 2023

BID ITEMS

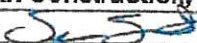
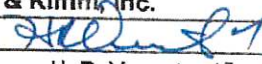
	Description	Unit	Estimated Quantity	Unit Price	Extended Price	Quantity Complete	Value Completed
1.1	6" Water Main in Open Cut	LF	3090	\$ 35.13	\$ 108,551.70	3,140	\$ 110,308.20
1.2	6" Water Main Directionally Bore	LF	1460	\$ 51.00	\$ 74,460.00	1,460	\$ 74,460.00
1.3	6" Gate Valve	EA	6	\$ 1,397.20	\$ 8,383.20	7	\$ 9,780.40
1.4	Hydrant Assembly	EA	1	\$ 7,000.00	\$ 7,000.00	1	\$ 7,000.00
1.5	Connections to Existing - T 1	EA	1	\$ 7,129.50	\$ 7,129.50	1	\$ 7,129.50
1.6	Connections to Existing - T 2	EA	1	\$ 7,129.50	\$ 7,129.50	1	\$ 7,129.50
1.7	Service Transfers - 1.5"	LS	7	\$ 1,624.50	\$ 11,371.50	8	\$ 12,996.00
1.8	Seeding	ACRE	4	\$ 3,000.00	\$ 12,000.00	4	\$ 12,000.00
1.9	Erosion Control	LS	1	\$ 2,000.00	\$ 2,000.00	1	\$ 2,000.00
1.10	Traffic Control	LS	1	\$ 3,000.00	\$ 3,000.00	1	\$ 3,000.00
2.1	6" Water Main in Open Cut	LF	730	\$ 35.13	\$ 25,644.90	730	\$ 25,644.90
2.2	6" Water Main Directionally Bore	LF	550	\$ 49.75	\$ 27,362.50	570	\$ 28,357.50
2.3	6" Gate Valve	EA	5	\$ 1,397.20	\$ 6,986.00	6	\$ 8,383.20
2.4	Hydrant Assembly	EA	1	\$ 7,000.00	\$ 7,000.00	1	\$ 7,000.00
2.5	Connections to Existing - T 1	EA	1	\$ 7,054.00	\$ 7,054.00	1	\$ 7,054.00
2.6	Connections to Existing - T 2	EA	1	\$ 7,054.00	\$ 7,054.00	1	\$ 7,054.00
2.7	Service Transfers - 1.5"	LS	4	\$ 1,624.00	\$ 6,496.00	4	\$ 6,496.00
2.8	Seeding	ACRE	1	\$ 3,000.00	\$ 3,000.00	1	\$ 3,000.00
2.9	Erosion Control	LS	1	\$ 2,000.00	\$ 2,000.00	1	\$ 2,000.00
2.10	Traffic Control	LS	1	\$ 3,000.00	\$ 3,000.00	1	\$ 3,000.00
	TOTAL CONTRACT				\$ 336,622.80		\$ 343,793.20

MATERIALS STORED SUMMARY

Description	Number of Units	Unit Price	Extended Cost
		\$ -	\$ -
		\$ -	\$ -
		\$ -	\$ -
		\$ -	\$ -
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		\$ -	\$ -
TOTAL MATERIALS STORED			\$ -

SUMMARY			
		Contract Price	Value Completed
Original Contract Price		\$336,622.80	\$ 343,793.20
Approved Change Orders (list each)			
TOTAL ALL CHANGE ORDERS		\$ -	\$ -
Revised Contract Price		\$ 336,622.80	\$ 343,793.20
		Materials Stored	\$ -
Value of Completed Work and Materials Stored		\$	343,793.20
Less Retained Percentage (5%)		\$	17,189.66
Net Amount Due This Estimate		\$	326,603.54
Less Estimate(s) Previously Approved	No.1	\$ 180,264.59	
	No.2	\$ 132,088.95	
	No.3		
	No.4		
	No.5		
	No.6		
	No.7		
	No.8		
	No.9		
	No.10		
	No.11		
	No.12		
Less Total Pay Estimates Previously Approved		\$	312,353.54
		Amount Due This Estimate	\$ 14,250.00

The amount \$ 14,250.00 is recommended for approval for payment in accordance with the terms of the contract.

Quantities Complete Submitted By:	Recommended By:	Approved By:
Max Smith Construction, LLC	Veenstra & Kimm, Inc.	City of Dallas Center
Signature: 	Signature: 	Signature:
Name: SEAN SMITH	Name: H. R. Veenstra Jr.	Name:
Title: OWNER	Title: Project Manager	Title:
Date: 9/26/23	Date: September 24, 2023	Date:



VEENSTRA & KIMM INC.

3000 Westown Parkway
West Des Moines, Iowa 50266

515.225.8000 // 800.241.8000
www.v-k.net

Date: September 26, 2023

PAY ESTIMATE NO. 4 (RETAINAGE)

Project Title	Highway 44 Distribution main Replacement Dallas Center, Iowa		Contractor	Max Smith Construction, LLC 1681 E. Adgams St. Creston, IA 50801
Original Contract Amount & Date	\$336,622.80	October 11, 2022	Pay Period	Sept. 25, 2023 - Sept. 25, 2023

BID ITEMS

	Description	Unit	Estimated Quantity	Unit Price	Extended Price	Quantity Complete	Value Completed
1.1	6" Water Main in Open Cut	LF	3090	\$ 35.13	\$ 108,551.70	3,140	\$ 110,308.20
1.2	6" Water Main Directionally Bore	LF	1460	\$ 51.00	\$ 74,460.00	1,460	\$ 74,460.00
1.3	6" Gate Valve	EA	6	\$ 1,397.20	\$ 8,383.20	7	\$ 9,780.40
1.4	Hydrant Assembly	EA	1	\$ 7,000.00	\$ 7,000.00	1	\$ 7,000.00
1.5	Connections to Existing - T 1	EA	1	\$ 7,129.50	\$ 7,129.50	1	\$ 7,129.50
1.6	Connections to Existing - T 2	EA	1	\$ 7,129.50	\$ 7,129.50	1	\$ 7,129.50
1.7	Service Transfers - 1.5"	LS	7	\$ 1,624.50	\$ 11,371.50	8	\$ 12,996.00
1.8	Seeding	ACRE	4	\$ 3,000.00	\$ 12,000.00	4	\$ 12,000.00
1.9	Erosion Control	LS	1	\$ 2,000.00	\$ 2,000.00	1	\$ 2,000.00
1.10	Traffic Control	LS	1	\$ 3,000.00	\$ 3,000.00	1	\$ 3,000.00
2.1	6" Water Main in Open Cut	LF	730	\$ 35.13	\$ 25,644.90	730	\$ 25,644.90
2.2	6" Water Main Directionally Bore	LF	550	\$ 49.75	\$ 27,362.50	570	\$ 28,357.50
2.3	6" Gate Valve	EA	5	\$ 1,397.20	\$ 6,986.00	6	\$ 8,383.20
2.4	Hydrant Assembly	EA	1	\$ 7,000.00	\$ 7,000.00	1	\$ 7,000.00
2.5	Connections to Existing - T 1	EA	1	\$ 7,054.00	\$ 7,054.00	1	\$ 7,054.00
2.6	Connections to Existing - T 2	EA	1	\$ 7,054.00	\$ 7,054.00	1	\$ 7,054.00
2.7	Service Transfers - 1.5"	LS	4	\$ 1,624.00	\$ 6,496.00	4	\$ 6,496.00
2.8	Seeding	ACRE	1	\$ 3,000.00	\$ 3,000.00	1	\$ 3,000.00
2.9	Erosion Control	LS	1	\$ 2,000.00	\$ 2,000.00	1	\$ 2,000.00
2.10	Traffic Control	LS	1	\$ 3,000.00	\$ 3,000.00	1	\$ 3,000.00
	TOTAL CONTRACT				\$ 336,622.80		\$ 343,793.20

MATERIALS STORED SUMMARY

Description	Number of Units	Unit Price	Extended Cost
		\$ -	\$ -
		\$ -	\$ -
		\$ -	\$ -
		\$ -	\$ -
		\$ -	\$ -
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		\$ -	\$ -
		\$ -	\$ -
TOTAL MATERIALS STORED			\$ -

SUMMARY

		Contract Price	Value Completed
Original Contract Price		\$336,622.80	\$ 343,793.20
Approved Change Orders (list each)			
TOTAL ALL CHANGE ORDERS		\$ -	\$ -
Revised Contract Price		\$ 336,622.80	\$ 343,793.20
		Materials Stored	\$ -
Value of Completed Work and Materials Stored		\$	\$ 343,793.20
		Less Retained Percentage (5%)	\$ -
Net Amount Due This Estimate		\$	\$ 343,793.20
Less Estimate(s) Previously Approved	No.1	\$ 180,264.59	
	No.2	\$ 132,088.95	
	No.3	\$ 14,250.00	
	No.4		
	No.5		
	No.6		
	No.7		
	No.8		
	No.9		
	No.10		
	No.11		
	No.12		
Less Total Pay Estimates Previously Approved		\$	\$ 326,603.54
Amount Due This Estimate		\$	\$ 17,189.66

The amount \$ 17,189.66 is recommended for approval for payment in accordance with the terms of the contract.

Quantities Complete Submitted By:	Recommended By:	Approved By:
Max Smith Construction, LLC	Veenstra & Kimm, Inc.	City of Dallas Center
Signature:	Signature:	Signature:
Name: <u>MAX SMITH</u>	Name: H. R. Veenstra Jr.	Name:
Title: <u>OWNER</u>	Title: Project Manager	Title:
Date: <u>9/26/23</u>	Date: <u>September 26, 2023</u>	Date:

RESOLUTION NO. 2023-48

A RESOLUTION ACCEPTING PUBLIC IMPROVEMENTS DESCRIBED AS HIGHWAY 44 DISTRIBUTION MAIN REPLACEMENT PHASE 1 PROJECT

WHEREAS, on the 11th day of October, 2022, the Mayor and Clerk of Dallas Center, Iowa, entered into a construction contract with Max Smith Construction, LLC for the construction of certain public improvements generally described as construction of the Highway 44 Distribution Main Replacement Phase 1 Project; and

WHEREAS, said contractor has fully completed the construction of said public improvements in accordance with the terms and conditions of said contract and plans and specifications as shown by the Certificate of the Engineer as filed with the Clerk on September 26, 2023.

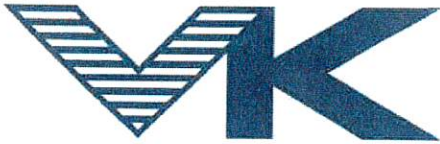
NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Dallas Center, Iowa, that said report of the Engineer be and the same is hereby approved and adopted, and said public improvements are hereby approved and accepted as having been fully completed in accordance with said plans, specifications and form of contract and the total final construction costs thereof is hereby determined to be \$343,793.20 as shown in the Certification of Completion issued by the Engineer.

PASSED, APPROVED AND ADOPTED by the City Council of the City of Dallas Center, Iowa, on this 10th day of October, 2023.

Daniel Beyer, Mayor

ATTEST:

Shellie Schaben, City Clerk



VEENSTRA & KIMM INC.
 3000 Westown Parkway
 West Des Moines, Iowa 50266
 515.225.8000 // 800.241.8000
 www.v-k.net

CERTIFICATE OF COMPLETION

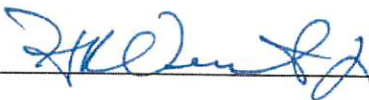
**HIGHWAY 44 DISTRIBUTION MAIN REPLACEMENT
 DALLAS CENTER, IOWA**

We hereby certify that we have made an on-site review of the completed construction of the Highway 44 Distribution Main Replacement Project as performed by Max Smith Construction, LLC.

As Engineers for the project, it is our opinion the work performed is in substantial accordance with the plans and specifications, and that the final amount of the Contract is Three Hundred Forty-three Thousand Seven Hundred Ninety-three and 20/100 Dollars (\$343,793.20).

VEENSTRA & KIMM, INC.

Accepted: City of Dallas Center, Iowa

By 
 Title Project Engineer
 Date 9/26/2023

By _____
 Title _____
 Date _____

212194

RESOLUTION NO. 2023-70

A RESOLUTION APPROVING AN AMENDMENT TO THE AGREEMENT FOR PROFESSIONAL ENGINEERING SERVICES WITH VEENSTRA & KIMM, INC. FOR DESIGN AND BIDDING SERVICES FOR THE CROSS COUNTRY ESTATES AND COUNTRY LIVING ESTATES STREET IMPROVEMENTS BY ESTABLISHING THE MAXIMUM FEE FOR ENGINEERING SERVICES DURING CONSTRUCTION

WHEREAS, by the adoption of Resolution No. 2023-46 on August 8, 2023, the Council approved an Agreement with Veenstra & Kimm, Inc. for design and bidding services for the Cross Country Estates and Country Living Estates Street Improvements; and

WHEREAS, that Agreement provided that the maximum fee for engineering services during construction of the Project would be set forth in a subsequent Amendment to the Agreement, and the Council has determined it now is appropriate to approve such Amendment to the Agreement which is attached to this Resolution as Exhibit A.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Dallas Center, Iowa, that the Amendment to Agreement for Professional Services with Veenstra & Kimm, Inc., is approved and the Mayor and Clerk are authorized to sign the Agreement on behalf of the City.

PASSED, APPROVED AND ADOPTED by the City Council of the City of Dallas Center, Iowa, on this 10th day of October, 2022.

Daniel Beyer, Mayor

ATTEST:

Shellie Schaben, City Clerk



VEENSTRA & KIMM INC.

3000 Westown Parkway
West Des Moines, Iowa 50266

515.225.8000 // 800.241.8000
www.v-k.net

September 28, 2023

Cindy Riesselman
City Clerk
City of Dallas Center
1502 Walnut Street
P.O. Box 396
Dallas Center, Iowa 50063

DALLAS CENTER, IOWA
CROSS COUNTRY ESTATES
COUNTRY LIVING ESTATES
STREET IMPROVEMENT
ENGINEERING SERVICES DURING CONSTRUCTION

This letter is a follow-up to our recent discussion concerning the estimated cost for engineering services during construction of the Cross Country Estates and Country Living Estates Street Improvement project. Enclosed is a draft of a proposed amendment to agreement that would establish the maximum fee for engineering services during construction of the project. In developing the budget for the overall project, the City can utilize the maximum fee set forth in the enclosed agreement

If you have any questions or comments concerning the project, please contact the writer at 515-225-8000, or at bveenstra@v-k.net.

VEENSTRA & KIMM, INC.

H. R. Veenstra Jr.

HRVJr:rsb
212197
Enclosure

Cc: Ralph Brown, Brown, Fagen, & Rouse

**AMENDMENT TO AGREEMENT FOR PROFESSIONAL SERVICES
CROSS COUNTRY ESTATES AND COUNTRY LIVING ESTATES
STREET IMPROVEMENTS
CONSTRUCTION ENGINEERING SERVICES
CITY OF DALLAS CENTER, IOWA**

THIS AMENDMENT TO AGREEMENT, made and entered into this ____ day of _____, 202____, by and between the **CITY OF DALLAS CENTER, IOWA**, a municipal corporation organized and existing pursuant to the laws of the State of Iowa, hereinafter referred to as the **City**, and **VEENSTRA & KIMM, INC.**, a corporation organized and existing under the laws of the State of Iowa, with principal offices in West Des Moines, Iowa, hereinafter referred to as the **Engineers**,

WITNESSETH: THAT WHEREAS, the City entered into an Agreement with the Engineers dated August 8, 2023 to provide engineering services for the Cross Country Estates and Country Living Estates Street Improvements, and

WHEREAS, the Agreement dated August 8, 2023 set forth the scope of services for engineering services during construction, and

WHEREAS, the Agreement dated August 8, 2023 provides the maximum fee for engineering services during construction of the Project is to be set forth in a subsequent Amendment to Agreement , and

WHEREAS, the City anticipates moving forward with the construction of the "**Cross Country Estates and Country Living Estates Street Improvements**" hereinafter referred to as the "**Project**", and

WHEREAS, the City desires to amend the Agreement dated August 8, 2023 to establish the maximum fee for engineering services during construction.

NOW, THEREFORE, it is agreed by and between the parties hereto the Agreement dated August 8, 2023 is amended by the following additions, deletions and modifications to wit:

1. Under **14. COMPENSATION**. delete "b" and substitute the following:
 - b. The fee for services during construction as set forth in **11. GENERAL SERVICES DURING CONSTRUCTION** through **13. FINAL REVIEW SERVICES** shall be on the basis of the Engineers standard hourly fees for personnel engaged in the performance of the services, plus reimbursement of direct out of pocket costs, with the maximum not to exceed fee of Sixty-eight Thousand and 00/100 Dollars (\$68,000.00).

2. Except as modified the Amendment to Agreement the terms and conditions of the Agreement dated August 8, 2023 shall remain in full force and effect.

The undersigned do hereby covenant and state that this Amendment to Agreement is executed in duplicate as though each were an original and there are no oral agreements that have not been reduced to writing in this instrument.

It is further covenanted and stated that there are no other considerations or monies contingent upon or resulting from the execution of this Amendment to Agreement, nor have any of the above been implied by or for any party to this Amendment to Agreement.

IN WITNESS WHEREOF, the parties have hereunto subscribed their names on the date first written above.

CITY OF DALLAS CENTER, IOWA

ATTEST:

By _____
Mayor

By _____
City Clerk

VEENSTRA & KIMM, INC.

ATTEST:

By _____
H. R. Veenstra Jr., Project Manager

By _____

VEENSTRA & KIMM, INC.
 HOURLY RATES BY EMPLOYEE CLASSIFICATION
 2023

Management I.....	\$220.00
Management II.....	210.00
Process Engineer I.....	235.00
Client Services I.....	221.00
Client Services II.....	135.00
Client Services III.....	107.00
Client Services IV.....	85.00
Client Services V.....	80.00
IT I.....	175.00
IT II.....	116.00
IT III.....	75.00
Funding Specialist I.....	121.00
Funding Specialist II.....	105.00
Engineer I-A.....	220.00
Engineer I-B.....	201.00
Engineer I-C.....	193.00
Engineer I-D.....	186.00
Engineer II-A.....	179.00
Engineer II-B.....	170.00
Engineer III-A.....	160.00
Engineer III-B.....	155.00
Engineer III-C.....	150.00
Engineer IV.....	143.00
Engineer V.....	136.00
Engineer VI.....	128.00
Engineer VII.....	122.00
Engineer VIII.....	117.00
Engineer IX.....	110.00
Engineer X.....	97.00
Engineer XI.....	87.00
Engineer XII.....	80.00
Design Technician I.....	126.00
Design Technician II.....	111.00
Design Technician III.....	99.00
Architect I.....	174.00
Architect II.....	153.00
Architect III.....	137.00
Planner I.....	142.00
Planner II.....	98.00
Planner III.....	89.00
Drafter IA.....	122.00
Drafter IB.....	114.00
Drafter II.....	109.00
Drafter III.....	102.00
Drafter IV.....	95.00
Drafter V.....	85.00

Drafter VI.....	75.00
Drafter VII.....	65.00
Clerical I.....	90.00
Clerical II.....	80.00
Clerical III.....	70.00
Clerical IV.....	61.00
Clerical V.....	52.00
Construction Engineer I.....	205.00
Construction Engineer II.....	127.00
Construction Engineer III.....	115.00
Construction Engineer IV.....	98.00
Surveyor I.....	148.00
Surveyor II.....	129.00
Technician I.....	110.00
Technician II.....	99.00
Technician III.....	91.00
Technician IV.....	86.00
Technician V.....	80.00
Technician VI.....	72.00
Technician VII.....	65.00
Technician VIII.....	55.00
Technician IX.....	46.00
Building Inspector I.....	199.00
Building Inspector I-A.....	140.00
Building Inspector II.....	109.00
Building Inspector III.....	86.00
Accounting I.....	179.00
Accounting II.....	130.00
Accounting III.....	115.00
Accounting IV.....	90.00
Accounting V.....	83.00

REIMBURSABLES AND EQUIPMENT RATES

GPS / Robotics.....	35.00
Tablet.....	45.00
Fluoroscope.....	50.00
4-Wheeler.....	50.00
Drone.....	75.00
Mileage.....	IRS Rate

RESOLUTION NO. 2023-71

**RESOLUTION SETTING DATES OF A CONSULTATION
AND A PUBLIC HEARING ON A PROPOSED
AMENDMENT NO. 8 TO THE DALLAS CENTER
URBAN RENEWAL PLAN IN THE CITY OF
DALLAS CENTER, IOWA**

WHEREAS, by Resolution No. 92-18, adopted October 27, 1992, this Council found and determined that certain areas located within the City are eligible and should be designated as an urban renewal area under Iowa law, and approved and adopted the Dallas Center Urban Renewal Plan (the "Plan" or "Urban Renewal Plan") for the Dallas Center Urban Renewal Area (the "Area" or "Urban Renewal Area") described therein, which Plan is on file in the office of the Recorder of Dallas County; and

WHEREAS, the City subsequently amended the Urban Renewal Plan by Amendment No. 1 to the Plan adopted May 25, 1993, by Resolution No. 93-22; by Amendment No. 2 to the Plan adopted October 10, 2000, by Resolution No. 2000-16; by Amendment No. 3 adopted June 9, 2009, by Resolution No. 2009-13; by Amendment No. 4 adopted November 11, 2014, by Resolution No. 2014-27; by Amendment No. 5 adopted September 11, 2018, by Resolution No. 2018-38; by Amendment No. 6 adopted November 12, 2019, by Resolution No. 2019-53; and by Amendment No. 7 adopted November 9, 2021, by Resolution No. 2021-55; and

WHEREAS, City staff has caused there to be prepared a form of Amendment No. 8 to the Plan ("Amendment"), a copy of which has been placed on file for public inspection in the office of the City Clerk and which is incorporated herein by reference, the purpose of which is to add land to the Urban Renewal Area and identify additional urban renewal projects; and

WHEREAS, it is desirable that the areas be redeveloped as part of the overall redevelopment covered by the Plan, as amended; and

WHEREAS, this proposed Amendment adds land to the Urban Renewal Area, as follows:

Beginning at the southwest corner of Section 36, Township 80 North, Range 27 West of the 5th P.M., thence north along the west line of the southwest quarter of said Section 36 to the northwest corner of the south one-half of the southwest quarter of the southwest quarter of said Section 36; thence east along the north line of the south one-half of the southwest quarter of the southwest quarter of said

Section 36 to the northeast corner of the south one-half of the southwest quarter of the southwest quarter of said Section 36; thence north along the west line of the southeast quarter of the southwest quarter of said Section 36 to the northwest corner of the southeast quarter of the southwest quarter of said Section 36; thence north along the west line of the northeast quarter of the southwest quarter of said Section 36 to the northwest corner of the northeast quarter of the southwest of said Section 36; thence east along the north line of the northeast quarter of the southwest quarter of said Section 36 to the Center of said Section 36; thence south along the east line of the northeast quarter of the southwest quarter of said Section 36 to the southeast corner of the northeast quarter of the southwest quarter of said Section 36; thence south along the east line of the southeast quarter of the southwest quarter to the northeast corner of Parcel A of the southeast quarter of the southwest quarter of said Section 36; thence west along the north line of said Parcel A to the northwest corner of said Parcel A; thence south along the west line of said Parcel A to a point on the south line of said Section 36; thence west along the south line of the southeast quarter of the southwest quarter of said Section 36 to the southwest corner of the southeast quarter of the southwest quarter of said Section 36; thence south along the west line of the northeast quarter of the northwest quarter of Section 1, Township 79 North, Range 27 West of the 5th P.M. to the southeast corner of Parcel A of the fractional northwest quarter of the fractional northwest quarter of Section 1, Township 79 North, Range 27 West of the 5th P.M.; thence west along the south line of said Parcel A to the southwest corner of said Parcel A; thence west along a line approximately 562 feet south and parallel to the north line of the fractional northwest quarter of the northwest fractional one-quarter of said Section 1 to the southeast corner of Lot 1 Fairview Acres Plat 1; thence west along the south line of said Lot 1 to the southwest corner of said Lot 1; thence west to a point on the west line of the fractional northwest quarter of the northwest fractional one-quarter of said Section 1; thence north along the west line of the fractional northwest quarter of the northwest fractional one-quarter of said Section 1 to the Point of Beginning.

and

that portion of the right-of-way of Iowa Highway 44 located adjacent to Parcel A of the southeast quarter of the southwest quarter of Section 36, Township 80 North, Range 27 West of the 5th P.M.

and

that portion of the right-of-way of Iowa Highway 44 located in the southeast quarter of said Section 36

and

that portion of the right-of-way of Dallas County road S Avenue located in the southeast quarter of the southeast quarter of said Section 36

and

the northeast quarter of the southeast quarter of said Section 36 and the southeast quarter of the northeast quarter of said Section 36.

All of which is located in Dallas County, Iowa.

WHEREAS, the proposed Urban Renewal Area includes land classified as agricultural land and written permission of the current owners has been obtained; and

WHEREAS, a portion of the land included within Amendment No.8 consists of extra-territorial land within Dallas County, and as required Section 403.17(4) of the Code of Iowa by the Adoption of Resolution 2023-0094 on September 12, 2023, the Dallas County Board of Supervisors has given its consent that the City of Dallas Center may exercise urban renewal powers with respect to the portion of the property situated in Dallas County and outside the incorporated boundaries of the City; and

WHEREAS, the Iowa statutes require the City Council to notify all affected taxing entities of the consideration being given to the proposed Amendment and to hold a consultation with such taxing entities with respect thereto, and further provides that the designated representative of each affected taxing entity may attend the consultation and make written recommendations for modifications to the proposed division of revenue included as a part thereof, to which the City shall submit written responses as provided in Section 403.5, as amended; and

WHEREAS, the Iowa statutes further require the City Council to hold a public hearing on the proposed Amendment subsequent to notice thereof by publication in a newspaper having general circulation within the City, which notice shall describe the time, date, place and purpose of the hearing, shall generally identify purpose of the Amendment and shall outline the general scope of the urban renewal project under consideration, with a copy of the notice also being mailed to each affected taxing entity.

NOW THEREFORE, BE IT RESOLVED, BY THE CITY COUNCIL OF THE CITY OF DALLAS CENTER, STATE OF IOWA:

Section 1. That the consultation on the proposed Amendment No. 8 to the Dallas Center Urban Renewal Plan required by Section 403.5(2) of the Code of Iowa, as amended, shall be held on October 26, 2023, in the City Hall, 1502 Walnut Street, Dallas Center, Iowa, at 3 o'clock P.M., and the Mayor, or his delegate, is hereby appointed to serve as the designated representative of the City for purposes of conducting the consultation, receiving any recommendations that may be made with respect thereto and responding to the same in accordance with Section 403.5(2).

Section 2. That the City Clerk is authorized and directed to cause a notice of such consultation to be sent by regular mail to all affected taxing entities, as defined in Section 403.17(1), along with a copy of this Resolution and the proposed Amendment No. 8, the notice to be in substantially the following form:

NOTICE OF A CONSULTATION TO BE HELD BETWEEN
THE CITY OF DALLAS CENTER, IOWA AND ALL
AFFECTED TAXING ENTITIES CONCERNING THE
PROPOSED AMENDMENT NO. 8 TO THE DALLAS
CENTER URBAN RENEWAL PLAN FOR THE CITY OF
DALLAS CENTER, IOWA

The City of Dallas Center, State of Iowa, will hold a consultation with all affected taxing entities, as defined in Section 403.17(1) of the Code of Iowa, as amended, commencing at 3 o'clock P.M. on October 26, 2023, in the Dallas Center City Hall, 1502 Walnut Street, Dallas Center, Iowa, concerning a proposed Amendment No. 8 to the Dallas Center Urban Renewal Plan, a copy of which is attached hereto.

Each affected taxing entity may appoint a representative to attend the consultation. The consultation may include a discussion of the estimated growth in valuation of taxable property included in the Urban Renewal Area, as amended, the fiscal impact of the division of revenue on the affected taxing entities, the estimated impact on the provision of services by each of the affected taxing entities in the Urban Renewal Area, as amended, and the duration of any bond issuance included in the Amendment.

The designated representative of any affected taxing entity may make written recommendations for modifications to the proposed division of revenue no later than seven days following the date of the consultation. The Mayor, or his delegate, as the designated representative of the City of Dallas Center, State of Iowa, shall submit a written response to the affected taxing entity, no later than seven days prior to the public hearing on the proposed Amendment No. 8 to the Dallas Center Urban Renewal Plan, addressing any recommendations made by that entity for modification to the proposed division of revenue.

This notice is given by order of the City Council of the City of Dallas Center, State of Iowa, as provided by Section 403.5 of the Code of Iowa, as amended.

Dated this 10th day of October, 2023.

Shellie Schaben, City Clerk
(End of Notice)

Section 3. That a public hearing shall be held on the proposed Amendment No. 8 before the City Council at its meeting which commences at 7:00 P.M. on November 14, 2023, in the Council Chambers (in Memorial Hall above City Hall), 1502 Main Street, Dallas Center, Iowa.

Section 4. That the City Clerk is authorized and directed to publish notice of this public hearing in the Dallas County News, once on a date not less than four (4) nor more than twenty (20) days before the date of the public hearing, and to mail a copy of the notice by ordinary mail to each affected taxing entity, such notice in each case to be in substantially the following form:

(One publication required)

NOTICE OF PUBLIC HEARING TO CONSIDER
APPROVAL OF A PROPOSED AMENDMENT NO. 8 TO
THE DALLAS CENTER URBAN RENEWAL PLAN FOR AN
URBAN RENEWAL AREA IN THE CITY OF DALLAS
CENTER, STATE OF IOWA

The City Council of the City of Dallas Center, State of Iowa, will hold a public hearing before itself at its meeting which commences at 7:00 P.M. on November 14, 2023, in the Council Chambers (in Memorial Hall above City Hall), 1502 Walnut Street, Dallas Center, Iowa, to consider adoption of a proposed Amendment No. 8 to the Dallas Center Urban Renewal Plan (the "Amendment") concerning an Urban Renewal Area in and adjacent to the City of Dallas Center, State of Iowa, which Amendment adds the following property to the Urban Renewal Area:

Beginning at the southwest corner of Section 36, Township 80 North, Range 27 West of the 5th P.M., thence north along the west line of the southwest quarter of said Section 36 to the northwest corner of the south one-half of the southwest quarter of the southwest quarter of said Section 36; thence east along the north line of the south one-half of the southwest quarter of the southwest quarter of said Section 36 to the northeast corner of the south one-half of the southwest quarter of the southwest quarter of said Section 36; thence north along the west line of the southeast quarter of the southwest quarter of said Section 36 to the northwest corner of the southeast quarter of the southwest quarter of said Section 36; thence north along the west line of the northeast quarter of the southwest quarter of said Section 36 to the northwest corner of the northeast quarter of the southwest of said Section 36; thence east along the north line of the northeast quarter of the southwest quarter of said Section 36 to the Center of said Section 36; thence south along the east line of the northeast quarter of the southwest quarter of said Section 36 to the southeast corner of the northeast quarter of the southwest quarter of said Section 36; thence south along the east line of the southeast quarter of the southwest quarter to the northeast corner of Parcel A of the southeast quarter of the southwest quarter of said Section 36; thence west along the north line of said Parcel A to the northwest corner of said Parcel A; thence south along the west line of said Parcel A to a point on the south line of said Section 36; thence west along the south line of the southeast quarter of the southwest quarter of said Section 36 to the southwest corner of the southeast quarter of the southwest quarter of said Section 36; thence south along the west line of the northeast quarter of the northwest quarter of Section 1, Township 79 North, Range 27 West of the 5th P.M. to the southeast corner of Parcel A of the fractional northwest quarter of the fractional northwest quarter of Section 1, Township 79 North, Range 27 West of the 5th P.M.; thence west along the south line of said Parcel A to the southwest corner of said Parcel A; thence west along a line approximately 562 feet south and

parallel to the north line of the fractional northwest quarter of the northwest fractional one-quarter of said Section 1 to the southeast corner of Lot 1 Fairview Acres Plat 1; thence west along the south line of said Lot 1 to the southwest corner of said Lot 1; thence west to a point on the west line of the fractional northwest quarter of the northwest fractional one-quarter of said Section 1; thence north along the west line of the fractional northwest quarter of the northwest fractional one-quarter of said Section 1 to the Point of Beginning.

and

that portion of the right-of-way of Iowa Highway 44 located adjacent to Parcel A of the southeast quarter of the southwest quarter of Section 36, Township 80 North, Range 27 West of the 5th P.M.

and

that portion of the right-of-way of Iowa Highway 44 located in the southeast quarter of said Section 36

and

that portion of the right-of-way of Dallas County road S Avenue located in the southeast quarter of the southeast quarter of said Section 36

and

the northeast quarter of the southeast quarter of said Section 36 and the southeast quarter of the northeast quarter of said Section 36.

All of which is located in Dallas County, Iowa.

A copy of the Amendment No. 8 is on file for public inspection in the office of the City Clerk, City Hall, City of Dallas Center, Iowa.

The City of Dallas Center, State of Iowa is the local public agency which, if such Amendment is approved, shall undertake the urban renewal activities described in such Amendment.

The general scope of the urban renewal activities under consideration in the Amendment is to promote the growth and retention of qualified industries and businesses in the Urban Renewal Area through various public purpose and special financing activities outlined in the Amendment. The City also may reimburse or directly undertake the installation,

construction, and reconstruction of substantial public improvements, including, but not limited to, street, water, sanitary sewer, storm sewer or other public improvements. To accomplish the objectives of the Plan, and to encourage the further economic development of the Urban Renewal Area, the Plan provides that such special financing activities may include, but not be limited to, the making of loans or grants of public funds to private entities under Chapter 15A of the Code of Iowa. The Plan provides that the City may issue bonds or use available funds for purposes allowed by the Plan, as amended, and that tax increment reimbursement of the costs of urban renewal projects may be sought if and to the extent incurred by the City. The Amendment provides that the Plan, as amended, may be amended from time to time.

The proposed Amendment would add land to the Urban Renewal Area and add urban renewal projects. Other provisions of the Plan, as previously amended, not affected by the Amendment would remain in full force and effect.

Any person or organization desiring to be heard shall be afforded an opportunity to be heard at such hearing.

This notice is given by order of the City Council of the City of Dallas Center, State of Iowa, as provided by Section 403.5 of the Code of Iowa.

Dated this 10th day of October, 2023.

Shellie Schaben, City Clerk

(End of Notice)

Section 5. That the proposed Amendment, attached hereto as Exhibit 1, for the Urban Renewal Area described therein is hereby officially declared to be the proposed Amendment No. 8 to the Dallas Center Urban Renewal Plan referred to in the notices for purposes of such consultation and hearing and that a copy of the Amendment shall be placed on file in the office of the City Clerk.

PASSED AND APPROVED this 10th day of October, 2023.

Daniel Beyer, Mayor

ATTEST:

Shellie Schaben, City Clerk

Label the Amendment as Exhibit 1 (with all exhibits) and attach it to this Resolution.

**ATTACH THE AMENDMENT
LABELED AS EXHIBIT 1 HERE**

AMENDMENT NO. 8

URBAN RENEWAL PLAN DALLAS CENTER URBAN RENEWAL AREA DALLAS CENTER, IOWA

INTRODUCTION

The Dallas Center Urban Renewal Plan was originally adopted in October 1992. The plan was amended in May 1993 to add Amendment No. 1. The plan was amended in November 2000 to add Amendment No. 2. The amendment area expired on June 30, 2022 and was removed from the Urban Renewal Area. The plan was amended in March 2009 to add Amendment No. 3. The plan was amended in October 2014 in Amendment No. 4 to adjust and correct the boundary of the Urban Renewal Area. Amendment No. 5 added a project to the Urban Renewal Area Plan and added language to the plan required by statutory changes since Amendment No. 4.

Amendment No. 6 in December 2019 added two areas to the Urban Renewal Area. Amendment No. 6 added two new projects including the partial funding of the Wastewater Treatment Plant Improvement project and partial funding of the Swimming Pool Improvement project.

Amendment No. 7 added three projects including the funding for the Downtown Streetscape and Green Corridor, the Heritage Park Improvements and sidewalks along Walnut Street. No area was added by this Amendment No. 7.

Urban Renewal Plan Amendment No. 8 adds an area to the Urban Renewal Area. A portion of the area added as part of Amendment No. 8 is an extra territorial area. This area is being added with the consent of Dallas County.

Urban Renewal Plan Amendment No. 8 adds one project to the Urban Renewal Plan.

The Urban Renewal Plan Amendment (“Urban Renewal Plan Amendment” or “Plan”) amends the Urban Renewal Area (“Urban Renewal Area” or “Area”) originally established in October 1992. In order to achieve this objective, the City intends to undertake Urban Renewal activities pursuant to the powers granted to it under Chapter 403 and Chapter 15A of the Code of Iowa, as amended. The Urban Renewal Area is being amended in accordance with the requirements of Chapter 403 of the Code of Iowa.

URBAN RENEWAL AREA

The boundary of the original Urban Renewal Area established in 1992, as illustrated in yellow on Exhibit A, includes an area in the City of Dallas Center described as follows:

Commencing at the Northwest corner of the Southeast Quarter of the Southeast Quarter (NE 1/4 SE 1/4) of Section 35, Township 80 North, Range 27 West of the 5th P.M., Dallas County, Iowa; thence southerly along the Quarter-Quarter line of the Southwest corner to the Southeast Quarter of the Southeast Quarter (SE 1/4 SE 1/4) of said Section 35; then Westerly along the North right-of-way line of Sugar Grove Avenue (Highway 44) to a point directly North of the Northeast corner of Lot 4 in Block 66 of Huber and Vandercook's Addition to the City of Dallas Center, Iowa; thence southerly along the West boundary of Tenth Street to the Southeast corner of Lot 1 in Block 2 of said Huber and Vandercook's Addition; thence easterly to the Southeast corner of Lot 1 in Block 1 of said Huber and Vandercook's Addition and continuing easterly along the South right-of-way of Linden Street and continuing easterly to the Southeast corner of Lot 63 in Meadow View Acres Plat One to the City of Dallas Center, Iowa; thence northerly along the East existing corporate boundaries to the Northeast corner of Lot 71 in said Meadow View Acres Plat One; thence westerly to the section line (which is the center of the platted Fair View Drive); thence northerly along the existing corporate boundary and continuing to follow the existing corporate boundary to the Northeast corner of Section 2, Township 79 North, Range 27 West of the 5th P.M., Dallas County, Iowa; thence northerly along the section line of the Northeast corner of the Northeast Quarter of the Southwest Quarter (NE 1/4 SW 1/4) of Section 35, Township 80 North, Range 27 West of the 5th P.M., thence westerly to the point of beginning.

The boundaries of the additional areas added to the Dallas Center Urban Renewal Area in 1993 in Amendment No. 1, as illustrated in blue on Exhibit A, are described as follows:

Commencing at the Southeast corner of Lot 1 in Block 66 of Huber and Vandercook's Addition to the City of Dallas Center, Dallas County, Iowa; thence westerly to the Southeast corner of Lot 1 in Block 1 of Brenton's Addition to the City of Dallas Center; thence southerly to a point 70 feet west of the Northwest corner of Lot 8 in Block 78 of the Original City of Dallas Center; thence easterly to the Northeast corner of Lot 3 in block 78 of the Original City of Dallas Center; thence northerly to the Northeast corner of Lot 4 in Block 75 of the Original City of Dallas Center; thence easterly to the Northeast corner of Lot 4 in Block 50 of Huber and Vandercook's Addition; and thence northerly to the point of beginning, all in the City of Dallas Center, Dallas County, Iowa;

and

Beginning at a point 254.75 feet North of the Northeast corner of the Southeast Quarter (SE¼) Northeast Quarter (NE¼), Section Two (2), Township 79 North of Range 27, West of the 5th P.M., Dallas County, Iowa, thence West 500 feet, thence South 300 feet, thence East 500 feet, thence North 300 feet to the point of beginning, containing 3.443 acres, more or less; and

Commencing at the Southeast Corner of Lot numbered Five (5) in Block numbered Forty-eight (48), in Huber and Vandercook's Addition to the City of Dallas Center, Dallas County, Iowa, thence East 872 feet; thence North 150 feet; thence West 250 feet; thence South 117 feet; thence West 622 feet; thence South 33 feet to place of beginning; and

Commencing at the Southeast Corner of Lot Five (5) in Block numbered Forty-eight (48), in Huber and Vandercook's Addition to the City of Dallas Center, Dallas County, Iowa, thence East 872 feet; thence North 150 feet; thence West 250 feet to the point of beginning; thence South 117 feet; thence West 125 feet; thence North 117 feet; thence East 125 feet; more or less, to the aforesaid point of beginning, all in Section Two (2), Township 79 North of Range 27, West of the 5th P.M., Dallas County, Iowa. The area includes the full right-of-way of all streets forming the boundary.

The additional areas added to the Dallas Center Urban Renewal Area in 2000 in Amendment No. 2 expired on June 30, 2022 and are no longer part of the Urban Renewal Area.

The boundaries of the additional area added to the Urban Renewal Area in 2009 in Amendment No. 3, as illustrated in green on Exhibit A, are described as follow:

Commencing at the northeast corner of Lot 4, Block 50 Huber and Vandercook's Addition, said point being the southwest corner of the intersection of the right-of-way of Maple Street and 10th Street; thence west along the south right-of-way line of Maple Street to the northwest corner of Lot 5, Block 56 of the original City of Dallas Center, said point being the southeast corner of the intersection of the right-of-way of Maple Street and Percival Avenue; thence south along the east right-of-way line of Percival Avenue to the northwest corner of Lot 14, Block 25 of the original City of Dallas Center, said point being the southeast corner of the intersection of the right-of-way of Percival Avenue and Sycamore Street; thence east along the south right-of-way line of Sycamore Street to the northeast corner of Lot 16, Block 31 Huber and Vandercook's Addition, said point being the southwest corner of the intersection of the right-of-way of Sycamore Street and 10th Street; thence north along the west right-of-way line of 10th Street to the point of beginning.

The boundaries of the additional area added to the Dallas Center Urban Renewal Area in 2014 in Amendment No. 4, as illustrated in orange on Exhibit A, is described as follows:

The first change increases the urban renewal area by adding the following area.

Commencing at the Northwest corner of the Northeast Quarter of the Southeast Quarter (NE1/4 SE1/4) of Section 35, Township 80 North, Range 27 West of the 5th P.M., Dallas County, Iowa; continuing at the Southeast corner of Lot 63 in Meadow View Acres Plat One to the City of Dallas Center, Iowa; thence easterly along the South line of Parcel FF of a Plat of Survey recorded December 7, 2012 in Book 2012, Page 22201 to the Southeast corner of Parcel FF; thence northerly along the East line of the Plat of Survey recorded December 7, 2012 in Book 2012, Page 22201 to the northeast corner of Parcel AA in the Plat of Survey recorded December 7, 2012 in Book 2012, Page 22201; thence westerly to the Northeast corner of Lot 71 in said Meadow View Acres Plat One;

The area added as part of Amendment No. 4 consists of six lots created by a Plat of Survey dated December 7, 2012. These lots have been conveyed to and tied to lots located within Meadow View Acres Plat One. Because the added area consists of parcels that have been made a part of parcels located within the original urban renewal area, the additional area added as part of Amendment No. 4 is to be considered part of the original urban renewal area resulting in a description of the original urban renewal area being as follows:

Commencing at the Northwest corner of the Northeast Quarter of the Southeast Quarter (NE1/4 SE1/4) of Section 35, Township 80 North, Range 27 West of the 5th P.M., Dallas County, Iowa; thence southerly along the Quarter-Quarter line to the Southwest corner of the Southeast Quarter of the Southeast Quarter (SE1/4 SE1/4) of said Section 35; thence Westerly along the North right-of-way line of Sugar Grove Avenue (Highway 44) to a point directly North of the Northeast corner of Lot 4 in Block 66 of Huber and Vandercook's Addition to the City of Dallas Center, Iowa; thence southerly along the West boundary of Tenth Street to the Southeast corner of Lot 1 in Block 2 of said Huber and Vandercook's Addition and continuing easterly along the South right-of-way of Linden Street and continuing easterly to the Southeast corner of Lot 63 in Meadow View Acres Plat One to the City of Dallas Center, Iowa; thence easterly along the South line of Parcel FF of a Plat of Survey recorded December 7, 2012 in Book 2012, Page 22201 to the Southeast corner of Parcel FF; thence northerly along the East line of the Plat of Survey recorded December 7, 2012 in Book 2012, Page 22201 to the northeast corner of Parcel AA in the Plat of Survey recorded December 7, 2012 in Book 2012, Page 22201; thence westerly to the Northeast corner of Lot 71 in said Meadow View Acres Plat One; thence westerly to the section line (which is the center of platted Fair View Drive); thence northerly along the existing corporate boundary and continuing to follow the existing corporate boundary to the Northeast corner of Section 2, Township 79 North, Range 27 West of the 5th P.M., Dallas County, Iowa; thence northerly along the section line to the Northeast corner of the Northeast Quarter of the Southwest Quarter (NE1/4 SW1/4) of Section 35, Township 80 North, Range 27 West of the 5th P.M., thence westerly to the point of beginning.

The urban renewal area set forth in Amendment No. 2 includes a small overlap with a portion of Lot 63 Meadow View Acres Plat One. The area added as part of this amendment creates an additional overlap with the area added as a part of Amendment No. 2. To eliminate the overlap the area added in Amendment No. 2 is modified to delete the overlap resulting in the description of the area being changed from its original description reading:

The Southwest Quarter (SW1/4) of Section 1, Township 79 North, Range 27 West of the 5th Principal Meridian, Dallas Center, Iowa, lying north of the railroad right-of-way.

to read as follows:

The Southwest Quarter (SW1/4) of Section 1, Township 79 North, Range 27 West of the 5th Principal Meridian, Dallas Center, Iowa, lying north of the railroad right-of-way, except that portion of Lot 63 Meadow View Acres Plat One and that portion of Lot FF as set forth in a Plat of Survey dated December 7, 2012 located within the Southwest Quarter (SW1/4) of said Section 1.

Amendment No. 4 clarified the original urban renewal area established in 1992 included the Northeast Quarter of the Southeast Quarter (NE1/4 SE1/4) of Section 35, Township 80 North, Range 27 West of the 5th Principal Meridian, City of Dallas Center, Dallas County, Iowa. Although included in the original description, the maps prepared as part of the original Urban Renewal Plan and all subsequent maps, erroneously omitted this quarter quarter section from inclusion within the urban renewal area. Amendment No. 4 clarified the Northeast Quarter of the Southeast Quarter of Section 1 is included within the urban renewal plan area.

Amendment No. 5 to the Urban Renewal Plan did not change the Urban Renewal Area.

The boundary of the additional areas added to the Dallas Center Urban Renewal Area as part of Amendment No. 6 in 2019 as illustrated in brown on Exhibit A and is described as follows:

Commencing at the Northeast corner of the Northwest Quarter of Section 12, Township 79 North, Range 27 West of the 5th Principal Meridian; thence South along the East line of the Northwest Quarter of said Section 12, to the Center said Section 12; thence West along the South line of the Northwest Quarter of said Section 12 to the Southwest corner of the Southeast Quarter of the Northwest Quarter of said Section 12; thence North along the West line of the Southeast Quarter of the Northwest Quarter of said Section 12 to the westerly right-of-way line of the former railroad right-of-way; thence northwesterly along the westerly right-of-way line of the former railroad right-of-way to a point on the North line of the Northwest Quarter of said Section 12; thence East along the north line of the Northwest Quarter of said Section 12 to the point of beginning.

and

Commencing at the point of intersection of the West right-of-way line of 10th Street and the North right-of-way line of Vine Street; thence West along the North right-of-way line of Vine Street to the northeasterly line of the former railroad right-of-way; thence northwesterly along the northeasterly line of the former railroad right-of-way to the point of intersection with the South right-of-way line of Sycamore Street; thence West along the South right-of-way line of Sycamore Street extended to a point on the southwesterly line of the former railroad right-of-way; thence southeasterly along the southwesterly right-of-way line of the former railroad right-of-way to the point of intersection with the North right-of-way line of Vine Street; thence West along the North right-of-way line of Vine Street to the West right-of-way line of 12th Street; thence South along the West right-of-way line of 12th Street to a point on the South right-of-way line of Linden Street; thence East along the South right-of-way line and Linden Street extended to a point on the southwesterly line of the former railroad right-of-way; thence southeasterly along the southwesterly right-of-way line of the former railroad right-of-way to a point on the East line of Section 2, Township 79 North range 27 West of the 5th Principal Meridian; thence North along the East line of said Section 2 to the point of intersection with the northeasterly line of the former railroad right-of-way; thence northwesterly along the northeasterly line of the former railroad right-of-way to the point of intersection with the right-of-way line of Linden Street extended; thence East along the South right-of-way line of Linden Street extended and Linden Street to the West right-of-way line of 10th Street; thence North along the West right-of-way line of 10th Street to the point of beginning.

Urban Renewal Plan Amendment No. 7 did not add any additional area to the Dallas Center Urban Renewal Area.

Urban Renewal Plan Amendment No. 8 adds additional area to the Dallas Center Urban Renewal Area. The area added as part of Urban Renewal Plan Amendment No. 8 is shown in Exhibit A and is described as follows:

Beginning at the southwest corner of Section 36, Township 80 North, Range 27 West of the 5th P.M., thence north along the west line of the southwest quarter of said Section 36 to the northwest corner of the south one-half of the southwest quarter of the southwest quarter of said Section 36; thence east along the north line of the south one-half of the southwest quarter of the southwest quarter of said Section 36 to the northeast corner of the south one-half of the southwest quarter of the southwest quarter of said Section 36; thence north along the west line of the southeast quarter of the southwest quarter of said Section 36 to the northwest corner of the southeast quarter of the southwest quarter of said Section 36; thence north along the west line of the northeast quarter of the southwest quarter of said Section 36 to the northwest corner of the northeast quarter of the southwest of said Section 36; thence east along the north line of the northeast quarter of the southwest quarter of said Section 36 to the Center of said Section 36; thence south along the east line of the northeast quarter of the southwest quarter of said Section 36 to the southeast corner of the northeast

quarter of the southwest quarter of said Section 36; thence south along the east line of the southeast quarter of the southwest quarter to the northeast corner of Parcel A of the southeast quarter of the southwest quarter of said Section 36; thence west along the north line of said Parcel A to the northwest corner of said Parcel A; thence south along the west line of said Parcel A to a point on the south line of said Section 36; thence west along the south line of the southeast quarter of the southwest quarter of said Section 36 to the southwest corner of the southeast quarter of the southwest quarter of said Section 36; thence south along the west line of the northeast quarter of the northwest quarter of Section 1, Township 79 North, Range 27 West of the 5th P.M. to the southeast corner of Parcel A of the fractional northwest quarter of the fractional northwest quarter of Section 1, Township 79 North, Range 27 West of the 5th P.M.; thence west along the south line of said Parcel A to the southwest corner of said Parcel A; thence west along a line approximately 562 feet south and parallel to the north line of the fractional northwest quarter of the northwest fractional one-quarter of said Section 1 to the southeast corner of Lot 1 Fairview Acres Plat 1; thence west along the south line of said Lot 1 to the southwest corner of said Lot 1; thence west to a point on the west line of the fractional northwest quarter of the northwest fractional one-quarter of said Section 1; thence north along the west line of the fractional northwest quarter of the northwest fractional one-quarter of said Section 1 to the Point of Beginning.

and

that portion of the right-of-way of Iowa Highway 44 located adjacent to Parcel A of the southeast quarter of the southwest quarter of Section 36, Township 80 North, Range 27 West of the 5th P.M.

and

that portion of the right-of-way of Iowa Highway 44 located in the southeast quarter of said Section 36

and

that portion of the right-of-way of Dallas County road S Avenue located in the southeast quarter of the southeast quarter of said Section 36

and

the northeast quarter of the southeast quarter of said Section 36 and the southeast quarter of the northeast quarter of said Section 36.

AGRICULTURAL PROPERTY

Portions of the property within the Urban Renewal Area, as amended, are classified as "agricultural land" as defined in Section 403.17(3) of the Code of Iowa. None of the agricultural land added in the original Urban Renewal Area, Amendment No. 1, Amendment No. 2, Amendment No. 3, or Amendment No. 4 was added subsequent to the date when property owners were required to consent to the inclusion of agricultural land within an urban renewal area.

A portion of the property included in Urban Renewal Amendment No. 6 was classified as agricultural land. The property owner of the agricultural land consented to inclusion of the property within the urban renewal area.

No additional area was added to the Urban Renewal Area as part of Amendment No. 7.

A portion of the property included in Urban Renewal Plan Amendment No. 8 is classified as agricultural land. The owners of two parcels classified as agricultural land consented to the inclusion of the property within the Urban Renewal Area. The consents are included in Exhibit B.

BASE VALUATION

If the Urban Renewal Area is legally established and a TIF ordinance is adopted, the base valuation will be the sum of the assessed value of the taxable property in the area covered by the TIF ordinance as of January 1 of the calendar year preceding the first calendar year in which the City certifies debt to the Dallas County Auditor that is payable from the division of property tax revenue under Section 403.19 of the Code of Iowa.

EFFECTIVE DATE

This Urban Renewal Plan will become effective upon its adoption by the City Council and will remain in effect as a Plan until it is repealed by the City Council. Notwithstanding anything to the contrary in the Urban Renewal Plan, any prior amendment, resolution, or document, the Urban Renewal Plan and Area, as amended, shall remain in effect until terminated by the City Council, and the use of incremental property tax revenues, or the "division of revenue," as those words are used in Chapter 403 of the Code of Iowa, will be consistent with Chapter 403 of the Iowa Code. The division of revenues shall continue on the Area, including each Amendment Area, for the maximum period allowed by law.

As part of Amendment No. 4 to the Urban Renewal Plan the City modified the ending dates of the urban renewal area as set forth in the original urban renewal plan area, and the areas in Amendment No. 1, Amendment No. 2, Amendment No. 3, Amendment No. 4, Amendment No. 6 as follows:

- a. The original urban renewal plan area will terminate June 30, 2031.
- b. The area in Amendment No. 1 will terminate June 30, 2031.
- c. The area in Amendment No. 2 terminated June 30, 2022.
- d. The area in Amendment No. 3 will terminate June 30, 2031.
- e. The area in Amendment No. 4 will terminate June 30, 2031.
- f. The area in Amendment No. 6 will terminate June 30, 2031.

Amendment No. 5 added no area to the Urban Renewal Area.

This Amendment No. 7 added no area to the Urban Renewal Area.

The area in Amendment No. 8 will terminate on June 30, 2044.

TAX INCREMENT DISTRICT

The original Urban Renewal Plan was adopted during calendar year 1992. The “frozen base” of the original district as described in Section B of the original Urban Renewal Plan was the taxable valuation in place as of January 1, 1991.

Amendment No. 1 of the Urban Renewal Plan was adopted during calendar year 1993. The “frozen base” of the area in the amended district was the taxable valuation in place as of January 1, 1992.

Amendment No. 2 of the Urban Renewal Plan was adopted during calendar year 2000. The “frozen base” of the area added in the second amendment to the urban renewal area was the taxable valuation in place as of January 1, 1999.

Amendment No. 3 of the Urban Renewal Plan was adopted during calendar year 2009. The “frozen base” of the area added in the third amendment to the urban renewal area was the taxable valuation in place as of January 1, 2008.

Amendment No. 4 of the Urban Renewal Plan was adopted during calendar year 2014. The “frozen base” of any area added or subtracted in the fourth amendment to the district will be the taxable valuation in place as of January 1, 2013.

Amendment No. 6 of the Urban Renewal Plan was adopted during calendar year 2019. The “frozen base” of any area added in the sixth amendment to the district will be the taxable valuation in place as of January 1, 2018.

Amendment No. 8 of the Urban Renewal Plan was adopted during calendar year 2023. The “frozen base” of any areas added in the eighth amendment to the district will be the taxable valuation in place as of January 1, 2022.

The “frozen base” value of the area of the district will be determined by adding the January 1, 1991 valuation of the original district, the January 1, 1992 valuation of the area included in Amendment No. 1, the January 1, 1999 valuation of the area added in Amendment No. 2, the January 1, 2008 valuation of the area added in Amendment No. 3, the January 1, 2013 valuation of any area added as a result of Amendment No. 4 and the January 1, 2018 valuation of any area added as a result of Amendment No. 6. In the event of an overlap of areas the “frozen base” will be the base as of the year in which the area was first added to the Urban Renewal Area.

No area was added to the Urban Renewal Area as part of Amendment No. 5.

No area is being added to the Urban Renewal Area as part of Amendment No. 7.

The “frozen base” value of the area of the district for Urban Renewal Plan Amendment No. 8 will be the “frozen base” as of January 1, 2022. The area in Urban Renewal Plan Amendment No. 8 extends beyond the termination date of the original Urban Renewal Plan and the amendments that all terminate on June 30, 2031. The area in Urban Renewal Area 8 and the frozen base for that area will continue beyond the termination of the balance of the Urban Renewal Area.

URBAN RENEWAL FINANCING

The City of Dallas Center intends to utilize various financing tools such as those described below to successfully undertake the proposed urban renewal actions. The City of Dallas Center has the statutory authority to use a variety of tools to finance physical improvements within the Area. These include:

A. Tax Increment Financing.

Under Section 403.19 of the Iowa Code, urban renewal areas may utilize the tax increment financing mechanism to finance the costs of public improvements, economic development incentives or other urban renewal projects. Upon creation of a tax increment district within the Area, by ordinance, the assessment base is frozen and the amount of tax revenue available from taxes paid on the difference between the frozen base and the increased value, if any, is segregated into a separate fund for the use by the City to pay costs of the proposed urban renewal project. The increased taxes generated by any new development, above the base value, are distributed to the taxing entities, if not requested by the City, and in any event upon the expiration of the tax increment district.

B. General Obligation Bonds.

Under Division III of Chapter 384 and Chapter 403 of the Iowa Code, the City has the authority to issue and sell general obligation bonds for specified essential and general corporate purposes, including the acquisition and construction of certain public improvements within the Area and for other urban renewal projects. Such bonds are payable from the levy of unlimited ad valorem taxes on all the taxable property within the City of Dallas Center. It may be the City will elect to abate some or all of the debt service on these bonds with incremental taxes from this Area.

The City may also determine to use tax increment financing to provide incentives such as cash grants, loans, tax rebates or other incentives to developers or private entities in connection with the urban renewal project identified in the Plan. In addition, the City may determine to issue general obligation bonds, tax increment revenue bonds or such other obligations, or loan agreements for the purpose of making loans or grants of public funds to private businesses located in the Area. Alternatively, the City may determine to use available funds for making such loans or grants or other incentives related to urban renewal projects.

Nothing herein shall be construed as a limitation on the power of the City to exercise any lawful power granted to the City under Chapter 15, Chapter 15A, Chapter 403, Chapter 427B, or any other provision of the Code of Iowa in furtherance of the objectives of the Urban Renewal Plan.

AREA OBJECTIVES

Renewal activities are designed to provide opportunities, incentives, and sites for development within the Area.

More specific objectives for development within the Urban Renewal Area are as follows:

- To help finance the cost of constructing sanitary sewer, water main, streets and other public improvements in support of new development.
- To improve the conditions in the area through the construction of public improvements, such as streets and sidewalks.
- New rehabilitated, converted or expanded industrial uses within the industrial land use area.
- New rehabilitated, converted or expanded commercial uses within the commercial land use area.

TYPES OF RENEWAL ACTIVITIES

To meet the objectives of this Urban Renewal Plan and to encourage the development of the Area, the City intends to utilize the powers conferred under Chapter 403 and Chapter 15A, Code of Iowa including, but not limited to, tax increment financing. Activities may include:

- A. To arrange for or cause to be provided the construction or repair of public infrastructure including water lines, sewer lines, streets, or other facilities in connection with urban renewal projects.
- B. To undertake or carry out urban renewal projects through the execution of contracts and other instruments.
- C. To provide for the construction of specific improvements such as grading and site preparation activities, access roads and parking, railroad spurs, fencing, utility connections and related activities.
- D. To acquire property or interest in property through a variety of mechanisms including purchase, lease and option to facilitate development which is consistent with this plan and its objectives and to dispose of the property so acquired. The City may also hold, clear or prepare property for redevelopment.
- E. To plan for relocation of persons and businesses displaced by a project and to make necessary relocation payments.
- F. To make loans or grants to private persons or businesses for economic development purposes on such terms as may be determined by the City Council.
- G. To borrow money or to provide security, therefore.
- H. To make or have made surveys and plans necessary for the urban renewal program or specific urban renewal projects to use tax increment financing to achieve a more marketable and competitive land offering price and to provide for necessary physical improvements and infrastructure. To use any and all other powers granted by Chapter 403 of the Code of Iowa to develop and provide for improved economic conditions for the City of Dallas Center and the State of Iowa.
- I. Property acquisition for public facilities
- J. Construction of public facilities, including the development of parks and building facilities.

- K. Upgrading and renovation of facilities acquired by the City, including building facilities.
- L. Public infrastructure including streets, drainage, water and sanitary sewer.
- M. To construct sidewalk and street improvements within the area.
- N. To make loans, grants or rebates to developers to construct public infrastructure on such terms as may be determined by the City Council.

Nothing herein shall be construed as a limitation on the power of the City to exercise any lawful power granted to the City under Chapter 15, Chapter 15A, Chapter 403, Chapter 427B, or any other provision of the Code of Iowa in furtherance of the objectives of this Urban Renewal Plan.

URBAN RENEWAL PROJECTS - THIS AMENDMENT

The City of Dallas Center intends to utilize tax increment financing to pay some or all of the costs of certain improvements located within or adjacent to the urban renewal areas. The projects or purposes for which the funds will be expended include:

- a. Construction of a sanitary lift station, trunk sewer and force main to serve much of the area in Urban Renewal Plan Amendment No. 8. The estimated cost for the improvements is \$2,200,000.

The exact cost of the improvement and the extent of the cost of improvements set forth in the Urban Renewal Plan that will be funded from Tax Increment Financing will be determined by the City Council from time to time, as appropriate. The City Council reserves the right to not fund any of the identified projects from Tax Increment Financing or to partially fund a project from Tax Increment Financing.

The City may certify up to \$20,000 for costs related to planning, engineering for the Urban Renewal Plan, attorney's fees and other costs in connection with the Urban Renewal Plan.

Any new or additional projects may be funded from Tax Increment Financing only to the extent set forth in a subsequent amendment to this Urban Renewal Plan.

EXISTING DEBT

A summary of the existing general obligation debt of the City of Dallas Center as of August 1, 2023 is as follows:

<u>Issue Date</u>	<u>Maturity Date</u>	<u>Amount Issued</u>	<u>Amount Outstanding</u>	<u>Purpose</u>
9/24/2020	6/1/2031	\$870,000	\$640,000	Street Improvements
12/22/2016	6/1/2036	\$3,000,000	\$2,270,000	Storm Drainage Improvements
6/5/2020	6/1/2036	\$1,140,000	\$893,000	Wastewater Treatment Plant
6/1/2023	6/1/2037	\$2,900,000	<u>\$2,875,000</u>	Swimming Pool
			\$6,678,000	

As of August 1, 2023, the City has outstanding \$6,678,000 in general obligation debt.

The total assessed valuation of the City of Dallas Center excluding Gas & Electric Utilities valuation as of January 1, 2023 is \$234,449,170. As of the date of this Urban Renewal Plan Amendment the total assessed valuation for Gas & Electric Utilities as of January 1, 2023 is not available. The assessed valuation of the Gas & Electric Utilities as of January 1, 2022 was \$1,962,870. The total valuation of the City as of August 1, 2023 based on the January 1, 2022 valuation of Gas & Electric Utilities and the January 1, 2023 total valuation of all other real property is \$236,412,040. Based on this methodology of determining the total valuation the constitutional debt limit of the City is \$11,820,602.

As of August 1, 2023, the outstanding debt consists of 56.49% of the constitutional debt limit.

A specific amount of debt to be incurred for the Eligible Urban Renewal Projects, as identified in this Plan, has not yet been determined. This document is for planning purposes. The estimated project costs in this Plan are estimates only and will be incurred and spent over a number of years. In no event will the City's constitutional debt limit be exceeded. The City Council will consider each project proposal on a case-by-case basis to determine if it is in the City's best interest to participate before approving an urban renewal project or expense. It is further expected that such indebtedness, including interest on the same, may be financed in whole or in part with tax increment revenues from the Urban Renewal Area.

Subject to the foregoing, it is estimated the cost of the Eligible Urban Renewal Projects as described in Urban Renewal Plan Amendment No. 8 will be approximately \$2,200,000.

DEVELOPMENT PLAN

The City of Dallas Center has a general plan for the physical development of the City, as a whole, outlined in the Comprehensive Plan for the City of Dallas Center. The goals, objectives, and projects proposed in this Urban Renewal Plan are in conformity with the goals, objectives, and policy recommendations established in the Comprehensive Plan for the City of Dallas Center.

Any need for constructing traffic, public transportation, public utilities, recreational and community facilities, or other public improvements within the Urban Renewal Area are set forth herein.

The Urban Renewal Area consists of land zoned for various residential and commercial zoning districts. This Urban Renewal Plan does not in any way replace the City's current land use planning or zoning regulation process.

PROPERTY ACQUISITION/DISPOSITION

Other than easements and public right-of-ways, no property acquisition by the City is anticipated at this time. However, if property acquisition/disposition becomes necessary to accomplish the objectives of the Plan, urban renewal powers will be carried out, without limitation, in accordance with the State of Iowa Urban Renewal Law.

RELOCATION

The City does not expect there to be any relocation required of residents or businesses as part of the proposed urban renewal project; however, if any relocation is necessary, the City will follow all applicable relocation requirements.

EXTRATERRITORIAL AREA

A portion of the area added to the Urban Renewal Area as a part of Amendment No. 8 is located outside of the corporate limits of the City of Dallas Center. The area located outside of the corporate IS located within two miles of the corporate limits. The Dallas County Board of Supervisors has approved the inclusion of the extraterritorial area within the City's Urban Renewal Area.

A copy of the resolution of the Dallas County Board of Supervisors is included in Appendix C. That portion of the Urban Renewal Area located outside of the corporate limits is illustrated on the figure included in Appendix C.

STATE AND LOCAL REQUIREMENTS

All provisions necessary to conform to State and local laws will be complied with by the City in implementing this Urban Renewal Plan and its supporting documents.

SEVERABILITY

In the event one or more provisions contained in the Urban Renewal Plan shall be held for any reason to be invalid, illegal, unauthorized or unenforceable in any respect, such invalidity, illegality, unauthorized or unenforceability shall not affect any other provision of this Urban Renewal Plan, and this Urban Renewal Plan shall be construed and implemented as if such provisions had never been contained herein.

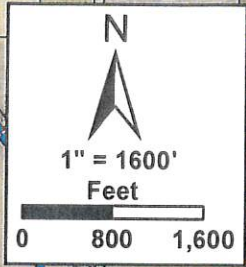
URBAN RENEWAL PLAN AMENDMENTS








This Urban Renewal Plan may be further amended from time to time for a number of reasons, including, but not limited to, adding or deleting land, adding or amending urban renewal projects, or modifying goals or types of renewal activities.

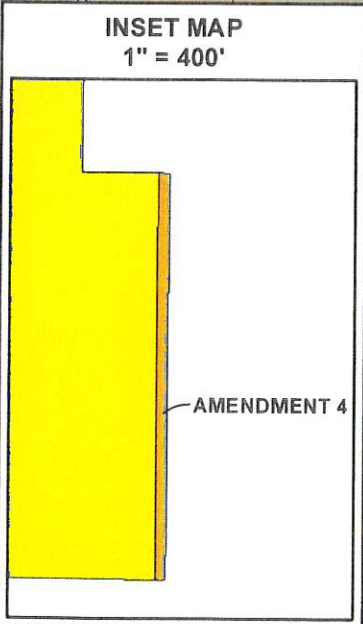
The City Council may amend this Plan in accordance with applicable State law.

EXHIBIT A

MAP OF URBAN RENEWAL AREA



URBAN RENEWAL AREA	
	ORIGINAL AREA (1992)
	AMENDMENT 1 (1993)
	AMENDMENT 2 (2000)
	AMENDMENT 3 (2009)
	AMENDMENT 4 (2014)
	AMENDMENT 6 (2019)
	AMENDMENT 8 (2023)



AMENDMENT 4

EXHIBIT B

CONSENTS FOR AGRICULTURAL PROPERTY

EXHIBIT B

AGREEMENT TO INCLUDE AGRICULTURAL LAND
IN THE DALLAS CENTER URBAN RENEWAL AREA

WHEREAS, the City of Dallas Center, Iowa (the "City") intends to establish the Dallas Center Urban Renewal Area (the "Urban Renewal Area" or "Area"), pursuant to Chapter 403 of the Code of Iowa, In order to undertake activities authorized by that Chapter; and

WHEREAS, It has been proposed that the boundaries of the Area will include certain property which is owned by the Agricultural Land Owner listed below; and

WHEREAS, Section 403.17(10) of the Code of Iowa provides that no property may be included in an urban renewal area which meets the definition of "agricultural land" in Section 403.17(3) until the owners of such property agree to include such property in such urban renewal area; and

WHEREAS, it has been determined that all or a portion of the property within the Area and owned by the Agricultural Land Owner meets the definition of "agricultural land" in Section 403.17(3) of the Code of Iowa;

NOW, THEREFORE, It is hereby certified and agreed by the Agricultural Land Owner as follows:

1. The Agricultural Land Owner hereby certifies that it is the owner of certain Property contained within the proposed Urban Renewal Area.
2. The Agricultural Land Owner hereby agrees that the City of Dallas Center, Iowa may include the portion of the property owned by the Agricultural Land Owner in the Urban Renewal Area.
3. The Agricultural Land Owner further authorizes the governing body of the City of Dallas Center, Iowa, to pass any resolution or ordinance necessary to designate said property as an Urban Renewal Area under Chapter 403 of the Code of Iowa, and to proceed with activities authorized under said Chapter.

DATED this 15th day of August, 2023

Name of Agricultural Land Owner: **Downing Development WP, LLC**
(signed by Agricultural Land Owner or person authorized to sign on Agricultural Land Owner's behalf)

DOWNING DEVELOPMENT WP, LLC

By: 

Title: President of Downing Development, Ltd (Member)

EXHIBIT B

AGREEMENT TO INCLUDE AGRICULTURAL LAND
IN THE DALLAS CENTER URBAN RENEWAL AREA

WHEREAS, the City of Dallas center, Iowa (the "City") intends to establish the an Urban Renewal Area (the "Urban Renewal Area" or "Area"), pursuant to Chapter 403 of the Code of Iowa, in order to undertake activities authorized by that Chapter; and

WHEREAS, it has been proposed that the boundaries of the Area will include certain property which is owned by the Agricultural Land Owner listed below; and

WHEREAS, Section 403.17(10) of the Code of Iowa provides that no property may be included in an urban renewal area which meets the definition of "agricultural land" in Section 403.17(3) until the owners of such property agree to include such property in such urban renewal area; and

WHEREAS, it has been determined that all or a portion of the property within the Area and owned by the Agricultural Land Owner meets the definition of "agricultural land" in Section 403.17(3) of the Code of Iowa;

NOW, THEREFORE, it is hereby certified and agreed by the Agricultural Land Owner as follows:

1. The Agricultural Land Owner hereby certifies that it is the owner of certain Property contained within the proposed Urban Renewal Area.
2. The Agricultural Land Owner hereby agrees that the City of Dallas Center, Iowa may include the portion of the property owned by the Agricultural Land Owner in the Urban Renewal Area.
3. The Agricultural Land Owner further authorizes the governing body of the City of Dallas Center, Iowa, to pass any resolution or ordinance necessary to designate said property as an Urban Renewal Area under Chapter 403 of the Code of Iowa, and to proceed with activities authorized under said Chapter.

DATED this 8 day of August, 2023.

Name of Agricultural Land Owner: **Skye View Estates, LLC**

(signed by Agricultural Land Owner or person authorized to sign on Agricultural Land Owner's behalf)

SKYE VIEW ESTATES, LLC

By: 

Title: Manager

EXHIBIT C

CONSENT OF DALLAS COUNTY
BOARD OF SUPERVISORS
TO EXTRA-TERRITORIAL PROPERTY

Motion by Supervisor Hanson and seconded by
Supervisor Golightly to approve the following
Resolution:

RESOLUTION 2023-0094

WHEREAS, the City of Dallas Center, Iowa (the "City") has begun the process of adding territory to its Dallas Center Urban Renewal Area (the "Urban Renewal Area"), pursuant to Chapter 403 of the Code of Iowa; and

WHEREAS, a portion of the property which is proposed to be added to the Urban Renewal Area is located outside the city limits, such property being described as follows:

That portion of the right-of-way of Iowa Highway 44 located adjacent to Parcel A of the Southeast Quarter of the Southwest Quarter of Section 36, Township 80 North, Range 27 West of the 5th P.M., Dallas County, Iowa, and

That portion of the right-of-way of Iowa Highway 44 located in the Southeast Quarter of said Section 36, and

That portion of the right-of-way of Dallas County road S Avenue located in the Southeast Quarter of the Southeast Quarter of said Section 36, and

The Northeast Quarter of the Southeast Quarter of said Section 36 and the Southeast Quarter of the Northeast Quarter of said Section 36.; and

WHEREAS, in accordance with paragraph 4 of Section 403.17 of the Code of Iowa, a city may exercise urban renewal powers with respect to property which is located outside but within two miles of the boundary of that city, but only if the city obtains the consent of the county within which such property is located; and

WHEREAS, the City Council of the City has requested that the Board of Supervisors of Dallas County, Iowa ("Dallas County") adopt this resolution giving its consent that the City may exercise urban renewal powers with respect to the portions of the Property lying within two miles of the incorporated city limits;

NOW, THEREFORE, it is hereby resolved by the Board of Supervisors of Dallas County, Iowa as follows:

Section 1. The Dallas County Board of Supervisors hereby gives its consent that the City may exercise urban renewal powers pursuant to Chapter 403 of the Code of Iowa with respect to the portion of the Property situated in Dallas County and outside the incorporated boundaries of the City.

Section 2. This Resolution shall be deemed to meet the statutory requirements of paragraph 4 of Section 403.17 of the Code of Iowa and shall be effective immediately following its approval and execution.

AYE

Kim E. Chapman
Kim Chapman, Chairman

Mark A. Hanson
Mark A. Hanson, Member

Brad Golightly
Brad Golightly, Member

NAY

Kim Chapman, Chairman

Mark A. Hanson, Member

Brad Golightly, Member

Dated this 12th day of September, 2023

ATTEST: Julia Helm
Julia Helm, Dallas County Auditor

RESOLUTION NO. 2023-73

**RESOLUTION SETTING DATES OF A CONSULTATION
AND A PUBLIC HEARING ON A PROPOSED
AMENDMENT NO. 1 TO THE WEST URBAN RENEWAL
PLAN IN THE CITY OF DALLAS CENTER, IOWA**

WHEREAS, by Resolution No. 2021-57, adopted October 12, 2021, this Council found and determined that certain areas located within the City are eligible and should be designated as an urban renewal area under Iowa law, and approved and adopted the West Urban Renewal Plan (the "Plan" or "Urban Renewal Plan") for the West Urban Renewal Area (the "Area" or "Urban Renewal Area") described therein, which Plan is on file in the office of the Recorder of Dallas County; and

WHEREAS, City staff has caused there to be prepared a form of Amendment No. 1 to the Plan ("Amendment"), a copy of which has been placed on file for public inspection in the office of the City Clerk and which is incorporated herein by reference, the purpose of which is to increase from \$1,500,000 to \$2,500,000 the amount that the City may certify in planning, engineering, construction, attorney fees, and other related costs to support the Urban Renewal Project identified in the Plan; and

WHEREAS, the Iowa statutes require the City Council to notify all affected taxing entities of the consideration being given to the proposed Amendment and to hold a consultation with such taxing entities with respect thereto, and further provides that the designated representative of each affected taxing entity may attend the consultation and make written recommendations for modifications to the proposed division of revenue included as a part thereof, to which the City shall submit written responses as provided in Section 403.5, as amended; and

WHEREAS, the Iowa statutes further require the City Council to hold a public hearing on the proposed Amendment subsequent to notice thereof by publication in a newspaper having general circulation within the City, which notice shall describe the time, date, place and purpose of the hearing, shall generally identify purpose of the Amendment and shall outline the general scope of the urban renewal project under consideration, with a copy of the notice also being mailed to each affected taxing entity.

NOW THEREFORE, BE IT RESOLVED, BY THE CITY COUNCIL OF THE CITY OF DALLAS CENTER, STATE OF IOWA:

Section 1. That the consultation on the proposed Amendment No. 1 to the West Urban Renewal Plan required by Section 403.5(2) of the Code of Iowa, as amended, shall be held on October 26, 2023, in the City Hall, 1502 Walnut Street, Dallas Center, Iowa, at 3 o'clock P.M., and the Mayor, or his delegate, is hereby appointed to serve as the designated representative of the City for purposes of conducting the consultation, receiving any recommendations that may be made with respect thereto and responding to the same in accordance with Section 403.5(2).

Section 2. That the City Clerk is authorized and directed to cause a notice of such consultation to be sent by regular mail to all affected taxing entities, as defined in Section 403.17(1), along with a copy of this Resolution and the proposed Amendment No. 1, the notice to be in substantially the following form:

NOTICE OF A CONSULTATION TO BE HELD BETWEEN
THE CITY OF DALLAS CENTER, IOWA AND ALL
AFFECTED TAXING ENTITIES CONCERNING THE
PROPOSED AMENDMENT NO. 1 TO THE WEST URBAN
RENEWAL PLAN FOR THE CITY OF DALLAS CENTER,
IOWA

The City of Dallas Center, State of Iowa, will hold a consultation with all affected taxing entities, as defined in Section 403.17(1) of the Code of Iowa, as amended, commencing at 3 o'clock P.M. on October 26, 2023, in the Dallas Center City Hall, 1502 Walnut Street, Dallas Center, Iowa, concerning a proposed Amendment No. 1 to the West Urban Renewal Plan, a copy of which is attached hereto.

Each affected taxing entity may appoint a representative to attend the consultation. The consultation may include a discussion of the estimated growth in valuation of taxable property included in the Urban Renewal Area, as amended, the fiscal impact of the division of revenue on the affected taxing entities, the estimated impact on the provision of services by each of the affected taxing entities in the Urban Renewal Area, as amended, and the duration of any bond issuance included in the Amendment.

The designated representative of any affected taxing entity may make written recommendations for modifications to the proposed division of revenue no later than seven days following the date of the consultation. The Mayor, or his delegate, as the designated representative of the City of Dallas Center, State of Iowa, shall submit a written response to the affected taxing entity, no later than seven days prior to the public hearing on the proposed Amendment No. 1 to the West Urban Renewal Plan, addressing any recommendations made by that entity for modification to the proposed division of revenue.

This notice is given by order of the City Council of the City of Dallas Center, State of Iowa, as provided by Section 403.5 of the Code of Iowa, as amended.

Dated this 10th day of October, 2023.

Shellie Schaben, City Clerk
(End of Notice)

Section 3. That a public hearing shall be held on the proposed Amendment No. 1 before the City Council at its meeting which commences at 7:00 P.M. on November 14, 2023, in the Council Chambers (in Memorial Hall above City Hall), 1502 Main Street, Dallas Center, Iowa.

Section 4. That the City Clerk is authorized and directed to publish notice of this public hearing in the Dallas County News, once on a date not less than four (4) nor more than twenty (20) days before the date of the public hearing, and to mail a copy of the notice by ordinary mail to each affected taxing entity, such notice in each case to be in substantially the following form:

(One publication required)

NOTICE OF PUBLIC HEARING TO CONSIDER
APPROVAL OF A PROPOSED AMENDMENT NO. 1 TO
THE WEST URBAN RENEWAL PLAN FOR AN URBAN
RENEWAL AREA IN THE CITY OF DALLAS CENTER,
STATE OF IOWA

The City Council of the City of Dallas Center, State of Iowa, will hold a public hearing before itself at its meeting which commences at 7:00 P.M. on November 14, 2023, in the Council Chambers (in Memorial Hall above City Hall), 1502 Walnut Street, Dallas Center, Iowa, to consider adoption of a proposed Amendment No. 1 to the West Urban Renewal Plan (the "Amendment") concerning an Urban Renewal Area in the City of Dallas Center, State of Iowa, which Amendment increases from \$1,500,000 to \$2,500,000 the amount that the City may certify in planning, engineering, construction, attorney fees, and other related costs to support the Urban Renewal Project identified in the Plan. Other provisions of the Plan not affected by the Amendment would remain in full force and effect.

A copy of the Amendment No. 1 is on file for public inspection in the office of the City Clerk, City Hall, City of Dallas Center, Iowa.

The City of Dallas Center, State of Iowa is the local public agency which, if such Amendment is approved, shall undertake the urban renewal activities described in such Amendment. The Amendment provides that the Plan, as amended, may be amended from time to time.

Any person or organization desiring to be heard shall be afforded an opportunity to be heard at such hearing.

This notice is given by order of the City Council of the City of Dallas Center, State of Iowa, as provided by Section 403.5 of the Code of Iowa.

Dated this 10th day of October, 2023.

Shellie Schaben, City Clerk

(End of Notice)

Section 5. That the proposed Amendment, attached hereto as Exhibit 1, for the Urban Renewal Area described therein is hereby officially declared to be the proposed Amendment No. 1 to the West Urban Renewal Plan referred to in the notices for purposes of such consultation and hearing and that a copy of the Amendment shall be placed on file in the office of the City Clerk.

PASSED AND APPROVED this 10th day of October, 2023.

Daniel Beyer, Mayor

ATTEST:

Shellie Schaben, City Clerk

Label the Amendment as Exhibit 1 (with all exhibits) and attach it to this Resolution.

**ATTACH THE AMENDMENT
LABELED AS EXHIBIT 1 HERE**

URBAN RENEWAL AREA

DALLAS CENTER WEST URBAN RENEWAL AREA

DALLAS CENTER, IOWA

SEPTEMBER, 2021

AMENDMENT NO. 1 – NOVEMBER 2023



**WEST URBAN RENEWAL PLAN
for the
WEST URBAN RENEWAL AREA**

DALLAS CENTER, IOWA

Introduction

In September 2021, the West Urban Renewal Plan (“Urban Renewal Plan” or “Plan”) was approved to establish the West Urban Renewal Area (“Urban Renewal Area” or “Area”) encompassing the Cross Country Estates and Country Living Estates developments and proposed developments, as more particularly described herein. With the adoption of this Plan, the City of Dallas Center designated this Urban Renewal Area as an economic development area that is appropriate for the provision of public improvements related to housing and residential development as defined in Iowa Code Section 403.17(12). In order to achieve this objective, the City intends to undertake Urban Renewal activities pursuant to the powers granted to it under Chapter 403 and Chapter 15A of the Code of Iowa, as amended. The Urban Renewal Area is being established in accordance with the requirements of Chapter 403 of the Code of Iowa.

Amendment No. 1 does not add any territory to the Urban Renewal Area. Amendment No. 1 does not add any projects to the Urban Renewal Plan. Amendment No. 1 increases the estimated cost for the street improvement project identified in the original West Urban Renewal Plan.

Urban Renewal Area

The boundary of the Urban Renewal Area is shown on Exhibit A. A legal description of the boundary of the Urban Renewal Area is as follows:

A parcel of property located in Sections 31 and 32, Township 80 North, Range 27 West of the 5th Principal Meridian, in the City of Dallas Center, Dallas County, Iowa more particularly described as follows:

Commencing at the southeast corner of Lot A of Cross Country Estates Plat No. 1, a plat in and forming a part of the City of Dallas Center, Dallas County, Iowa; thence east a distance of 41.63 feet to a point on the west line of Lot A of Country Living Estates, a plat in and forming a part of the City of Dallas Center, Dallas County, Iowa; thence south along the west line of Lot A of Country Living Estates to the southwest corner of said Lot A; thence east along the south line of Country Living Estates to the southeast corner of Lot 35 of Country Living Estates; thence north along the east line of Country Living Estates to the northeast corner of Lot B of Country Living Estates; thence west along the north line of Lot B of Country Living Estates to the northwest corner of Lot B of Country Living Estates; thence westerly a distance of approximately 51.61 feet to the northeast corner of Lot D of Cross Country Estates Plat No. 1; thence north a distance of 33 feet; thence west along a line parallel to and 33 feet north of the north line of Lot D of Cross Country Estates Plat No. 1 to a point located 33 feet north of the northwest corner of Lot D of Country Living Estates Plat No. 1; thence south a distance of

33 feet to the northwest corner of Lot D of Cross Country Estates Plat No. 1; thence south along the west line of Cross Country Estates Plat No. 1 to the southwest corner of Lot 13 of Country Living Estates Plat No. 1; thence south along the west line of Cross Country Estates Plat No. 2, a plat in and forming a part of the City of Dallas Center, Dallas County, Iowa, to the southwest corner of Lot 5 of Cross Country Estates Plat No. 2; thence south along the west line of the northeast quarter of the southeast quarter of Section 31, Township 80 North, Range 27 West to the southwest corner of the northeast quarter of the southeast quarter of said Section 31; thence east along the south line of the northeast quarter of the southeast quarter of said Section 31 to the southeast corner of the northeast quarter of the southeast quarter of said Section 31; thence north along the east line of the northeast quarter of the southeast quarter of said Section 31 to the east quarter corner of said Section 31; thence east along the south line of Lot 24 of Cross Country Estates Plat No. 1 to the southeast corner of Lot 24 of Cross Country Estates Plat No. 1; thence north along the east line of Cross Country Estates Plat No. 1 to the northeast corner of Lot 21 of Cross Country Estates Plat No. 1; thence east along the south line of Lot A of Cross Country Estates Plat No. 1 to the point of beginning.

Amendment No. 1 to the Urban Renewal Plan does not add any additional territory to the Urban Renewal Area.

The City reserves the right to modify the boundaries of the Area at some future date.

Agricultural Property

A portion of the property within the existing Urban Renewal Area is classified as "agricultural land" as defined in Section 403.17(3) of the Code of Iowa. All owners of agricultural land within the Urban Renewal Area as of the establishment of the Urban Renewal Area agreed to include the agricultural land in the West Urban Renewal Area.

Base Valuation

If the Urban Renewal Area is legally established and a TIF ordinance is adopted, the base valuation (for the purposes of Tax Increment Financing ("TIF")) will be the sum of the assessed value of the taxable property in the area covered by the TIF ordinance as of January 1 of the calendar year preceding the first calendar year in which the City first certifies debt to the Dallas County Auditor that is payable from the division of property tax revenue under Section 403.19 of the Code of Iowa. It may be that more than one TIF ordinance will be adopted on the separate portions of the Urban Renewal Area, in which case there may be multiple base valuations established within the Area. The base valuation for property included in subsequent TIF ordinances will be the sum of the assessed value of the taxable property in the area covered by the TIF ordinance as of January 1 of the calendar year preceding the ordinance's effective date, if the City has previously certified debt to the County Auditor pursuant to Section 403.19 of the Code of Iowa.

Effective Date

This Urban Renewal Plan will become effective upon its adoption by the City Council and will remain in effect as a Plan until it is repealed by the City Council.

With respect to the property included within the Urban Renewal Area, which is also included in an ordinance which designates that property as a tax increment area (a "TIF ordinance") and is designated based on an economic development finding, to provide or to assist in the provision of public improvements related to housing and residential development, the use of incremental property tax revenues or the "division of revenue," as those words are used in Chapter 403 of the Code of Iowa, is limited to ten (10) fiscal years beginning with the second fiscal year following the year in which the City first certifies to the County Auditor the amount of any loans, advances, indebtedness, or bonds which qualify for payment from the incremental property tax revenues attributable to that property within the Urban Renewal Area.

Separate TIF ordinances or amendments thereto for separate parcel(s) or subareas may be adopted as development in the Area warrants. In that case, each subarea may have a separate base and separate sunset or expiration date related to the division of revenue in that subarea.

The City may seek the consent of the governing bodies of all other affected taxing districts to extend the division of revenue for up to five (5) additional years if necessary to adequately fund the Eligible Urban Renewal Project(s).

Urban Renewal Financing

The City of Dallas Center intends to utilize various financing tools such as those described below to successfully undertake the proposed urban renewal actions. The City of Dallas Center has the statutory authority to use a variety of tools to finance physical improvements within the Area. These include:

A. Tax Increment Financing.

Under Section 403.19 of the Iowa Code, urban renewal areas may utilize the tax increment financing mechanism to finance the costs of public improvements, economic development incentives or other urban renewal projects. Upon creation of a tax increment district within the Area, by ordinance, the assessment base is frozen and the amount of tax revenue available from taxes paid on the difference between the frozen base and the increased value, if any, is segregated into a separate fund for the use by the City to pay costs of the proposed urban renewal project. The increased taxes generated by any new development, above the base value, are distributed to the taxing entities, if not requested by the City, and in any event upon the expiration of the tax increment district.

B. General Obligation Bonds.

Under Division III of Chapter 384 and Chapter 403 of the Iowa Code, the City has the authority to issue and sell general obligation bonds for specified essential and general corporate purposes, including the acquisition and construction of certain public improvements within the Area and for other urban renewal projects. Such bonds are payable from the levy of unlimited ad valorem taxes on all the taxable property within the City of Dallas Center. It may be the City will elect to abate some or all of the debt service on these bonds with incremental taxes from this Area.

The City may also determine to use tax increment financing to provide incentives such as cash grants, loans, tax rebates or other incentives to developers or private entities in connection with the urban renewal projects identified in the Plan. In addition, the City may determine to issue general obligation bonds, tax increment revenue bonds or such other obligations, or loan agreements for the purpose of making loans or grants of public funds to private businesses located in the Area. Alternatively, the City may determine to use available funds for making such loans or grants or other incentives related to urban renewal projects.

Nothing herein shall be construed as a limitation on the power of the City to exercise any lawful power granted to the City under Chapter 15, Chapter 15A, Chapter 403, Chapter 427B, or any other provision of the Code of Iowa in furtherance of the objectives of the Urban Renewal Plan.

Area Objectives

Renewal activities are designed to provide opportunities, incentives, and sites for new residential development within the Area.

More specific objectives for development within the Urban Renewal Area are as follows:

1. To increase the availability of housing opportunities, which may in turn attract and retain local industries and commercial enterprises that will strengthen and revitalize the economy of the State of Iowa and the City of Dallas Center.
2. To stimulate, through public action and commitment, private investment in new housing and residential development.
3. To plan for and provide sufficient land for residential development in a manner that is efficient from the standpoint of providing municipal services.
4. To help finance the cost of constructing public improvements in support of new housing development.
5. To provide a more marketable and attractive investment climate.
6. To improve the housing conditions and housing opportunities, particularly for LMI income families and/or individuals.

Types of Renewal Activities

To meet the objectives of this Urban Renewal Plan and to encourage the development of the Area, the City intends to utilize the powers conferred under Chapter 403 and Chapter 15A, Code of Iowa including, but not limited to, tax increment financing. Activities may include:

1. To undertake and carry out urban renewal projects through the execution of contracts and other instruments.
2. To arrange for or cause to be provided the construction or reconstruction of infrastructure, including streets or other public improvements in connection with urban renewal projects.
3. To finance programs that will directly benefit housing conditions and promote the availability of housing in the community.
4. To borrow money and to provide security therefor.
5. To make or have made surveys and plans necessary for the implementation of the urban renewal program or specific urban renewal projects.
6. To use tax increment financing for a number of objectives, including, but not limited to, achieving a more marketable and competitive land offering price and providing for necessary physical improvements and infrastructure.
7. To use tax increment for LMI housing assistance.
8. To use any or all other powers granted by the Urban Renewal Act to develop and provide for improved economic conditions for the City of Dallas Center and the State of Iowa.

Nothing herein shall be construed as a limitation on the power of the City to exercise any lawful power granted to the City under Chapter 15, Chapter 15A, Chapter 403, Chapter 427B, or any other provision of the Code of Iowa in furtherance of the objectives of this Urban Renewal Plan.

Assistance for Low and Moderate Income Family Housing

The West Urban Renewal Area is established as an economic development area that is appropriate for the provision of public improvements related to housing and residential development. When a city utilizes tax increment financing to support public improvements related to housing and residential development, the city must assure that the project will include assistance for low and moderate income ("LMI") family housing in an amount equal to a percentage of the project costs (which are limited to reimbursement of "public improvement" costs as defined by Iowa law). LMI families are those whose incomes do not exceed 80% of the median county income. The Project is located in Dallas County, Iowa. Unless a reduction is approved by the Iowa Economic Development Authority, the percentage of project costs used to provide LMI assistance must be at least equal to the percentage of LMI families living in Dallas County. That percentage is currently 26.22%.

The requirement to provide assistance for LMI housing may be met by one, or a combination, of the options set forth in Section 403.22 of the Code of Iowa, including establishing a LMI housing fund and depositing the requisite percentage of tax increment into the fund for use in providing LMI housing assistance at any location within the City.

Any funds deposited into the LMI fund may be used for the provision of LMI housing assistance, including but not limited to, paying for improvements to public infrastructure in residential areas that would primarily benefit LMI households, construction of housing occupied by or affordable to LMI families, and/or direct assistance to LMI residents to be used for housing purposes.

Eligible Urban Renewal Projects

1. Infrastructure Improvements in Residential Development:

The City intends to provide planning, engineering, construction, and other related costs for a City constructed infrastructure improvement project including upgrading the streets in Country Living Estates and Cross Country Estates Plat No. 1, Cross Country Estates Plat No. 2, Cross Country Estates Plat No. 3, Cross Country Estates Plat 4 and Cross Country Estates Plat 5, including but not limited to grading, culvert construction, ditch construction and street construction. These street improvements are expected to promote new housing and residential development within the Urban Renewal Area and the continued viability and accessibility of existing housing options/stock in the Area.

As part of the original Urban Renewal Plan infrastructure improvements in the existing Cross Country Estates and Country Living Estates were identified. The original Urban Renewal Plan indicated the City could certify up to \$1,500,000 in planning, engineering, construction, attorney fees and other related costs.

Urban Renewal Plan Amendment No. 1 does not change or modify the scope of the infrastructure improvements in residential development identified in the original Urban Renewal Plan. Amendment No. 1 establishes the maximum amount the City can certify for planning, engineering, construction, attorney fees and other related costs to support the Urban Renewal project to be an amount not to exceed \$2,500,000.

2. Fees and Costs Related to Urban Renewal Plan:

The City may incur various fees and costs related to planning, engineering fees (related to the Urban Renewal Plan), attorney fees, administrative costs, and other costs related to the Urban Renewal Plan. The City may certify up to \$50,000 for this project.

Existing Debt

A summary of the existing general obligation debt of the City of Dallas Center as of August 1, 2023 is as follows:

<u>Issue Date</u>	<u>Maturity Date</u>	<u>Amount Issued</u>	<u>Amount Outstanding</u>	<u>Purpose</u>
9/24/2020	6/1/2031	\$870,000	\$640,000	Street Improvements
12/22/2016	6/1/2036	\$3,000,000	\$2,270,000	Storm Drainage Improvements
6/5/2020	6/1/2036	\$1,140,000	\$893,000	Wastewater Treatment Plant
6/1/2023	6/1/2037	\$2,900,000	\$2,875,000	Swimming Pool
			<u>\$6,678,000</u>	

As of August 1, 2023, the City has outstanding \$6,678,000 in general obligation debt.

The total assessed valuation of the City of Dallas Center excluding Gas & Electric Utilities valuation as of January 1, 2023 is \$234,449,170. As of the date of this Urban Renewal Plan Amendment the total assessed valuation for Gas & Electric Utilities as of January 1, 2023 is not available. The assessed valuation of the Gas & Electric Utilities as of January 1, 2022 was \$1,962,870. The total valuation of the City as of August 1, 2023 based on the January 1, 2022 valuation of Gas & Electric Utilities and the January 1, 2023 total valuation of all other real property is \$236,412,040. Based on this methodology of determining the total valuation the constitutional debt limit of the City is \$11,820,602.

As of August 1, 2023, the outstanding debt consists of 56.49% of the constitutional debt limit.

A specific amount of debt to be incurred for the Eligible Urban Renewal Projects, as identified in this Plan, has not yet been determined. This document is for planning purposes. The estimated project costs in this Plan are estimates only and will be incurred and spent over a number of years. In no event will the City's constitutional debt limit be exceeded. The City Council will consider each project proposal on a case-by-case basis to determine if it is in the City's best interest to participate before approving an urban renewal project or expense. It is further expected that such indebtedness, including interest on the same, may be financed in whole or in part with tax increment revenues from the Urban Renewal Area. Subject to the foregoing, it is estimated that the cost of the Eligible Urban Renewal Projects as described above will be approximately \$2,550,000 plus any LMI set aside. This amount does not include costs of debt issuance, which may be incurred over a number of years.

Development Plan

The City of Dallas Center has a general plan for the physical development of the City, as a whole, outlined in the 2012 Comprehensive Plan for the City of Dallas Center. The goals, objectives, and projects proposed in this Urban Renewal Plan are in conformity with the goals, objectives, and policy recommendations established in the 2012 Comprehensive Plan for the City of Dallas Center.

Any need for constructing traffic, public transportation, public utilities, recreational and community facilities, or other public improvements within the Urban Renewal Area are set forth herein.

The Urban Renewal Area consists of land zoned Country Living Estates PUD and E-1 with the area designated for residential development in accordance with the requirements of the Country Living Estates PUD and E-1 zoning district. This Urban Renewal Plan does not in any way replace the City's current land use planning or zoning regulation process.

Property Acquisition/Disposition

Other than easements and public right-of-ways, no property acquisition by the City is anticipated at this time. However, if property acquisition/disposition becomes necessary to accomplish the objectives of the Plan, urban renewal powers will be carried out, without limitation, in accordance with the State of Iowa Urban Renewal Law.

Relocation

The City does not expect there to be any relocation required of residents or businesses as part of the proposed urban renewal projects; however, if any relocation is necessary, the City will follow all applicable relocation requirements.

Property Within Urban Revitalization Area

If the Dallas Center West Urban Renewal Area is also located within an established Urban Revitalization Area, no tax abatement incentives will be allowed for development that occurs in this Urban Renewal Area.

State And Local Requirements

All provisions necessary to conform to State and local laws will be complied with by the City in implementing this Urban Renewal Plan and its supporting documents.

Severability

In the event one or more provisions contained in the Urban Renewal Plan shall be held for any reason to be invalid, illegal, unauthorized or unenforceable in any respect, such invalidity, illegality, unauthorized or unenforceability shall not affect any other provision of this Urban Renewal Plan, and this Urban Renewal Plan shall be construed and implemented as if such provisions had never been contained herein.

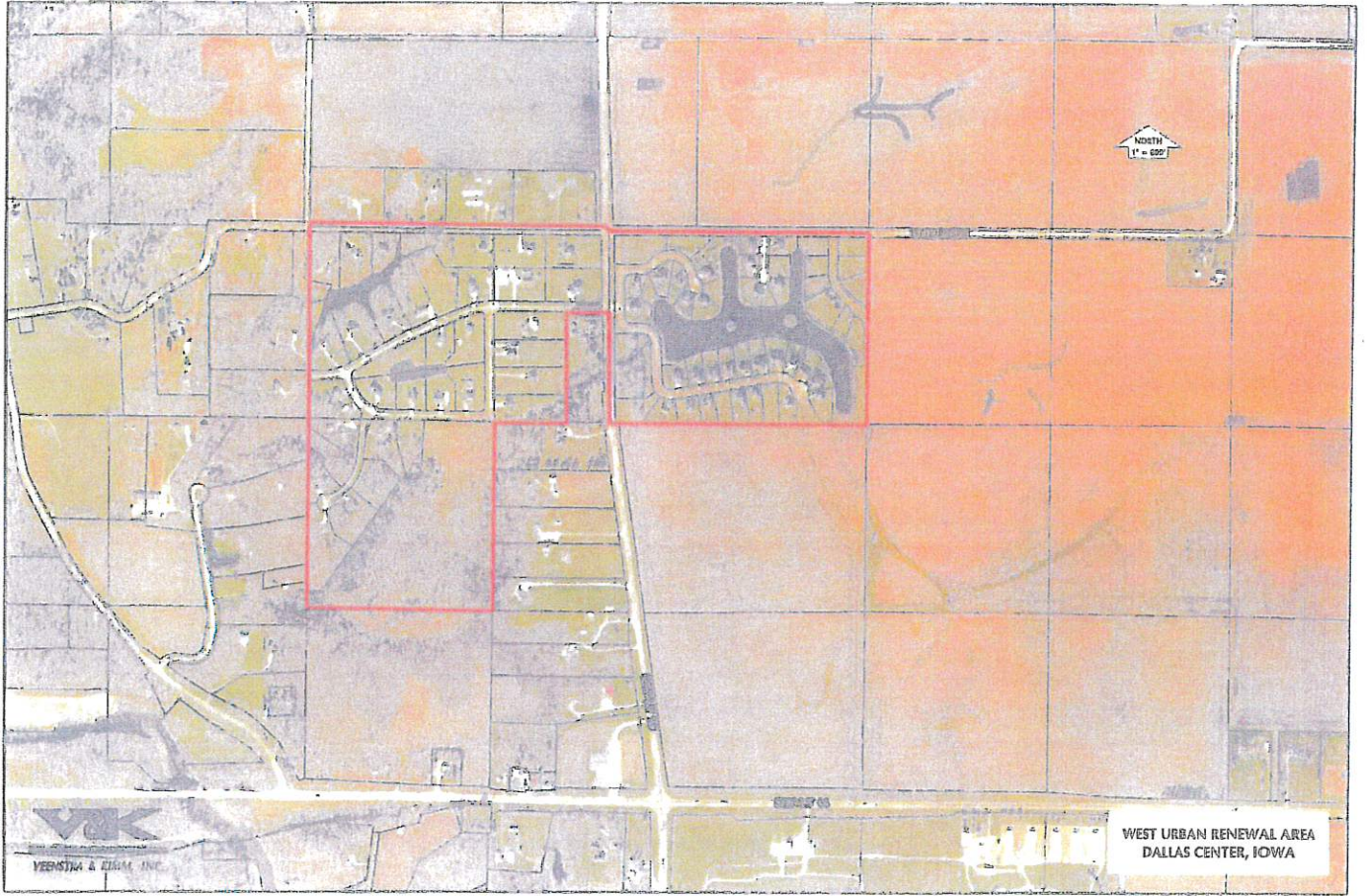
Urban Renewal Plan Amendments

This Urban Renewal Plan may be amended from time to time for a number of reasons, including, but not limited to, adding or deleting land to the Urban Renewal Area, adding or amending urban renewal projects, or modifying goals or types of renewal activities.

The City Council may amend this Plan in accordance with applicable State law.

EXHIBIT A

MAP OF WEST URBAN RENEWAL AREA



NORTH
1" = 600'

WEST URBAN RENEWAL AREA
DALLAS CENTER, IOWA

VZ
VERSTIG & ZIMM, INC.

PREPARED BY: Ralph R. Brown, 502 15th, P.O. Box 250, Dallas Center, IA 50063 (515) 992-3728

RESOLUTION NO. 2023-74

A RESOLUTION APPROVING THE FINAL PLAT OF PIONEER PLAT 4, AN OFFICIAL PLAT INCLUDED IN AND FORMING A PART OF THE CITY OF DALLAS CENTER, DALLAS COUNTY, IOWA.

WHEREAS, 44 Investments, LLC has caused to be platted certain real estate lying within the corporate limits of the City of Dallas Center, Dallas County, Iowa, legally described as:

Lot 2 in Pioneer Plat 1, an Official Plat, now included in and forming part of the City of Dallas Center, Dallas County, Iowa,

and said plat is known as Pioneer Plat 4; and

WHEREAS, the owner has complied with the requirements of Chapter 170 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended, as it relates to subdivision regulations; and

WHEREAS, the Planning and Zoning Commission at its meeting on September 27, 2011, recommended to the Council the approval of the underlying Preliminary Plat; and

WHEREAS, on October 4, 2011, the City Council approved the underlying Preliminary Plat by Resolution No. 2011-42; and

WHEREAS, the Final Plat may be filed by the owner with the Dallas County Recorder together with such other documents as may be required by the County Recorder.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Dallas Center, Iowa, that Final Plat of Pioneer Plat 4 be and the same is hereby approved in accord with Section 354.8 of the Code of Iowa, as amended, and Chapter 170 of the Code of Ordinances, as amended.

PASSED, APPROVED AND ADOPTED by the City Council of the City of Dallas Center, Iowa, on the 10th day of October, 2023.

Daniel Beyer, Mayor

ATTEST:

Shellie Schaben, City Clerk

CERTIFICATE OF MAYOR AND CLERK

We, the undersigned Mayor and Clerk of the City of Dallas Center, Iowa, hereby certify that at a meeting of the City Council of the City of Dallas Center, Iowa, and with a quorum of said City Council being present, the foregoing and attached Resolution No. 2023-74 was presented and by a motion duly made and seconded, was duly adopted by the Council.

Dated at Dallas Center, Iowa, the 10th day of October, 2023.

Daniel Beyer, Mayor

Shellie Schaben, City Clerk



VEENSTRA & KIMM INC.

3000 Westown Parkway
West Des Moines, Iowa 50266

515.225.8000 // 800.241.8000
www.v-k.net

September 7, 2023

Cindy Riesselman
City Administrator
City of Dallas Center
1502 Walnut Street
P.O. Box 396
Dallas Center, Iowa 50063

DALLAS CENTER, IOWA
PIONEER PLAT 4 – FINAL PLAT

Enclosed is a copy of the final plat of Pioneer Plat 4 submitted by Civil Design Advantage on September 6, 2023. The final plat divides Lot 2 of Pioneer Plat 1 into two lots. Lot 1 of Pioneer Plat 4 is the proposed site of the Casey's store. Lot 2 is the balance of the existing Lot 2 located west of Casey's.

Under the City's Subdivision Ordinance the normal process involves the submittal of a preliminary plat and the submittal of a final plat. In this instance there are no public improvements that are required as part of this. With no public improvements it is recommended the requirement for a preliminary plat be waived.

It is noted that both Lot 1 and Lot 2 would be subject to review under the Site Plan Ordinance. The City has previously reviewed the site plan for Lot 1. A site plan for Lot 2 will need to be submitted and approved prior to any development of that lot.

Based on review of the final plat the following is offered:

1. The front yard setbacks are shown on the final plat.
2. The bulk regulations in the C-2 Zoning District are shown on the plat.
3. The zoning District classification is shown on the plat.
4. There are no public utility easements so the note relative to concurrent use of public utility easements is not required.

5. The final plat shows the existing water main easements along the northerly side of the plat.
6. The final plat shows the easement for electric service to Lot 1.
7. The final plat shows the 30-foot wide ingress/egress easement. The ingress/egress easement is for the joint driveway that will serve Lot 1 and Lot 2.
8. The existing Lot 2 of Pioneer Plat 1 does not encompass any of the right-of-way of Fairview Drive or Sugar Grove Avenue (Highway 44). As a result, there are no right-of-way issues associated with Pioneer Plat 4.

Based on review of the final plat it does not appear any modifications are required and no additional information is being requested. The final plat is being transmitted for review and consideration for approval with no engineer's comments.

If you have any questions or comments concerning the project, please contact the writer at 515-225-8000, or bveenstra@v-k.net.

VEENSTRA & KIMM, INC.



H. R. Veenstra Jr.

HRVJr:rsb
212

Cc: Shellie Schaben
Ralph Brown
Matt Ostanik
Erin Ollendike

REGISTERED
LOCATION DALLAS COUNTY, TX, DALLAS CENTER.
REGULATOR 44 INVESTMENTS, LLC
PROPOSITOR 44 INVESTMENTS, LLC
URBANDALE, IA 50323
OWNER / DEVELOPER 44 INVESTMENTS, LLC
URBANDALE, IA 50323
ENGINEER / SURVEYOR CIVIL DESIGN ADVANTAGE
URBANDALE, IA 50322
PREPARED BY CIVIL DESIGN ADVANTAGE
DATE 08/24/2023
PHONE 515-386-1400

OWNER / DEVELOPER
 44 INVESTMENTS, LLC
 44 INVESTMENTS, LLC
 URBANDALED, IA 50323
ENGINEER / SURVEYOR
 CIVIL DESIGN ADVANTAGE
 4121 NW URBANDALED DRIVE
 URBANDALED, IA 50322

ZONING
 C-2 HIGHWAY/AUTO-ORIENTED DISTRICT
BULK REGULATIONS
 FRONT YARD SETBACK 45' EXCEPT WALK
 SIDE YARD SETBACK ADJOINING ANY "R" DISTRICT, IN WHICH
 CASE NOT LESS THAN 25'
 REAR YARD SETBACK 25'

DATE OF SURVEY
 AUGUST 24, 2023
LOT DESCRIPTION
 LOT 2 IN PIONEER PLAT 4, AN ORIGINAL PLAT, NOW
 PART OF LOT 2 IN PIONEER PLAT 4, THE CITY OF
 DALLAS CENTER, DALLAS COUNTY, IOWA.
 THE PROPERTY CONTAINS 3.44 ACRES (149,833 SQUARE
 FEET) AND IS SUBJECT TO ANY AND ALL EASEMENTS OF
 RECORD.

AREA HEREBY RESERVED FOR RECORDING STAMP

PIONEER PLAT 4
FINAL PLAT

SUGAR GROVE AVE / HWY 44
 (RIGHT-OF-WAY VARIES)

FAIR VIEW DRIVE
 166' PUBLIC RIGHT-OF-WAY

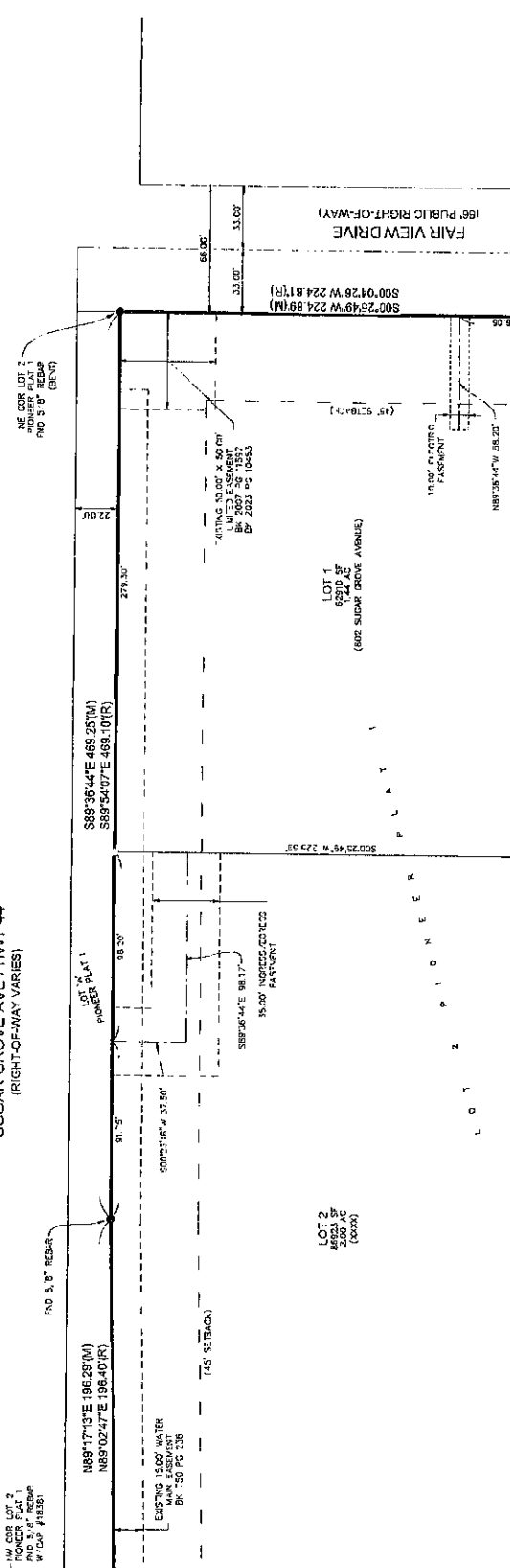
LOT 1
 620.00 SF
 142.42' x 42.42'
 (802 SUGAR GROVE AVENUE)

LOT 2
 2,000.00 SF
 100.00' x 20.00'

LOT 3
 1,000.00 SF
 100.00' x 10.00'

LOT 4
 1,000.00 SF
 100.00' x 10.00'

LOT 5
 1,000.00 SF
 100.00' x 10.00'

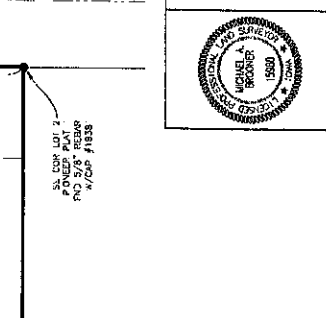


LEGEND

SECTION CORNER AS NOTED	FORM	SET
1/2\"/>		

NOTES

1. ANY SET MONUMENTATION SHOWN ON THIS PLAT WILL BE COMPLETED WITHIN ONE YEAR FROM THE DATE OF RECORDING.
2. LOTS MAY BE SUBJECT TO MINIMUM PROTECTION ELEVATIONS AND OTHER ELEVATION RESTRICTIONS AS SHOWN ON THE PROJECT ENGINEERING DOCUMENTS FOR ANY ELEVATION RESTRICTIONS.



REGISTERED PROFESSIONAL SURVEYOR
 MICHAEL A. BROOKER
 15889
 IOWA SURVEYING BOARD

ISSUED: 08/24/2023, 7:43
 LICENSE NUMBER: 15889
 EXPIRES: 08/24/2025
 THIS SHEET

OWNER / DEVELOPER
 44 INVESTMENTS, LLC
 44 INVESTMENTS, LLC
 URBANDALED, IA 50323
ENGINEER / SURVEYOR
 CIVIL DESIGN ADVANTAGE
 4121 NW URBANDALED DRIVE
 URBANDALED, IA 50322

DATE OF SURVEY
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 DALLAS CENTER, DALLAS COUNTY, IOWA.
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 FEET) AND IS SUBJECT TO ANY AND ALL EASEMENTS OF
 RECORD.

REGISTERED PROFESSIONAL SURVEYOR
 MICHAEL A. BROOKER
 15889
 IOWA SURVEYING BOARD

OWNER / DEVELOPER
 44 INVESTMENTS, LLC
 44 INVESTMENTS, LLC
 URBANDALED, IA 50323
ENGINEER / SURVEYOR
 CIVIL DESIGN ADVANTAGE
 4121 NW URBANDALED DRIVE
 URBANDALED, IA 50322

DATE OF SURVEY
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 DALLAS CENTER, DALLAS COUNTY, IOWA.
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 RECORD.

REGISTERED PROFESSIONAL SURVEYOR
 MICHAEL A. BROOKER
 15889
 IOWA SURVEYING BOARD

PIONEER PLAT 4
FINAL PLAT

REGISTERED PROFESSIONAL SURVEYOR
 CIVIL DESIGN ADVANTAGE
 4121 NW URBANDALED DRIVE
 URBANDALED, IA 50322
 PHONE: (515) 386-1400

TECH:
REVIEW:
ENGINEER:
ENGINEER:

DALLAS CENTER, IOWA

REGISTERED PROFESSIONAL SURVEYOR
 MICHAEL A. BROOKER
 15889
 IOWA SURVEYING BOARD

OWNER / DEVELOPER
 44 INVESTMENTS, LLC
 44 INVESTMENTS, LLC
 URBANDALED, IA 50323
ENGINEER / SURVEYOR
 CIVIL DESIGN ADVANTAGE
 4121 NW URBANDALED DRIVE
 URBANDALED, IA 50322

DATE OF SURVEY
 AUGUST 24, 2023
LOT DESCRIPTION
 LOT 2 IN PIONEER PLAT 4, AN ORIGINAL PLAT, NOW
 PART OF LOT 2 IN PIONEER PLAT 4, THE CITY OF
 DALLAS CENTER, DALLAS COUNTY, IOWA.
 THE PROPERTY CONTAINS 3.44 ACRES (149,833 SQUARE
 FEET) AND IS SUBJECT TO ANY AND ALL EASEMENTS OF
 RECORD.

RESOLUTION NO. 2011-42

**A RESOLUTION APPROVING
THE PRELIMINARY PLAT
OF PIONEER PLAT 1 (A REPLAT OF
LOT 1 OF INTERVET PLAT 1), A SUBDIVISION
TO THE CITY OF DALLAS CENTER, IOWA**

WHEREAS, Pioneer Hi-Bred International, Inc., as owner, has submitted to the Plan and Zoning Commission of the City of Dallas Center, Iowa, a Preliminary Plat of Pioneer Plat 1 (a Replat of Lot 1 of Intervet Plat 1), a subdivision; and

WHEREAS, after waiving any requirement for a public hearing the Plan and Zoning Commission reviewed the Preliminary Plat at its meeting on September 27, 2011, all in accord with Sections 170.04 and 170.11 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended; and

WHEREAS, the Plan and Zoning Commission has recommended to the Council the approval of said Preliminary Plat.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Dallas Center, Iowa, that the Preliminary Plat of Pioneer Plat 1 be approved as a Preliminary Plat pursuant to the provisions of Section 170.04 of the Code of Ordinances of the City of Dallas Center, Iowa, as amended.

PASSED, APPROVED, AND ADOPTED by the City Council of the City of Dallas Center, Iowa, this 4th day of October, 2011.

Mitch Hambleton, Mayor

ATTEST:

Cindy Riesselman, City Clerk

ANNEXATION MORATORIUM AGREEMENT

WHEREAS, the City of Dallas Center, Iowa (hereinafter referred to as Dallas Center), and the City of Waukee, Iowa (hereinafter referred to as Waukee), are interested in the annexation of certain territories that are within the planning areas of each city; and

WHEREAS, it is in the public interest to provide for the orderly annexation of certain territory to Dallas Center, certain territory to Waukee, and to assure communication between the two cities so as to allow the best opportunity for orderly development of property, compatible uses, and coordinate public infrastructure along the common boundary to the maximum extent possible;

NOW, THEREFORE, IT IS AGREED AS FOLLOWS:

SECTION 1. PURPOSE. It is in the public interest for Dallas Center and Waukee, to establish an Agreement for annexation, to provide the best opportunity for orderly planning, development, and provision of municipal services. It is also in the public interest to assure communication between the two Cities to create the best opportunity for compatible uses and development, continuity of street systems, and public improvements along the Annexation Boundary established in Section 2 of this Agreement.

SECTION 2. ANNEXATION BOUNDARY. The Cities of Waukee and Dallas Center hereby agree to refrain from the annexation of territory within the boundaries shown on the attached Exhibit "A" and as more particularly described within legal descriptions reflected on Exhibit "B" as provided in this Annexation Moratorium Agreement.

SECTION 3. ANNEXING MORATORIUM. In accordance with Iowa Code Chapter 368 (2023) and defined therein, Adel and Waukee agree as follows:

Area A: The City of Dallas Center shall not annex property in Area A for the term of this Agreement. During this period, the City of Waukee may use any form of annexation legally available to it under state law to annex property in Area A, without objection from the City of Dallas Center.

Area B: The City of Waukee shall not annex property in Area B for the term of this Agreement. During this period, the City of Dallas Center may use any form of annexation legally available to it under state law to annex property in Area B, without objection from the City of Waukee.

SECTION 4. APPLICABILITY. This Agreement is applicable to all annexation proceedings, both voluntary and involuntary, and pending annexations as well as any that may be commenced in the future, to the fullest extent allowed and as provided by Iowa Code Chapter 368 (2023). All such proceedings, which have been initiated but not completed, shall be amended to conform to

this agreement, and any portion of any petition for annexation, whether voluntary or involuntary, in conflict herewith is hereby terminated and withdrawn. Completion is hereby defined as being approved by the City Development Board and duly recorded prior to the date of the first City's approval and signature on this Agreement.

Each of the cities agrees not to annex territory in violation of this Agreement. Each City, and their officials, agents and representatives, agree not to aid or support in any way, any person, party, agency, or government body who may oppose, enjoin, or obstruct the other in the pursuit of any annexation that conforms with this Agreement. Terminology used in this Agreement shall be defined in the same manner as it is defined and used in Iowa Code Chapter 368, unless specifically defined herein.

SECTION 5. JOINT DEVELOPMENT COMMUNICATION The cities agree to communicate concerning long range planning and zoning of property along the Annexation Boundary. Zoning and rezonings, site plans, and subdivisions located within 660 feet of the Boundary shall be submitted for review and comment by the staff of each City at least 7 days prior to consideration by a city. Each City will consider the comments of the other City when considering zoning, rezonings, site plans, plats and subdivisions actions.

SECTION 6. STREET IMPROVEMENTS. For street infrastructure planning undertaken within one-eight mile (660 feet) of the Annexation Boundary, the Cities shall communicate their plans for street and access points to the other as plans are being developed and/or modified. Each City agrees to provide comment to the other concerning such planning and placement within a reasonable time for consideration of the planning City in making such plans.

SECTION 7. RIGHTS AND OBLIGATIONS. This Agreement creates rights and obligations only among these two parties as governmental entities, and is to be interpreted, applied, and enforced by these entities only. It is not intended and shall not be interpreted to create any rights, title, or interest in any other person, firm, corporation, or entity, whether or not resident or taxpayer of any City, and whether directly or as a third party beneficiary.

SECTION 8. STATUTORY AUTHORITY. This Agreement is entered into pursuant to Iowa Code Section 368.4 (2023).

SECTION 9. EFFECTIVE DATE AND DURATION. The effective date of this agreement shall be the later of approval dates of the two Cities. Prior to approval, each City is required to publish notice and to hold hearings as required by Iowa Code Section 368.4 (2023). This Agreement shall be in full force and effect for a period of ten years after the aforementioned effective date. Either party to this agreement may petition for an amendment, extension, or termination of this agreement by providing written notice to the other party with at least thirty (30) days advance notice to amend, extend, or terminate the terms of this agreement. Any amendment, extension, or termination of this Agreement requires the approval of both City Councils before any amendment, extension, or termination becomes effective.

SECTION 10. SEVERABILITY. If any section, provision, or part of this Agreement shall be adjudged to be invalid or unconstitutional, such adjudication shall not affect the validity of the Agreement as a whole or any section, provision, or part thereof not adjudged invalid or unconstitutional.

Dated this _____ day of _____, 2023

ATTEST:

CITY OF DALLAS CENTER, IOWA

Shellie Schaben, City Clerk

Daniel Beyer, Mayor

Dated this _____ day of _____, 2023

ATTEST:

CITY OF WAUKEE, IOWA

Becky Schuett, City Clerk

Courtney Clarke, Mayor

* Pursuant to Iowa Code Sec. 368.4, a copy of this Agreement shall be filed with the City Development Board within ten days of enactment.

EXHIBIT A

Map of Annexation Moratorium

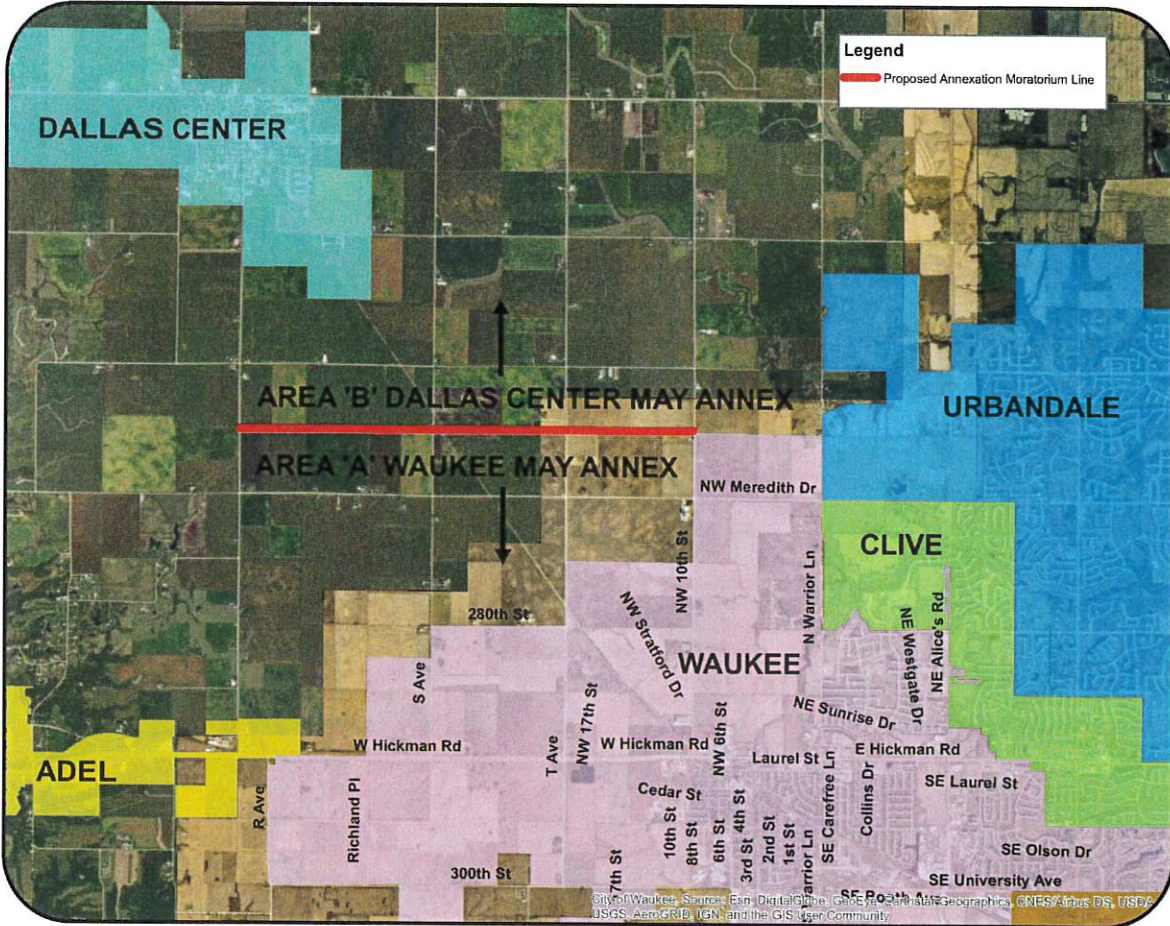


EXHIBIT B

The following description is illustrated on Exhibit "A", Annexation Moratorium Agreement.

BEGINNING AT THE CENTER OF SECTION 14, TOWNSHIP 79 NORTH, RANGE 27 WEST OF THE FIFTH PRINCIPAL MERIDIAN; THENCE EAST ALONG THE NORTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 14 TO THE EAST QUARTER CORNER OF SAID SECTION 14; THENCE EAST ALONG THE NORTH LINE OF THE SOUTH ONE-HALF OF SECTION 13, TOWNSHIP 79 NORTH, RANGE 27 WEST OF THE FIFTH PRINCIPAL MERIDIAN TO THE EAST QUARTER CORNER OF SAID SECTION 13, SAID EAST QUARTER CORNER ALSO BEING THE WEST QUARTER CORNER OF SECTION 18, TOWNSHIP 79 NORTH, RANGE 26 WEST OF THE FIFTH PRINCIPAL MERIDIAN; THENCE EAST ALONG THE NORTH LINE OF THE SOUTH ONE-HALF OF SAID SECTION 18 TO THE EAST QUARTER CORNER OF SAID SECTION 18; THENCE EAST ALONG THE NORTH LINE OF THE SOUTH ONE-HALF OF SECTION 17, TOWNSHIP 79 NORTH, RANGE 26 WEST OF THE FIFTH PRINCIPAL MERIDIAN TO THE EAST QUARTER CORNER OF SAID SECTION 17 AND THE POINT OF TERMINUS; ALL NOW INCLUDED IN AND FORMING A PART OF DALLAS COUNTY, IOWA.

RESOLUTION NO. 2023-72

**A RESOLUTION SETTING A PUBLIC HEARING ON A
PROPOSED ANNEXATION MORATORIUM AGREEMENT
BETWEEN THE CITIES OF DALLAS CENTER AND WAUKEE**

WHEREAS, on October 18, 2011, the City of Dallas Center entered into an Annexation Moratorium Agreement with the City of Waukee which Agreement became effective on October 24, 2011; and

WHEREAS, by its terms the Agreement expired on October 24, 2021; and

WHEREAS, representatives of the Cities of Dallas Center and Waukee have negotiated the terms of a new Annexation Moratorium Agreement, the consideration of which should be set for a public hearing.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Dallas Center, Iowa, that a public hearing on the proposed Annexation Moratorium Agreement with the City of Waukee be and is hereby set for 7 p.m. on December 12, 2023; that the Clerk shall cause to be published the Notice of Hearing prescribed by Section 364.4 of the Code of Iowa; and that the Clerk shall mail said Notice of Hearing to the City Development Board and the Dallas County Board of Supervisors at least thirty days prior to the hearing.

PASSED, APPROVED AND ADOPTED by the City Council of the City of Dallas Center, Iowa, on this 10th day of October, 2022.

Daniel Beyer, Mayor

ATTEST:

Shellie Schaben, City Clerk

ORDINANCE NO. 593

AN ORDINANCE AMENDING THE CODE OF ORDINANCES OF THE CITY OF DALLAS CENTER, IOWA, BY AMENDING PROVISIONS PERTAINING TO LIQUOR LICENSES AND CIGARETTE AND TOBACCO PERMITS

Be It Enacted by the City Council of the City of Dallas Center, Iowa:

SECTION 1. SECTION MODIFIED. Section 120.04 of the Code of Ordinances of the City of Dallas Center, Iowa, is repealed and the following adopted in lieu thereof:

120.04 ACTION BY COUNCIL. The Council shall either approve or disapprove the issuance of a retail alcohol license, shall endorse its approval or disapproval on the application, and shall forward the application with the necessary fee and bond, if required, to the Iowa Department of Revenue.

(Code of Iowa, Sec. 123.32[2])

SECTION 2. SECTION MODIFIED. Section 120.05 of the Code of Ordinances of the City of Dallas Center, Iowa, is repealed and the following adopted in lieu thereof:

120.05 PROHIBITED SALES AND ACTS. A person holding a retail alcohol license and the person's agents or employees shall not do any of the following:

1. Sell, dispense, or give to any intoxicated person, or one simulating intoxication, any alcoholic beverage.

(Code of Iowa, Sec. 123.49[1])

2. Sell or dispense any alcoholic beverage on the premises covered by the license or permit its consumption thereon between the hours of 2:00 a.m. and 6:00 a.m. on any day of the week.

(Code of Iowa, Sec. 123.49[2b])

3. Sell alcoholic beverages to any person on credit, except with a bona fide credit card. This provision does not apply to sales by a club to its members, to sales by a hotel or motel to bona fide registered guests, or to retail sales by the managing entity of a convention center, civic center, or events center.

(Code of Iowa, Sec. 123.49[2c])

4. Employ a person under 18 years of age in the sale or serving of alcoholic beverages for consumption on the premises where sold, except as follows:

A. Definitions. For use in this subsection the following terms are defined as follows:

(1) "Bar" means an establishment where one may purchase alcoholic beverages for consumption on the premises and in which the serving of food is only incidental to the consumption of those beverages.

(Code of Iowa, Sec. 142D.2[1])

(2) "Restaurant" means eating establishments, including private and public school cafeterias, which offer food to the public, guests, or employees, including the kitchen and catering facilities in which food is prepared on the premises for serving elsewhere, and including a bar area within a restaurant.

(Code of Iowa, Sec. 142D.2[17])

9. Reuse for packaging alcoholic liquor or wine any container or receptacle used originally for packaging alcoholic liquor or wine; or adulterate, by the addition of any substance, the contents or remaining contents of an original package of an alcoholic liquor or wine; or knowingly possess any original package that has been reused or adulterated.

(Code of Iowa, Sec. 123.49[2e])

10. Allow any person other than the licensee or employees of the licensee to use or keep on the licensed premises any alcoholic liquor in any bottle or other container that is designed for the transporting of such beverages, except as allowed by State law.

(Code of Iowa, Sec. 123.49[2g])

11. Sell, give, possess, or otherwise supply a machine that is used to vaporize an alcoholic beverage for the purpose of being consumed in a vaporized form.

(Code of Iowa, Sec. 123.49[2k])

SECTION 3. SECTION MODIFIED. Section 121.05 of the Code of Ordinances of the City of Dallas Center, Iowa, is repealed and the following adopted in lieu thereof:

121.05 ISSUANCE AND EXPIRATION. Upon proper application and payment of the required fee, a permit shall be issued. Each permit issued shall describe clearly the place of business for which it is issued and shall be nonassignable. All permits expire on June 30 of each year. The Clerk shall submit a duplicate of any application for a permit to the Iowa Department of Revenue within 30 days of issuance of a permit.

SECTION 4. SEVERABILITY CLAUSE. If any section, provision or part of this ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 5. WHEN EFFECTIVE. This ordinance shall be in effect from and after its final passage, approval and publication as provided by law.

Passed by the Council on the 10th day of October, 2023, and approved this 10th day of October, 2023.

Daniel Beyer, Mayor

ATTEST:

Shellie Schaben, City Clerk

First Reading: October 10, 2023

Second Reading: October 10, 2023

Third Reading: October 10, 2023

I certify that the foregoing was published as Ordinance No. 593 on the 19th day of October, 2023.

Shellie Schaben, City Clerk

ORDINANCE NO. 594

AN ORDINANCE AMENDING THE CODE OF ORDINANCES OF THE CITY OF DALLAS CENTER, IOWA, BY AMENDING PROVISIONS PERTAINING TO FISCAL MANAGEMENT

Be It Enacted by the City Council of the City of Dallas Center, Iowa:

SECTION 1. SECTION MODIFIED. Section 7.05 of the Code of Ordinances of the City of Dallas Center, Iowa, is repealed and the following adopted in lieu thereof:

7.05 OPERATING BUDGET PREPARATION. The annual operating budget of the City shall be prepared in accordance with the following:

1. Proposal Prepared. The finance officer is responsible for preparation of the annual budget detail, for review by the Mayor and Council and adoption by the Council in accordance with directives of the Mayor and Council.
2. Boards and Commissions. All boards, commissions, and other administrative agencies of the City that are authorized to prepare and administer budgets must submit their budget proposals to the finance officer for inclusion in the proposed City budget at such time and in such form as required by the Council.
3. Submission to Council. The finance officer shall submit the completed budget proposal to the Council each year at such time as directed by the Council.
4. Annual Statement.

(Code of Iowa, Sec. 24.2A[2])

A. On or before March 15 of each year, the City shall file, with the Department of Management, a report containing all necessary information for the Department of Management to compile and calculate amounts required to be included in the statement mailed under Paragraph B.

B. Not later than March 20, the County Auditor, using information compiled and calculated by the Department of Management shall send to each property owner or taxpayer within the County, by regular mail, an individual statement containing all of the required information as provided under Section 24.2(2)(B)(1-9) of the *Code of Iowa*.

C. The Department of Management shall prescribe the form for the report required under Paragraph A, the statements to be mailed under Paragraph B, and the public hearing notice required under Paragraph D.

D. The Council shall set a time and place for a public hearing on the City's proposed property tax amount for the budget year and the City's information included in the statements under Paragraph B. At the hearing, the Council shall receive oral or written testimony from any resident or property owner of the City. This public hearing shall be separate from any other meeting of the Council, including any other meeting or public hearing relating to the City's budget, and other business of the City that is not related to the proposed property tax amounts and the information in the statements shall not be conducted at the public hearing. After all testimony has been received and considered, the governing body may decrease, but not increase, the proposed property tax amount to be included in the City's budget.

(1) Notice of the public hearing shall be published not less than 10 nor more than 20 days prior to the hearing, in a newspaper published at least once weekly and having general circulation in the City. However, if the City has a population of 200 or less, publication may be made by posting in three public places in the City.

(2) Notice of the hearing shall also be posted and clearly identified on the City's internet site for public viewing beginning on the date of the newspaper publication and shall be maintained on the City's internet site with all such prior year notices and copies of the statements mailed under this section.

(3) Additionally, if the City maintains a social media account on one or more social media applications, the public hearing notice or an electronic link to the public hearing notice shall be posted on each such account on the same day as the publication of the notice.

5. Council Review. The Council shall review the proposed budget and may make any adjustments it deems appropriate in the budget before accepting such proposal for publication, hearing, and final adoption.

6. Notice of Hearing. Following, and not until the requirements, of Subsection 4 of this section, are completed, the Council shall set a time and place for public hearing on the budget to be held before April 30 and shall publish notice of the hearing not less than 10 nor more than 20 days before the hearing. A summary of the proposed budget and a description of the procedure for protesting the City budget under Section 384.19 of the *Code of Iowa*, in the form prescribed by the Director of the Department of Management, shall be included in the notice. Proof of publication of the notice under this subsection must be filed with the County Auditor.

(Code of Iowa, Sec. 384.16[3])

7. Copies of Budget on File. Not less than 20 days before the date that the budget must be certified to the County Auditor and not less than 10 days before the public hearing, the Clerk shall make available a sufficient number of copies of the detailed budget to meet the requests of taxpayers and organizations, and have them available for distribution at the offices of the Mayor and Clerk and at the City library.

(Code of Iowa, Sec. 384.16[2])

8. Adoption and Certification. After the hearing, the Council shall adopt, by resolution, a budget for at least the next fiscal year and the Clerk shall certify the necessary tax levy for the next fiscal year to the County Auditor and the County Board of Supervisors. The tax levy certified may be less than, but not more than, the amount estimated in the proposed budget submitted at the final hearing, unless an additional tax levy is approved at a City election. Two copies each of the detailed budget as adopted and of the tax certificate must be transmitted to the County Auditor.

(Code of Iowa, Sec. 384.16[5])

SECTION 2. SECTION MODIFIED. Section 7.08 of the Code of Ordinances of the City of Dallas Center, Iowa, is repealed and the following adopted in lieu thereof:

7.08 FINANCIAL REPORTS. The finance officer shall prepare and file the following financial reports:

1. Monthly Reports. There shall be submitted to the Council each month a report showing the activity and status of each fund, program, sub-program, and activity for the preceding month.

2. Annual Report. Not later than December 1 of each year there shall be published an annual report containing a summary for the preceding fiscal year of all collections and receipts, all accounts due the City, and all expenditures, the current public debt of the City, and the legal debt limit of the City for the current fiscal year. The Annual Financial Report shall be prepared on forms and pursuant to instructions prescribed by the Auditor of State. Beginning with the Annual Financial Report published by December 1, 2025, each report shall include a list of bonds, notes, or other obligations issued by the City during the most recently completed fiscal year, and the applicable lists for other fiscal years beginning on or after July 1, 2024, for which obligations remain unpaid, payable from any source, including the amount of the issuance, the project or purpose of the issuance, whether the issuance was approved at election, eligible to be subject to a petition for an election, or was exempt from approval at election as the result of statutory exclusions based on population of the City or amount of the issuance, and identification of issuances from the fiscal year or prior fiscal years related to the same project or purpose.

(Code of Iowa, Sec. 384.22)

SECTION 3. SEVERABILITY CLAUSE. If any section, provision or part of this ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 4. WHEN EFFECTIVE. This ordinance shall be in effect from and after its final passage, approval and publication as provided by law.

Passed by the Council on the 10th day of October, 2023, and approved this 10th day of October, 2023.

ATTEST:

Daniel Beyer, Mayor

Shellie Schaben, City Clerk

First Reading: October 10, 2023

Second Reading: October 10, 2023

Third Reading: October 10, 2023

I certify that the foregoing was published as Ordinance No. 594 on the 19th day of October, 2023.

Shellie Schaben, City Clerk